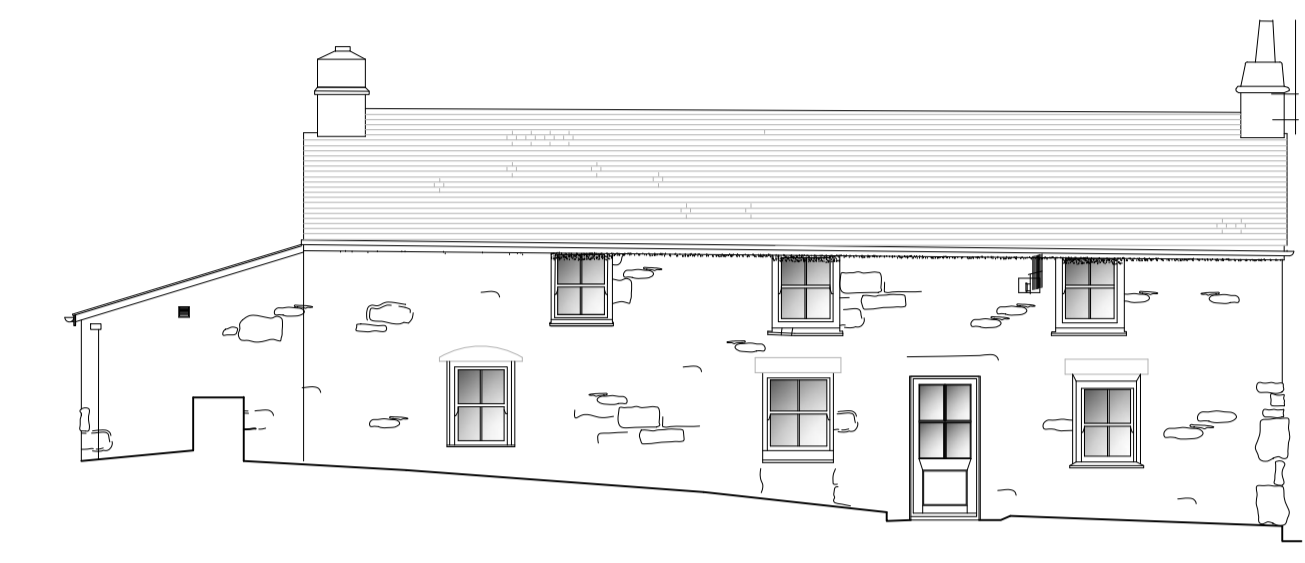




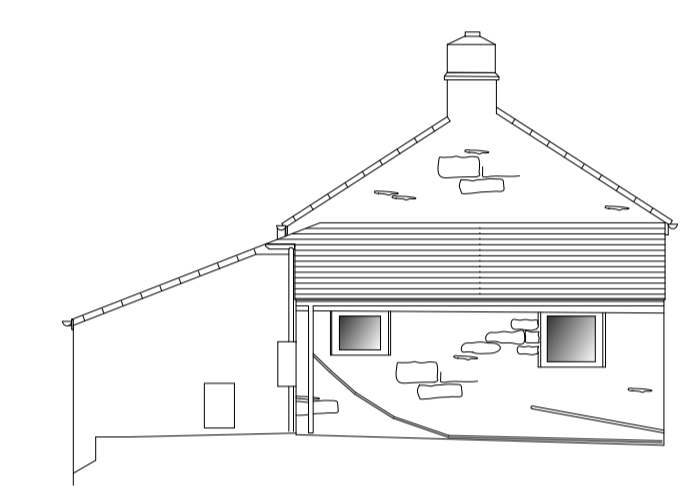
Aod 25.000m

Elevation 1



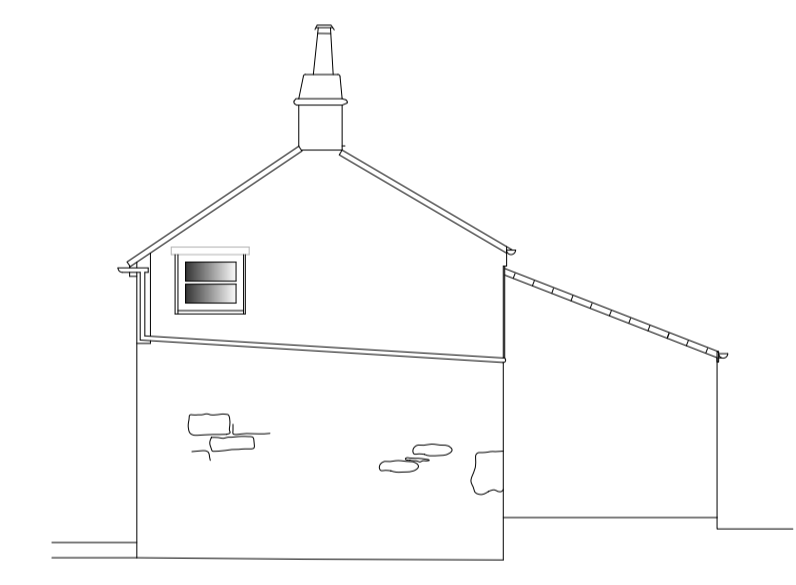
Aod 25.000m

Elevation 3



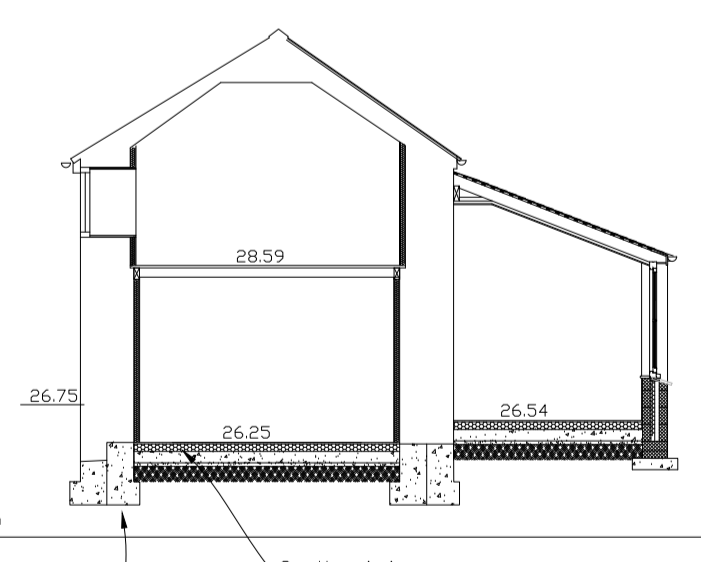
Aod 25.000m

Elevation 2



Aod 25.000m

Elevation 4



Aod 25.000m

Section A-A

NEW FLOORS
Ground floor to comprise of chipboard on timber bearers, insulation between bearers. New reinforced concrete floor with damp proof and radon protection membrane.

UNDERPINNING

As required, underpinning will need to take place to extend stone walls below level of new floor make up as it is anticipated that insufficient depth of the foundation.

***ELEVATIONS SHOWN AT 1:100@A1**

- BEDROOM 3**
- Floorboards reinstated.
 - Walls tanked and insulated.
 - Electric panel heater fitted
 - New Partitions finished in plasterboard and sound insulated.

ROOF
New roofing material to be 350x250mm Trevillet slates and slate and a halves. Double nailed. Permanent Easy Slate to be installed on shallow pitches. New roofing membrane. Repairs as required to existing timbers.

- LANDING**
- Floor boards reinstated.
 - Walls tanked.
 - Insulated plasterboard
 - New Skirting board

- BEDROOM 1**
- Left as floor boards.
 - Insulated plasterboard
 - Ceiling will require insulating
 - Partition boarding to be reinstated
 - New Skirting boards
 - New matching Internal window boards

- WINDOWS GENERALLY**
- Generally windows to be replaced like for like (except Sunroom) Primed and decorated externally and internally.
 - New external window cills installed.
 - Lime mortar fillets around perimeter externally.

- BEDROOM 2**
- Floor left as floorboards ready for tenants' floor finish.
 - Walls tanked and insulated.
 - New Partitions finished in plasterboard and sound insulated.

FIRST FLOOR PLAN

- SUN ROOM**
- Allow for 300mm thick trench blocks up from foundation. On that allow for the following cavity wall make up: -
 - 100mm Thermalite Turbo inner skin
 - 100mm dense concrete blockwork outer skin
 - 100mm cavity with 50mm Celotex CWA450 insulation clipped to the inner blockwork with wall tie clips.
 - Walling below DPC level to be built up using 1:1.5:6 mix mortar. Above ground mortar to be 1:1:6 mix sulphate resistant cement mortar.
 - R/W or Hyload DPC to the inner course 150mm above ground level. Dress down the inner skin and over the DPM where it turns down the inner skin as previously described across the foundation blocks. Allow for a R/W or Hyload DPC across the outer block course again to 150mm above ground level.

MAKE GOOD WALL
This area may need making good following demolition of tank structure.

Following demolition the wall will need making good, any paint removed, re-pointing with lime base mortar.

- KITCHEN**
- New floor with damp proof membrane, radon protection and insulation. Chipboard floor finish.
 - Walls tanked and lined with insulated plasterboard.
 - Extractor fan fitted through wall.
 - Kitchen units installed.

Stairs and partitioning reinstated following flooring and tanking works.

- JOISTS**
- Existing joists relocated at closer centres to give better structural support.
 - Joist ends removed from damp walls and fixed to new wall plate resin bolted to existing structure.
 - New Joists introduced within partitions and other locations as required.

- RECEPTION 1**
- New floor with damp proof membrane, radon protection and insulation.
 - Chipboard floor finish.
 - Walls tanked.
 - Insulated plasterboard.
 - New skirting boards

- HALLWAY**
- New floor with damp proof membrane, radon protection and insulation.
 - Chipboard floor deck
 - Walls tanked.
 - Insulated plasterboard

EXTERNAL WALLS
Tenant to use agreed method to remove paint from stone. Rake out pointing and re-point using lime based mortar.

- RECEPTION 2**
- New floor with damp proof membrane, radon protection and insulation
 - Chipboard floor finish
 - Walls tanked and insulated.
 - Electric panel heater fitted.
 - Electrics and lighting fitted.

- UTILITY**
- New floor with damp proof membrane, radon protection and insulation. Left as chipboard ready for tenants' floor finish (further preparation required for tiles)
 - New Insulated ceiling.
 - Walls tanked. Insulated plasterboard lining.
 - New Skirting boards.

- BATHROOM**
- New floor with damp proof membrane, radon protection and insulation. Waterproof chipboard floor finish. New ceiling, insulated above.
 - Walls tanked and insulated. Tile backer board, and tiling completed.
 - Extractor fan fitted.



GROUND FLOOR PLAN

REVISION	AMENDMENT	DATE
B	CHANGE IN SUNROOM AREA	15.04.16
A	UTILITY MAKE SMALLER, ENLARGED BATHROOM	17.03.16

PROJECT
Mytle Cottage
Structural Refurbishment

DRAWING TITLE
Proposal A

DUCHY OF CORNWALL
ST MARY'S ISLES OF SCILLY TR21 0LS
Telephone: 01752 822266 E-mail: admin@duchyofcornwall.org

SCALE	DRAWN BY	CHECKED BY	DATE	DRAWING NO.	REV.
1:50@A1	ND	ND	08.02.2016	10/0852-02-02	B

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All materials and workmanship to comply with the current British Standards and codes of practice.
Contractors to check ALL dimensions. Work from figured dimensions ONLY.
Report ANY discrepancies to Architect or Surveyor before proceeding.
IF IN ANY DOUBT ASK.