



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2010

PERMISSION FOR DEVELOPMENT

Application No: P/20/082/HH Date Application Registered: 14th October 2020

Applicant: Mr K & Mrs L Palmer
Tideway
The Bank
Hugh Town
St Mary's
Isles of Scilly
TR21 0HY

Agent: Mr R Green
Charlotte House
Garrison Lane
St Marys
Isles of Scilly
TR21 0JD

Site address: Tideway The Bank Hugh Town St Mary's Isles of Scilly
Proposal: Replacement of existing stair access and porch and re-cladding of part upper floor. (Listed Building)

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Location and Block Plan**
 - **Proposed elevation and section, drawing number: TW06, dated Oct 2020**
 - **Proposed elevation, drawing number: TW05, dated Oct 2020**
 - **Proposed floor plan, drawing number: TW04A, dated Oct 2020**
 - **Design and Access Statement**
 - **Site Waste Management Plan**

These are stamped as APPROVED.

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building and Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy 1 of the adopted Isles of Scilly Local Plan 2005 and Policy OE1 and OE7(5) of the Submission Draft Isles of Scilly Local Plan 2015-2030.

- C3 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**
Reason: In the interests of protecting the residential amenities of neighbouring properties.
- C4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. The lighting shall thereafter be installed in accordance with the agreed details.**
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Submission Draft Isles of Scilly Local Plan 2015-2030.
- C5 Prior to their installation on the building, a sample or details of all facing materials shall be submitted to and be approved in writing by the Local Planning Authority. Once approved the porch and cladding shall be finished in the agreed materials and be retained as such thereafter.**
Reason: To ensure that the character and appearance of the approved extensions is sympathetic and in keeping with the architectural details of this as listed building and in keeping with the wider character and appearance the conservation area, in accordance with Policy 1 of the adopted Isles of Scilly Local Plan (2005) and Policy OE7 (5) and (6) of the submission draft Isles of Scilly Local Plan (2015 - 2030).

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2019.

Signed: 

Senior Officer, Planning and Development Management

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 11th December 2020



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mr K & Mrs L Palmer

Please sign and complete this certificate.

This is to certify that decision notice: P/20/082/HH and the accompanying conditions have been read and understood by the applicant: Mr K & Mrs L Palmer.

1. **I/we intent to commence the development as approved:** Replacement of existing stair access and porch and re-cladding of part upper floor. (Listed Building) at: Tideway The Bank Hugh Town St Mary's Isles Of Scilly **on:**
2. ~~I am/we are aware of any conditions that need to be discharged before works commence.~~
3. ~~I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.~~

Print Name:

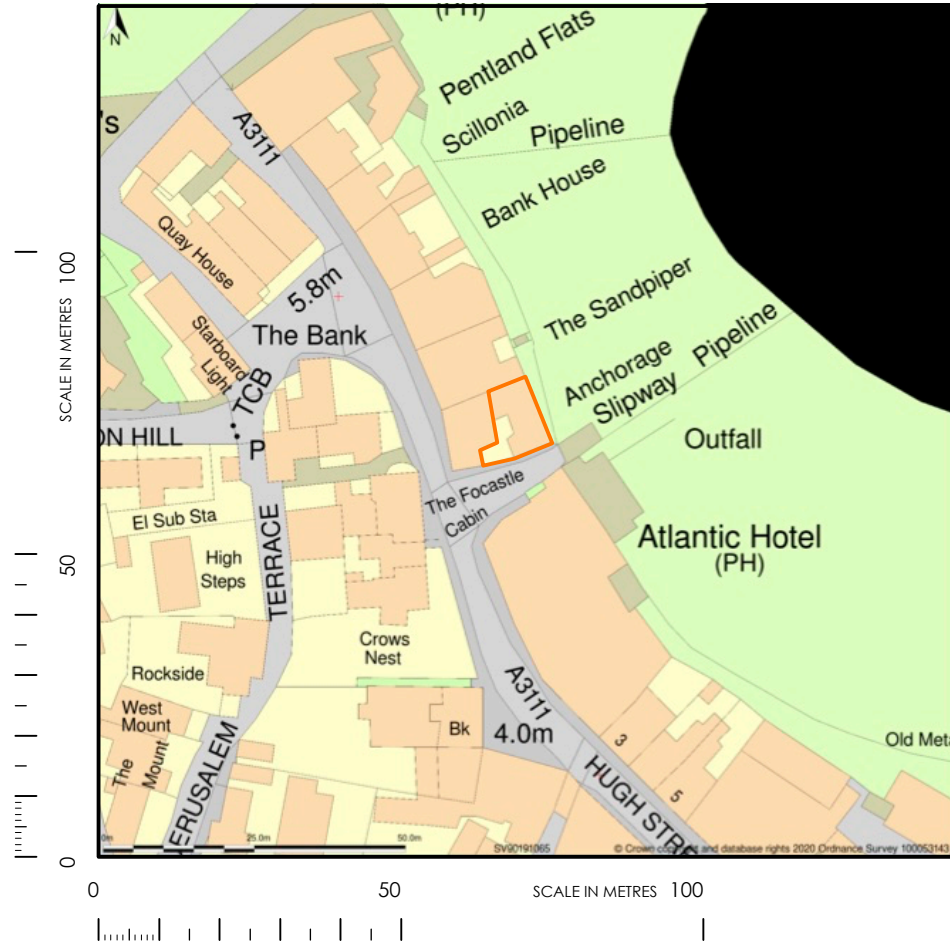
Signed:

Date:

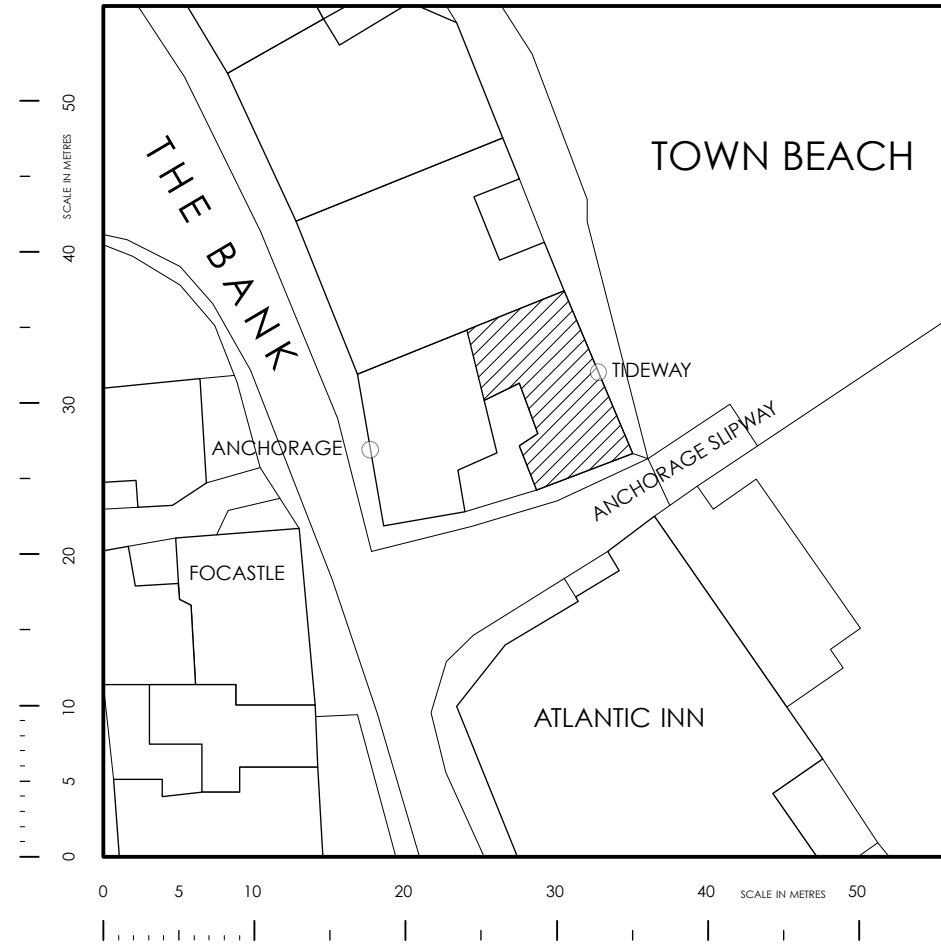
Please sign and return to the **above address** as soon as possible.

RECEIVED

By Emma Kingwell at 8:33 am, Oct 14, 2020



LOCATION PLAN - 1:1250



BLOCK PLAN - 1:500

APPROVED

By Lisa Walton at 1:31 pm, Dec 11, 2020

TIDEWAY

THE BANK, HUGH TOWN

**EXISTING
SITE PLANS**

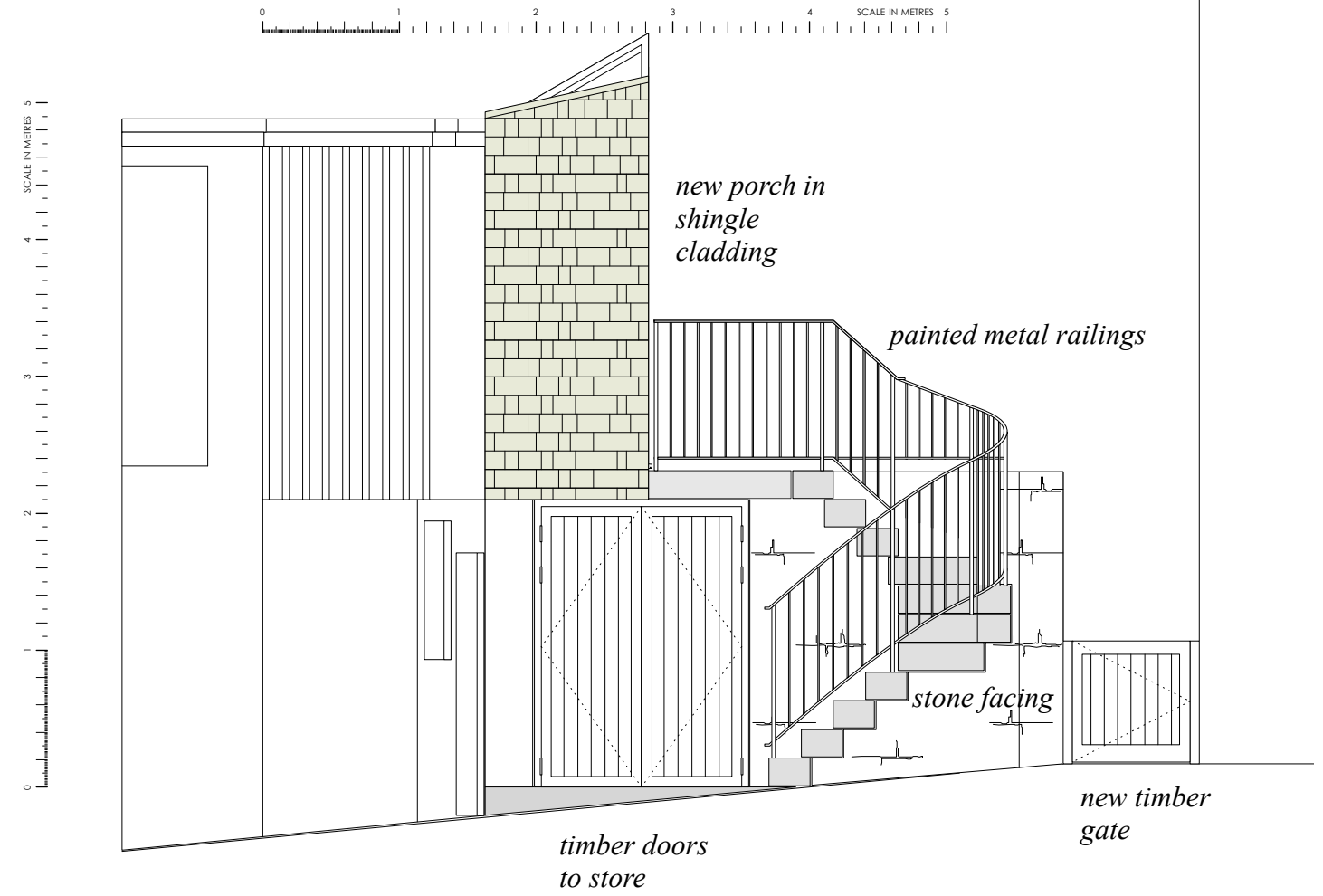
DRAWING NO. TW01

DATE - OCT 2020

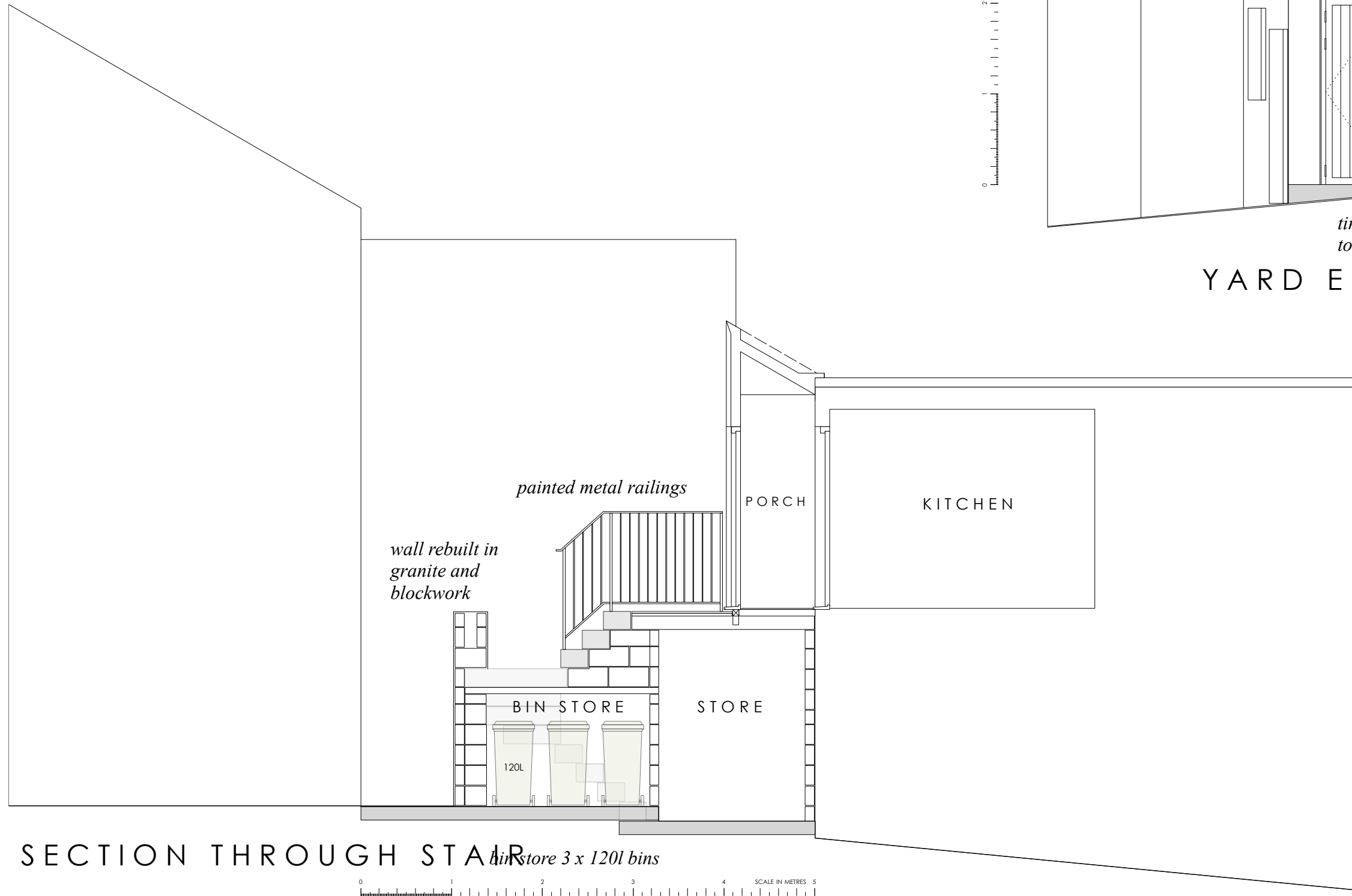
SCALE AS NOTE @ A3

RECEIVED

By Emma Kingwell at 8:35 am, Oct 14, 2020



YARD ELEVATION



SECTION THROUGH STAIR

APPROVED
By Lisa Walton at 1:32 pm, Dec 11, 2020

TIDEWAY
THE BANK, HUGH TOWN

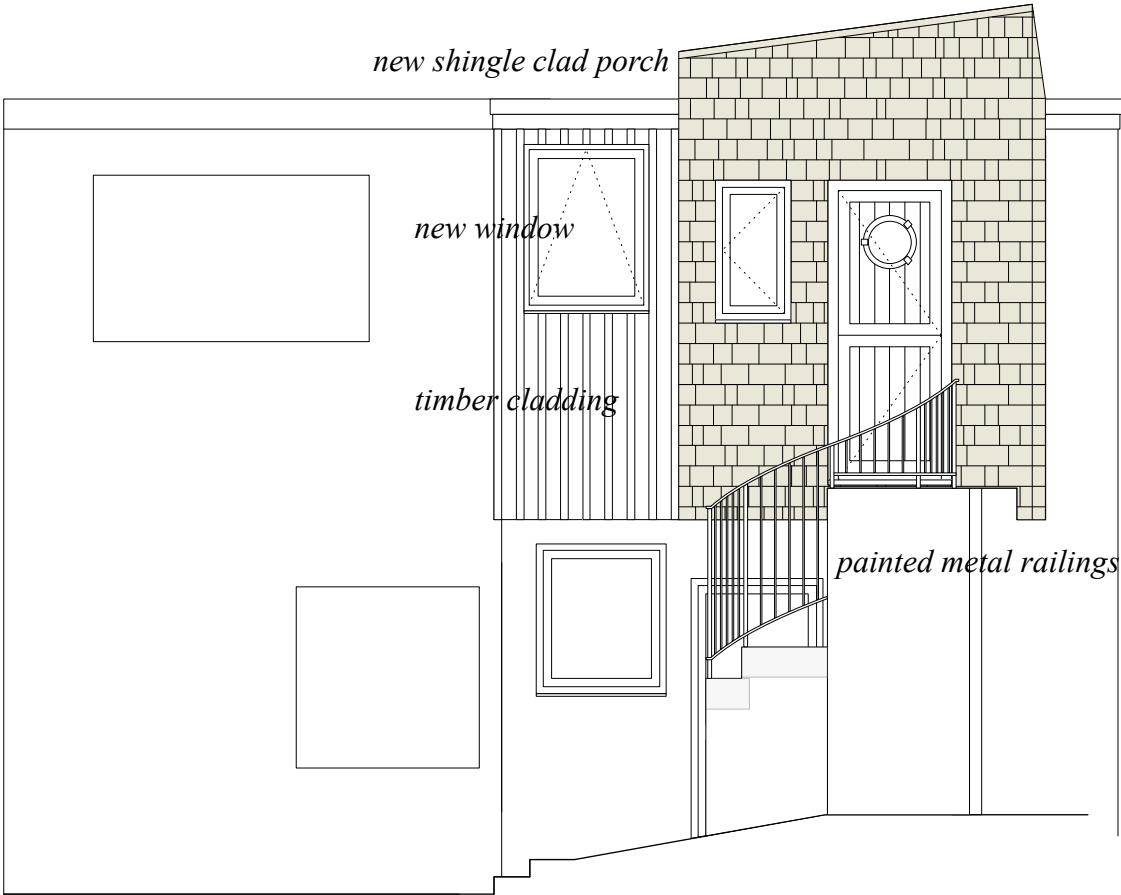
EXISTING
ELEVATION
SECTION

DRAWING NO. TW06
DATE - OCT 2020
SCALE - 1:50 @ A3

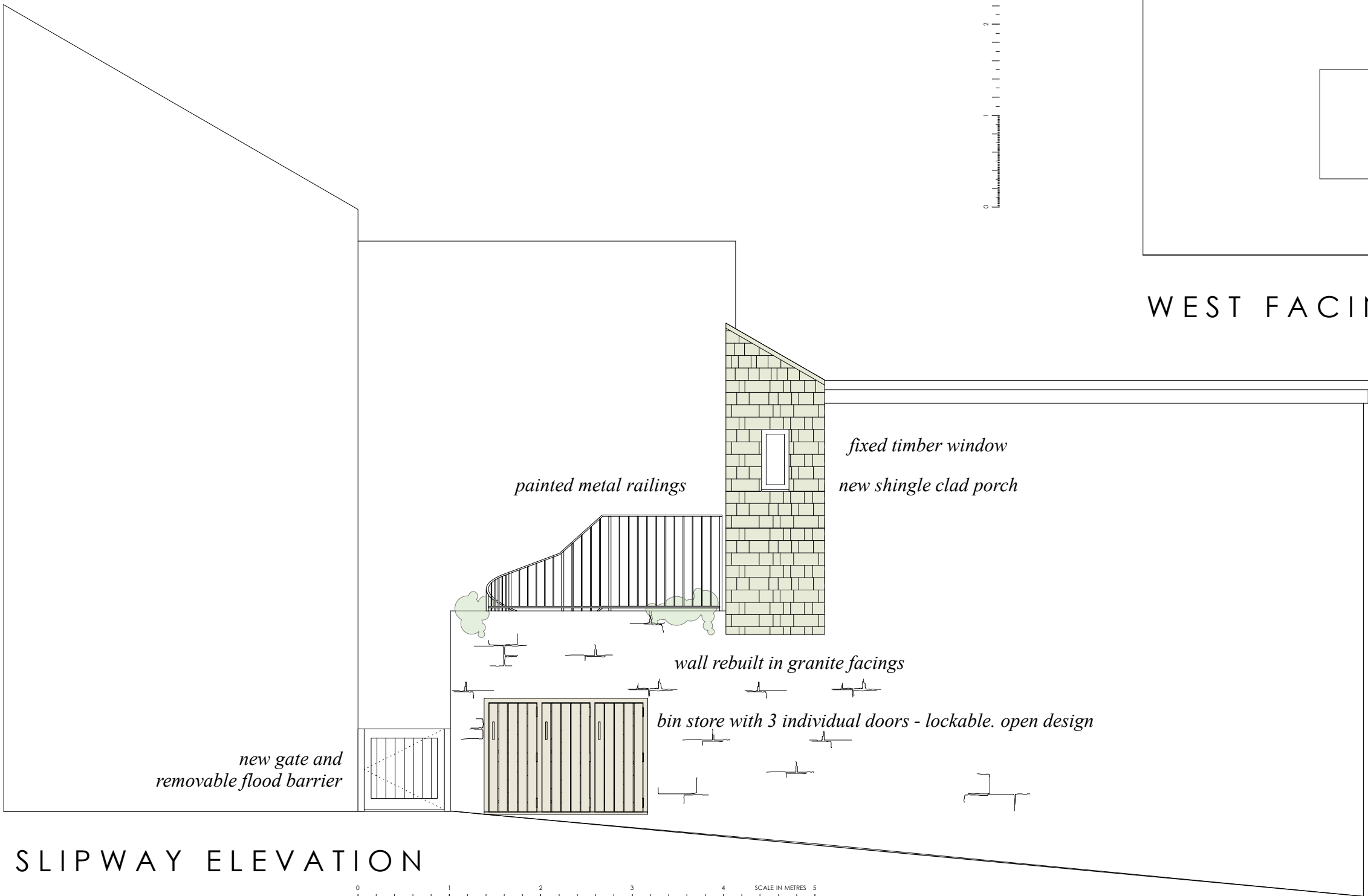
RECEIVED
 By Emma Kingwell at 8:33 am, Oct 14, 2020

5 SCALE IN METRES 4 3 2 1 0

SCALE IN METRES 5 4 3 2 1 0



WEST FACING ELEVATION



SLIPWAY ELEVATION

SCALE IN METRES 5 4 3 2 1 0

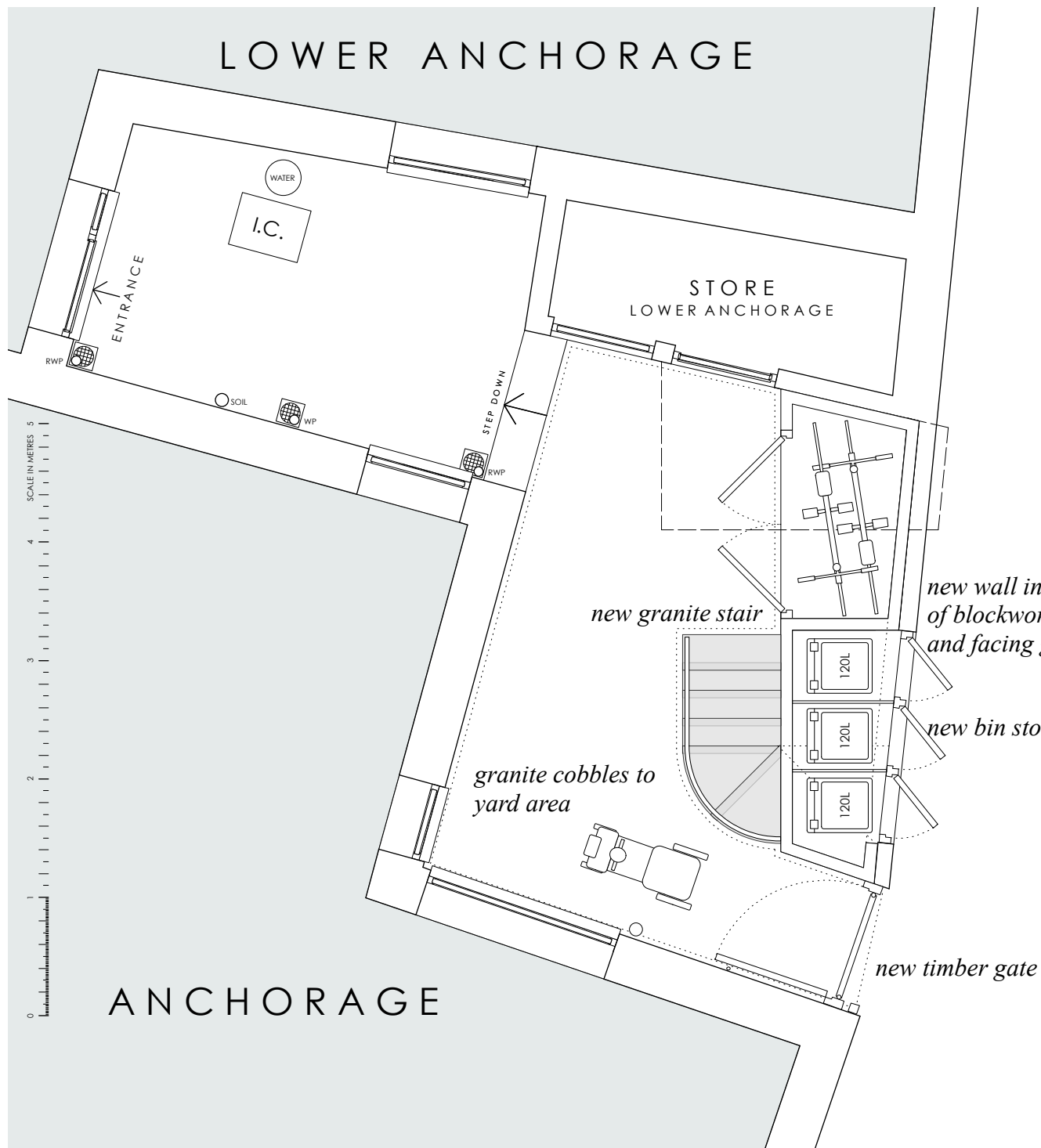
SCALE IN METRES 5 4 3 2 1 0

APPROVED
 By Lisa Walton at 1:32 pm, Dec 11, 2020

TIDEWAY
 THE BANK, HUGH TOWN

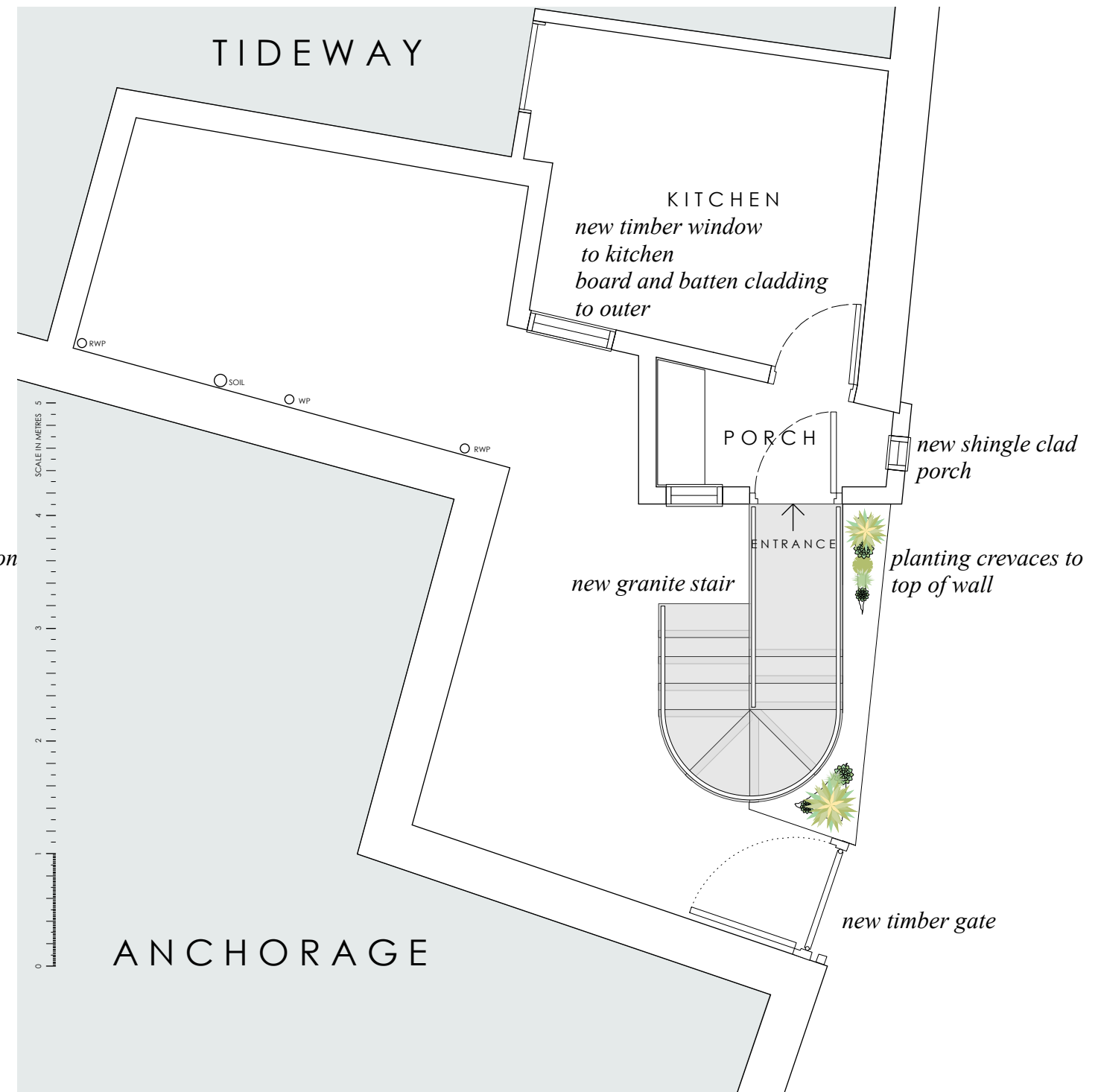
PROPOSED ELEVATIONS

DRAWING NO. TW05
 DATE - OCT 2020
 SCALE - 1:50 @ A3



GROUND FLOOR PLAN

RECEIVED
By A King at 4:02 pm, Oct 19, 2020



FIRST FLOOR PLAN

APPROVED
By Lisa Walton at 1:33 pm, Dec 11, 2020

REVISION A
INCLUSION OF TIMBER WINDOW TO SIDE OF PORCH.
SHOWN ON ELEVATION BUT ORIGINALLY OMITTED FROM PLAN

TIDEWAY

THE BANK, HUGH TOWN

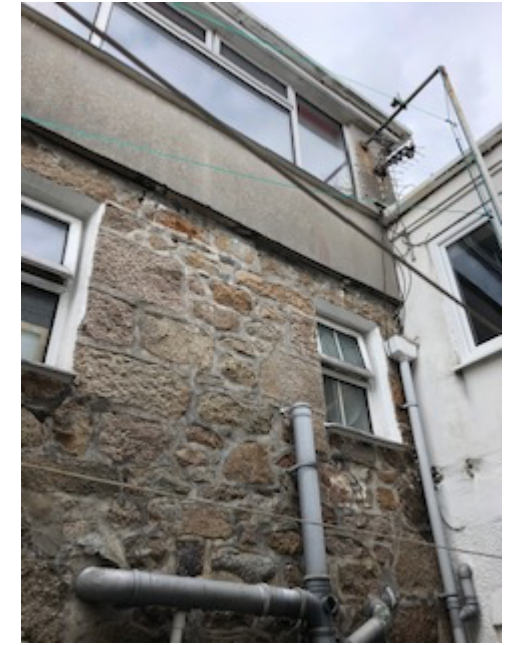
PROPOSED PLANS

DRAWING NO. TW04A
DATE - OCT 2020
SCALE - 1:50 @ A3



existing porch and rear cladding in UPVC

mixture of timber and UPVC windows to rear of The Anchorage



THE BUILDING

TIDEWAY is a first floor apartment situated within the rear yard of the property known as The Anchorage

The Anchorage is a Grade II listed property as described below.

ST. MARY'S SV9010 HUGH STREET, Hugh Town 1358-0/8/64 (North side) 12/02/75 The Anchorage GV II House.C18. Coursed and squared granite; gabled slate roof; granite end stacks. Double-depth central entrance plan. 2 storeys with attics; symmetrical 3-window range. Granite lintels over late C19 horned 2/2-pane sashes and early C20 half-glazed door. Large mid C20 flat-roofed extension to rear. Interior not inspected.

The apartment known as LOWER ANCHORAGE is situated below TIDEWAY. Both apartments are built using granite facings with UPVC windows to the beach elevation. They have rendered walls and UPVC glazing and cladding to the yard elevations. Both apartments share access over the rear yard. There is an open bin store for both apartments which is shared with the main building. Both apartments are Leasehold with the Freehold interest with the owner of The Anchorage, and therefore sit within the curtilage of the listed building.

EXISTING CONDITION

The access stair and lobby to TIDEWAY are in a very poor state of repair, and also do not comply with current building regulations in relation to PART B, Fire, and PART K, Stairs. Understairs storage is unsightly, as is the bin store. The clients wishes to improve access to the upper floor to meet current building regulations and rebuild the external lobby and reclad the existing upper floor area to provide a more robust and user friendly design.



existing slipway elevation



RECEIVED

By Emma Kingwell at 8:35 am, Oct 14, 2020

APPROVED

By Lisa Walton at 1:31 pm, Dec 11, 2020

TIDEWAY

THE BANK, HUGH TOWN

DESIGN AND ACCESS 1

DRAWING NO. TW07

DATE - OCT 2020

SCALE - 1:50 @ A3

LOCATION

TIDEWAY is situated facing directly onto Town Beach, adjacent to the slipway. The building is situated in Flood Zone 3 which signifies a danger of inundation from the sea.

The proposal will have no impact on the current flood situation. The granite boundary wall being demolished will be rebuilt to be equally as effective as the current situation with the addition of a removable flood gate. The design also allows for the addition of a step to prevent water ingress at a later date as required.

THE PROPOSAL

The client would like to rebuild the stair access and porch into the apartment. As you can see from the existing plan, the site is a myriad of different angles. There is no strong alignment or 90° angles in the yard. This has led to the development of an irregular rectangular shaped plan for the porch, rather than try to fit a standard parallel box onto the site as this would feel incongruent.

With that in mind, the first thing to consider is the staircase. As previously mentioned with regard to building regulations, a landing is required at the top of the steps before entry into the porch, this will make the entrance porch safer to access, but it does mean that it will need to extend into the current yard space. By pushing the stairs further towards The Anchorage and creating a dog leg stair, a refuse store can be created underneath for all 3 properties to use. This is accessed from outside the yard which makes it easier for removal by the refuse team.

Building this lower section in a solid material means we can also include a removable flood gate at the entranceway, together with a new half height entrance gate in timber. The remainder of the understair area is for the existing storage requirements of the client.

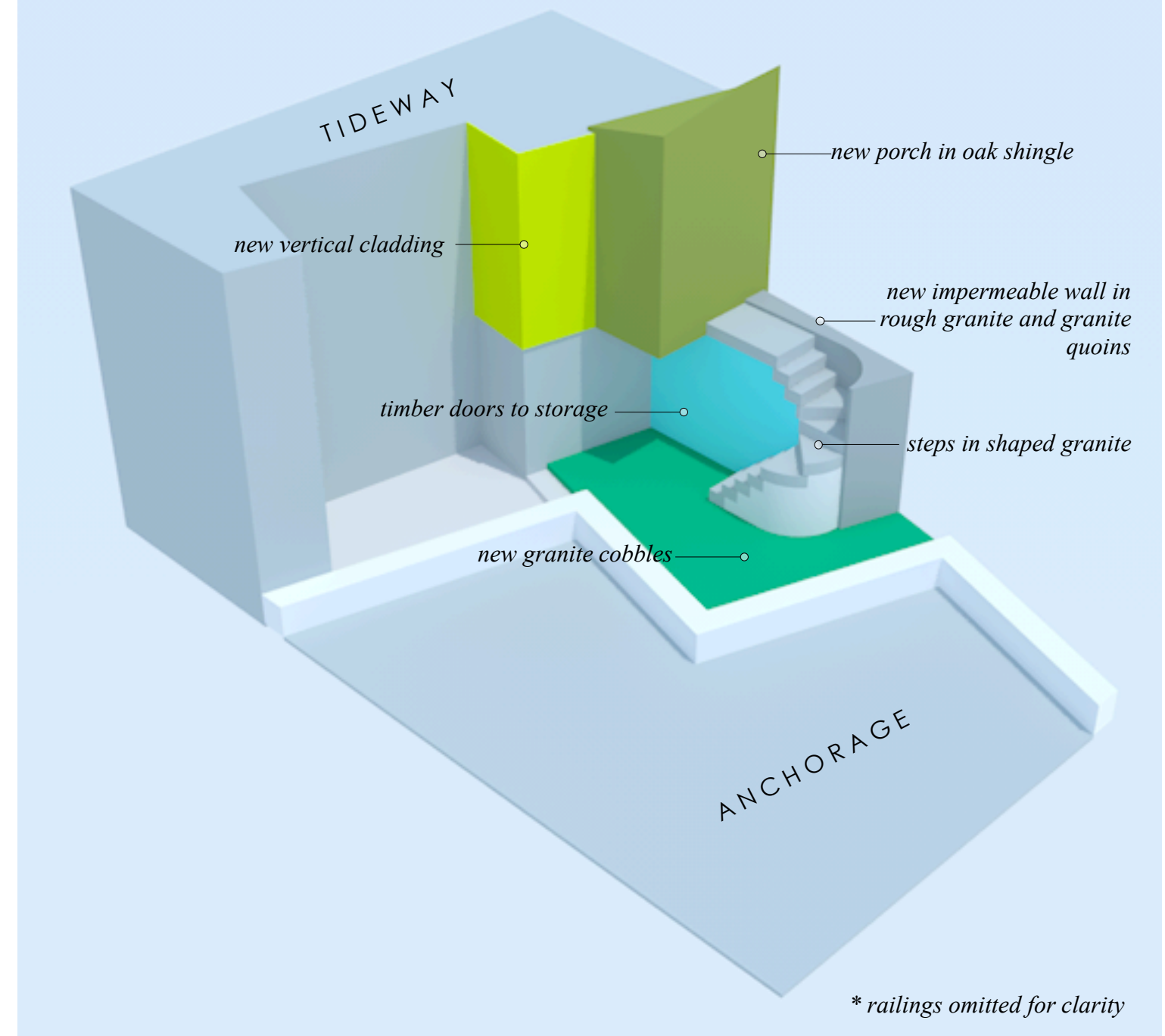
The new porch overhangs the store door below and extends at an angle back to the kitchen wall. This means there is a smaller window in the kitchen but a much larger and more usable porch area. The new window will be in timber and the UPVC wall cladding will be replaced with vertical timber boards. This existing waste pipes will be hidden within the cladding.

The porch takes the form of an irregular quadrangle, thinnest point being at the edge of the site thus reducing its impact. The roof would be pitched back to the wall and slightly higher than the existing main roof to enable water run off. The door will be a solid barn style door with a vintage porthole detail. The porch is clad in timber shingles to provide a neat and clean finish. Slate was considered as an alternative but it is felt that the detail could be cumbersome and unappealing.

Ultimately, the idea is to create an interesting modern addition that looks like it has happened organically in response to the site, while using traditional / natural materials to give the impression that it has always been there.

The new steps will be made from solid granite with the structure and facings being a mixture of faced granite, granite quoins and rough faced granite salvaged from the demolition of the existing boundary wall. The upper level of the yard will be refaced with granite cobbles.

3D MODEL SHOWING ELEMENTS



HISTORIC IMPACT

The proposal is situated within the rear yard of The Anchorage. This is Grade II listed, though it has seen a number of alterations and additions that do not fall within the historic remit of the building. Being part of the mid C20 later additions which could be considered detrimental to the character of the main building, the proposal aims to enhance and improve on the current state of the property with the use of local granite and timber, rather than UPVC, additions. Supporting a sense of place through the use of materials more grounded in the vernacular.

TIDEWAY

THE BANK, HUGH TOWN

DESIGN AND ACCESS 2

DRAWING NO. TW08

DATE - OCT 2020

SCALE - 1:50 @ A3

RECEIVED

By Lisa Walton at 1:15 pm, Dec 11, 2020

Maintenance - Refurbishment - Development

Shearwater Construction LTDTel: 01720423917
Mob: 07979124467
07502220764

www.shearwaterconstruction.com

2 Heydon Flats
Barrison Lane
St Mary's
Isles of Scilly
TR21 0JD

Waste Management Plan

APPROVED

By Lisa Walton at 1:34 pm, Dec 11, 2020

Project:	External Extension Works							
Site address:	Tideway, Hugh Town, St Mary's, Isles of Scilly, TR21							
Subcontractors involved:	Shearwater Construction Ltd							
Responsible site manager:	Kristian Hacker, Leon Hacker							
Material Quantity								
	Total waste	Re-used on-site	Re-used off-site	Recycled for use on-site	Recycled for use off-site	Sent to recycling facility	Sent to landfill	Contractor used
Soil/fill sand	1 ton					yes		Richard Hand / Mulciber
Granite / stones	5 ton	yes		yes				Shearwater Construction
Concrete	2 ton					yes		Richard Hand / Mulciber
Plaster/Plasterboard								
Tiles								
Blocks								
Timber	0.5 ton					yes		Richard Hand
Plastics/PVC	1 ton					yes		Richard Hand
Metal								
Green waste								
Paper + Cardboard	0.5 ton					yes		Richard Hand
Glass	0.5 ton					yes		Richard Hand
Other								

All waste will be removed from site and taken to our workshop at Porthmellon Ind Estate. It will then be separated into dumpy bags - glass, timber, plastic, cardboard packaging etc and taken to the recycling centre by Richard Hand Haulage.

Any rubble / soil / slate / stone / concrete waste will be taken to the quarry at Mulciber for recycling. Any granite stones being removed will be kept on site for reuse