



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, St Mary's, Isles of Scilly, TR21 0LW  
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✉planning@scilly.gov.uk

Mr R Jackman  
Westward Ledge  
Church Road  
St Marys  
Isles Of Scilly  
TR21 0NA

Email only: [REDACTED]

18<sup>th</sup> November 2021

Dear Mr Jackman,

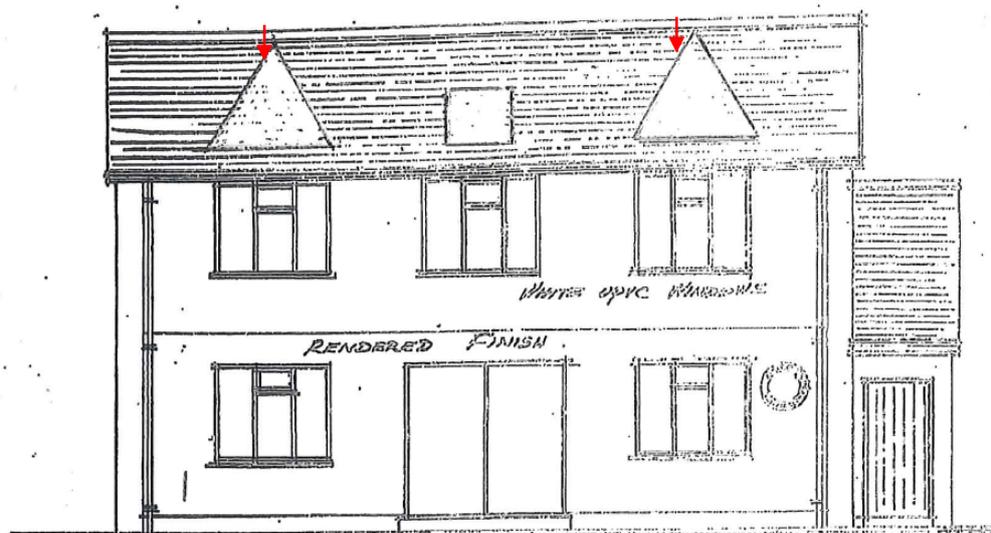
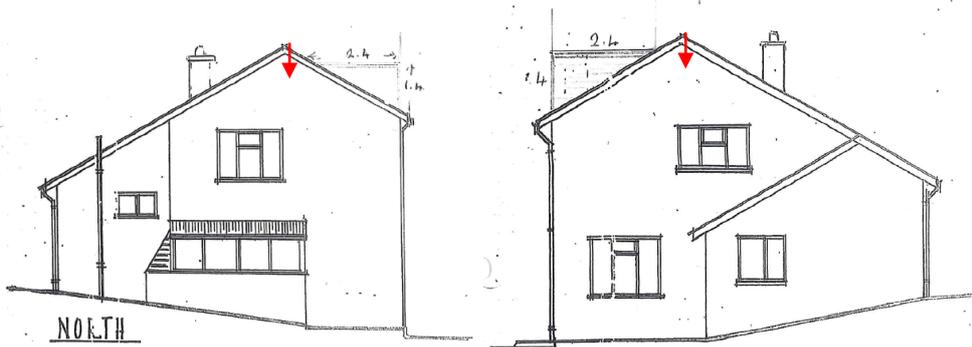
<b>PLANNING REFERENCE</b>	P/21/054/HH
<b>DEVELOPMENT</b>	Roof alteration for introduction of two dormers plus velux roof light (amended plans)
<b>PROPOSED:</b>	
<b>LOCATION:</b>	Westward Ledge, Church Road, Hugh Town, St Mary's, Isles of Scilly, TR21 0NA

Further to the submission of the corrected amended plans, and my apologies for the delay in getting back to you. I am writing to request that you indicate which option you would like to propose, as you indicated two in your response. Because of the nature of the plans that have been edited multiple times there appears to be a degree of inconsistency between what is shown on the front elevation and what you show from the side elevation. In order to ensure the plans are consistent between the side view and the front view, please can you mark on the distances between the ridge line of the dormer and the ridge line of the main roof. So with the final version, you need to be consistent with the position of the dormers relative to the ridge line and the eaves line of the main house.

Thank you for the correction, yes, they are not dormer windows but dormer structures within the roof. I note that you confirm that the space within the roof is not for habitable purposes and that you would expect there to be a condition to restrict such a use. There does seem to be a desire to create large dormer features and I would request that you look to amend the plans to the scale as originally indicated to you of my original letter. This was not intended to show construction of the roof to the edge of the roof slope, but to align with the front wall of the house.



As noted above there needs to be accuracy and consistency between all elevations. As with building control plans, these plans need to be accurate so we can be confident on what it is we are considering. There is a big different between how you show these structures on the front elevation and how they appear from each side. The plans show a different position for each elevation. We cannot condition construction in accordance with plans that are inconsistent with one another. Please can you lower the position of the ridge of the dormer, and ensure you note the distance from the ridge line.



Finally, information has been sent through to the Planning Department that suggests this property has been sub-divided in some way and that there is an independent and self-contained unit of accommodation. The subdivision of any property into multiple units of accommodation does require planning permission and any gain in such units has to be meeting a local need, secured by a Section 106 agreement. I would be grateful if you could let me know if there is any self-contained accommodation that you currently let out.

Yours sincerely

Lisa Walton MRTPI  
Chief Planning Officer