



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Town Hall, St Mary's TR21 0LW  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2010

### **PERMISSION FOR DEVELOPMENT**

**Application No:** P/21/091/FUL **Date Application Registered:** 1<sup>st</sup> November 2021

**Applicant:** Leading Edge Academies Partnership  
Five Islands School  
Carn Gwaval  
Old Town  
St Mary's  
Isles of Scilly  
TR21 0NA

**Site address:** Five Islands School Carn Gwaval Old Town St Mary's Isles of Scilly  
**Proposal:** Erection of a new building with teaching facilities and a storage room in the below undercroft.

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

**C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

**C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location Plan, drawing number: 1647-PL01 Rev A**
- **Plan 2 Proposed Site Plan, drawing number: 1647-PL03 Rev A**
- **Plan 3 Proposed Elevations - North and West, drawing number 1647-PL06 Rev A**
- **Plan 4 Proposed Elevations - South and East, drawing number 1647-PL05 Rev A**
- **Plan 5 Proposed Floor Plans, drawing number 1647-PL04 Rev A**
- **Design and Access Statement**

**These are stamped as APPROVED**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

**C3 Prior to the first use of the school building, hereby approved, details of measures for biodiversity enhancements, either on the building or around the site, including the installation of appropriate bat boxes and bird nesting boxes and suitable native planting, if additional landscaping is required, shall be submitted to and approved in writing by the Local Planning Authority, the measures approved shall be installed before the first bird nesting and bat active season following the completion of the development and be retained as approved thereafter.**

Reason: In the interests of securing appropriate and proportionate biodiversity net gains at this site in accordance with Policy OE2, SS1(d) and SS2(g) of the Isles of Scilly Local Plan (2015-2030).

- C4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (As Amended), (or any order revoking or re-enacting that Order) prior to installation, details of any external lighting shall be submitted to and approved, in writing, by the Local Planning Authority. Any external lighting proposed will need to be sensor activated or timed, be of the lowest brightness possible and be cowled and angled down to the ground only. The lighting shall thereafter be installed in accordance with the agreed details.**

Reason: To protect the amenities of the locality and to preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

#### **PRE-COMMENCEMENT CONDITION: Site Waste Management Plan**

- C5 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted and agreed by the Local Planning Authority. This is to ensure those characteristics which contribute to the status of the Isles of Scilly as a Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast are not eroded by uncontrolled mineral extraction or the tipping of waste. In accordance with the requirements of Policies SS2(2) and OE5 of the Isles of Scilly Local Plan (2015 - 2030).

- C6 Prior to the installation of any external surface material, precise details, to include samples if possible, of the materials to be used in the construction of the external surfaces of the development hereby permitted shall be submitted to, and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.**

Reason: To safeguard the visual amenity and landscape character of the Islands in accordance with policies OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

- C7 All works involving machinery required in connection with the implementation of this permission shall be restricted to between 0800 and 1800 hours Monday to Saturdays. There shall be no works involving machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of the islands.

#### **Further Information**

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2021.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment (for which a fee of £234 would be required) or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer.
3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is current £116 for each request to discharge condition(s) where the planning permission relates to any other type of development other than a householder application. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied:  
[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)

Signed:



**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE: 14<sup>th</sup> January 2022**



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW  
☎0300 1234 105  
✉planning@scilly.gov.uk

Dear Leading Edge Academies Partnership

## Please sign and complete this certificate.

This is to certify that decision notice: P/21/091/FUL and the accompanying conditions have been read and understood by the applicant: Leading Edge Academies Partnership.

1. **I/we intend to commence the development as approved:** Erection of a new building with teaching facilities and a storage room in the below undercroft at: Five Islands School Carn Gwaval Old Town St Mary's Isles Of Scilly **on:**.....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

**Name:** \_\_\_\_\_ **Contact Telephone Number:** \_\_\_\_\_  
**And/or Email:** \_\_\_\_\_

Print Name: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

### PRE-COMMENCEMENT CONDITION(S)

- C5 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.



# COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

**THIS LETTER CONTAINS IMPORTANT INFORMATION  
REGARDING YOUR PERMISSION – PLEASE READ  
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE  
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW  
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

**Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

**Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non material if necessary.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Other Types - 6 months

You can obtain the appeal forms by calling 0303 444 5000 or submit an appeal through the Planning Portal <http://www.planningportal.gov.uk/planning/appeals/online/makeanappeal>

You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

### **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people

in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792, via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall Council  
Pydar House  
Pydar Street  
Truro  
Cornwall  
TR1 1XU

#### **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

#### **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

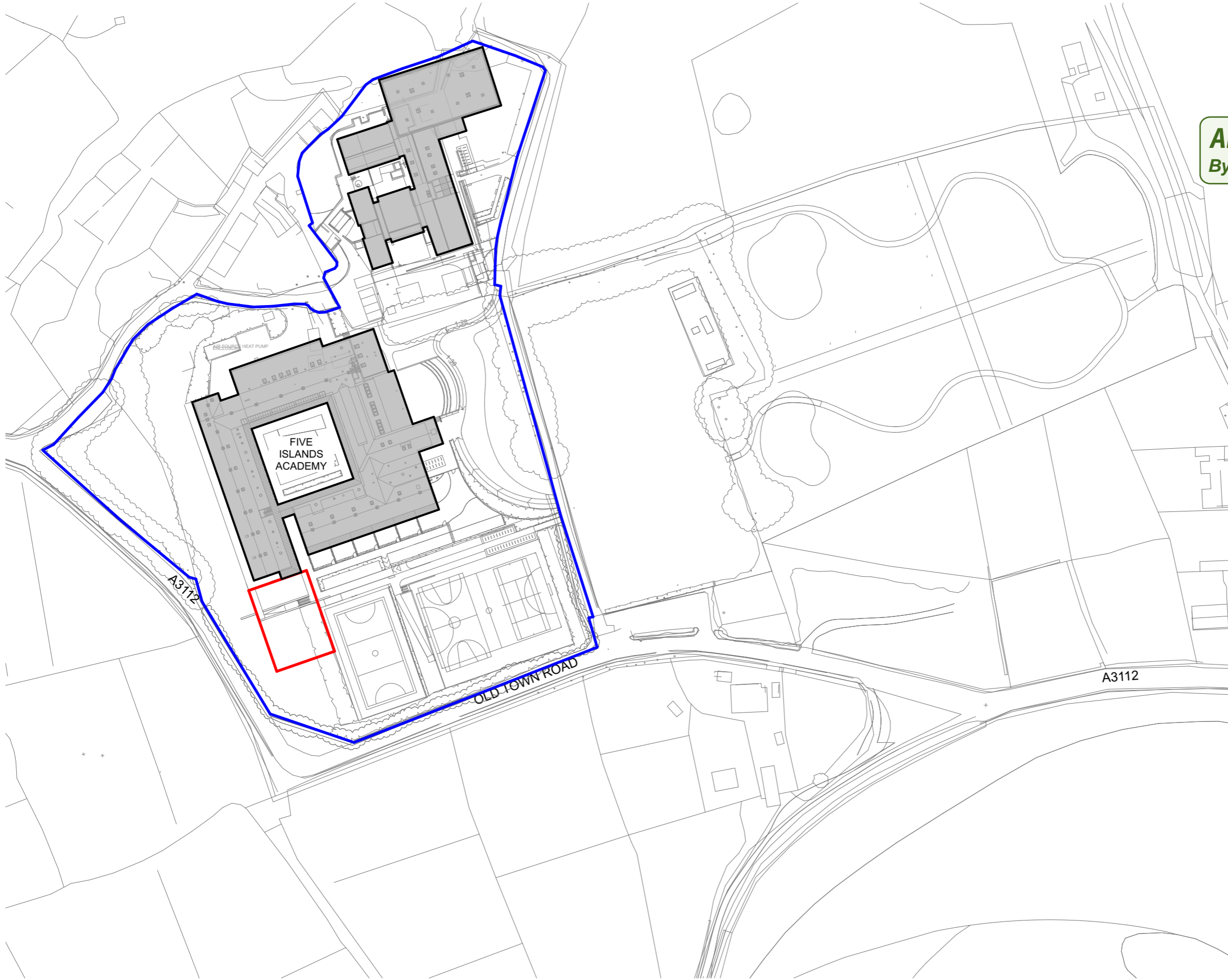
Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

Dimensions are not to be scaled from this drawing.  
Drawing to be read in conjunction with Building regulation notes.



Rev	Date	Description	Author
/	05 Oct 21	First issue.	so
A	13 Oct 21	Issued for Planning.	so

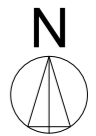
**RECEIVED**  
By Emma Kingwell at 4:15 pm, Oct 27, 2021

**APPROVED**  
By Lisa Walton at 5:21 pm, Jan 14, 2022



**Key**

-  Extent of Five Islands Academy ownership boundary
-  Site of proposed new classroom



0 10 20 30 40 50m



PLANNING

New Classroom  
for  
Five Islands Academy  
Isles of Scilly  
Location Plan

Scale: 1:1250 @ A3

Drawing No: 1647 - PL01 Rev A

The Boat Shed, Michael Browning Way  
Exeter EX2 8DD  
01392 438051 mail@g-a.uk.com

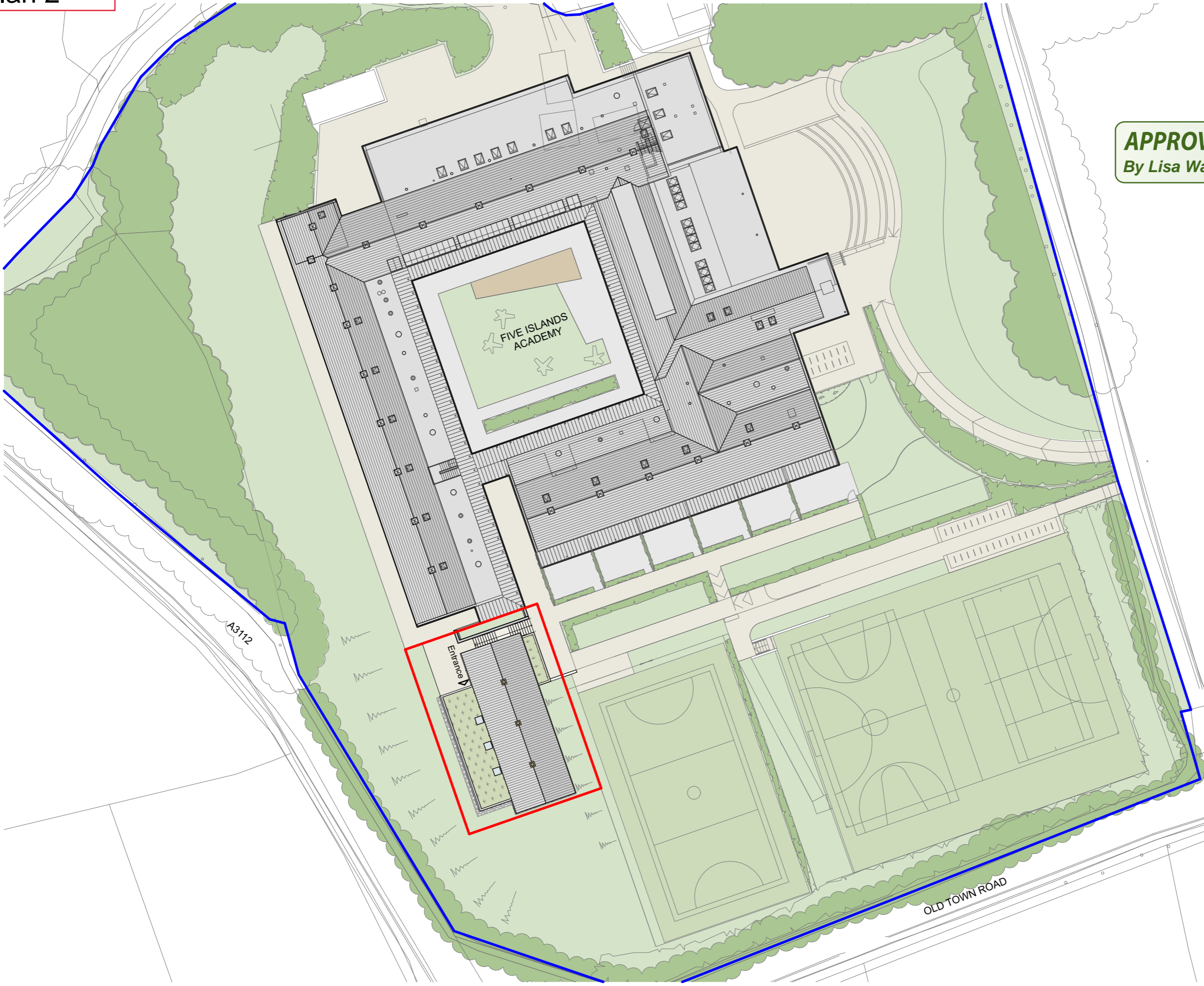
grainge architects

Dimensions are not to be scaled from this drawing.  
Drawing to be read in conjunction with Building regulation notes.

Rev	Date	Description	Author
/	05 Oct 21	First issue.	so
A	13 Oct 21	Issued for Planning.	so

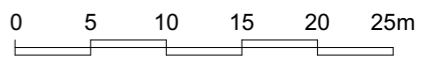
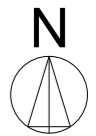
**RECEIVED**  
By Emma Kingwell at 4:14 pm, Oct 27, 2021

**APPROVED**  
By Lisa Walton at 5:22 pm, Jan 14, 2022



**Key**

- Extent of Five Islands
- Academy ownership boundary
- Site of proposed new classroom



PLANNING

New Classroom  
for  
Five Islands Academy  
Isles of Scilly  
Proposed Site Plan

Scale: 1:500 @ A3  
Drawing No: 1647 - PL03 Rev A  
The Boat Shed, Michael Browning Way  
Exeter EX2 8DD  
01392 438051 mail@g-a.uk.com

grainge  
architects



# Plan 3

**RECEIVED**

By Emma Kingwell at 4:14 pm, Oct 27, 2021



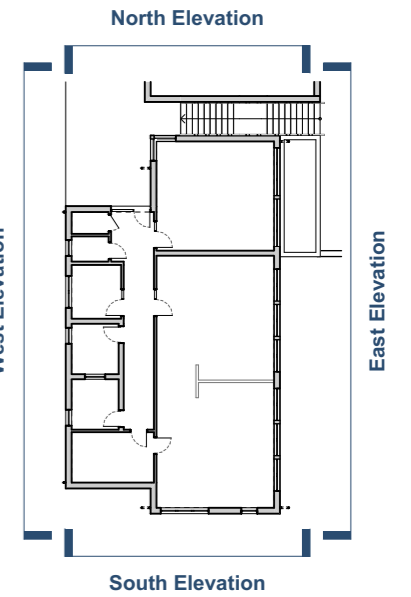
**PROPOSED NORTH ELEVATION**

## MATERIALS KEY

- 1 **Roof** - Fibre Cement Profiled Roof Sheet, Black to match Existing School
- 2 **Roof** - Sedum Roof
- 3 **Walls** - Black / Dark Grey Timber Cladding
- 4 **Walls** - Timber Cladding to Match Existing School
- 5 **Plinth / Undercroft** - Blue Engineering Brick with Light Grey Mortar
- 6 **Windows** - UPVC with Timber Reveals
- 7 **Posts** - Timber to Match Existing School
- 8 **Rainwater Goods** - Half Round Metal to Match Existing School
- 9 **Windcatcher** - Natural Ventilation Turret
- 10 **Landscape Walls** - Dark Grey Render
- 11 **Brise Soleil** - Timber

Dimensions are not to be scaled from this drawing. Drawing to be read in conjunction with Building regulation notes.

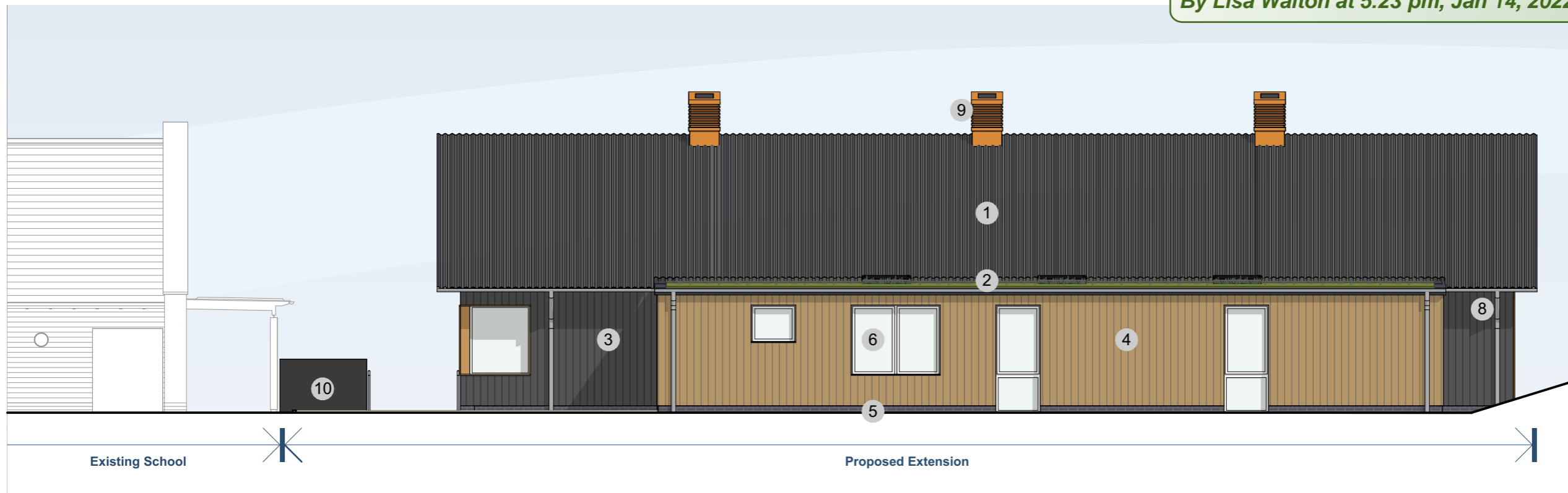
Rev	Date	Description	Author
/	05 Oct 21	First issue.	so
A	13 Oct 21	Issued for Planning.	so



**ELEVATIONS KEY**

**APPROVED**

By Lisa Walton at 5:23 pm, Jan 14, 2022



**PROPOSED WEST ELEVATION**



**PLANNING**

New Classroom for Five Islands Academy Isles of Scilly  
Proposed Elevations - North & West

Scale: 1:100 @ A3

Drawing No: 1647 - PL06 Rev A

The Boat Shed, Michael Browning Way  
Exeter EX2 8DD  
01392 438051 mail@g-a.uk.com

**grainge architects**

**RECEIVED**  
By Emma Kingwell at 4:13 pm, Oct 27, 2021

**APPROVED**  
By Lisa Walton at 5:24 pm, Jan 14, 2022



PROPOSED SOUTH ELEVATION

Proposed Extension

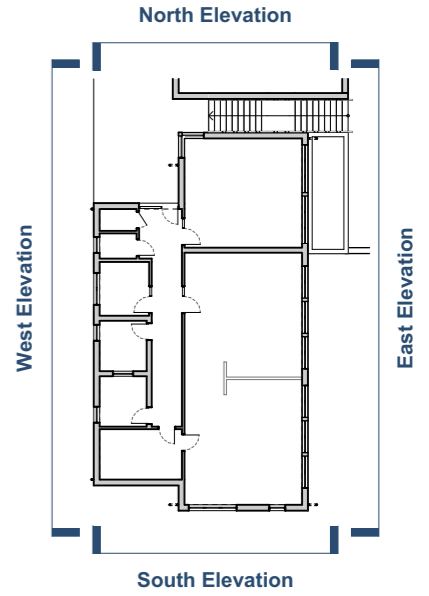
Existing School

**MATERIALS KEY**

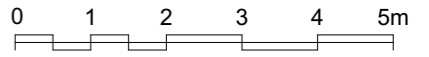
- 1 **Roof** - Fibre Cement Profiled Roof Sheet, Black to match Existing School
- 2 **Roof** - Sedum Roof
- 3 **Walls** - Black / Dark Grey Timber Cladding
- 4 **Walls** - Timber Cladding to Match Existing School
- 5 **Plinth / Undercroft** - Blue Engineering Brick with Light Grey Mortar
- 6 **Windows** - UPVC with Timber Reveals
- 7 **Posts** - Timber to Match Existing School
- 8 **Rainwater Goods** - Half Round Metal to Match Existing School
- 9 **Windcatcher** - Natural Ventilation Turret
- 10 **Landscape Walls** - Dark Grey Render
- 11 **Brise Soleil** - Timber

Dimensions are not to be scaled from this drawing. Drawing to be read in conjunction with Building regulation notes.

Rev	Date	Description	Author
/	05 Oct 21	First issue.	so
A	13 Oct 21	Issued for Planning.	so



**ELEVATIONS KEY**



PROPOSED EAST ELEVATION

Proposed Extension

Existing School



PLANNING

New Classroom for Five Islands Academy Isles of Scilly  
Proposed Elevations - South & East

Scale: 1:100 @ A3  
Drawing No: 1647 - PL05 Rev A  
The Boat Shed, Michael Browning Way  
Exeter EX2 8DD  
01392 438051 mail@g-a.uk.com

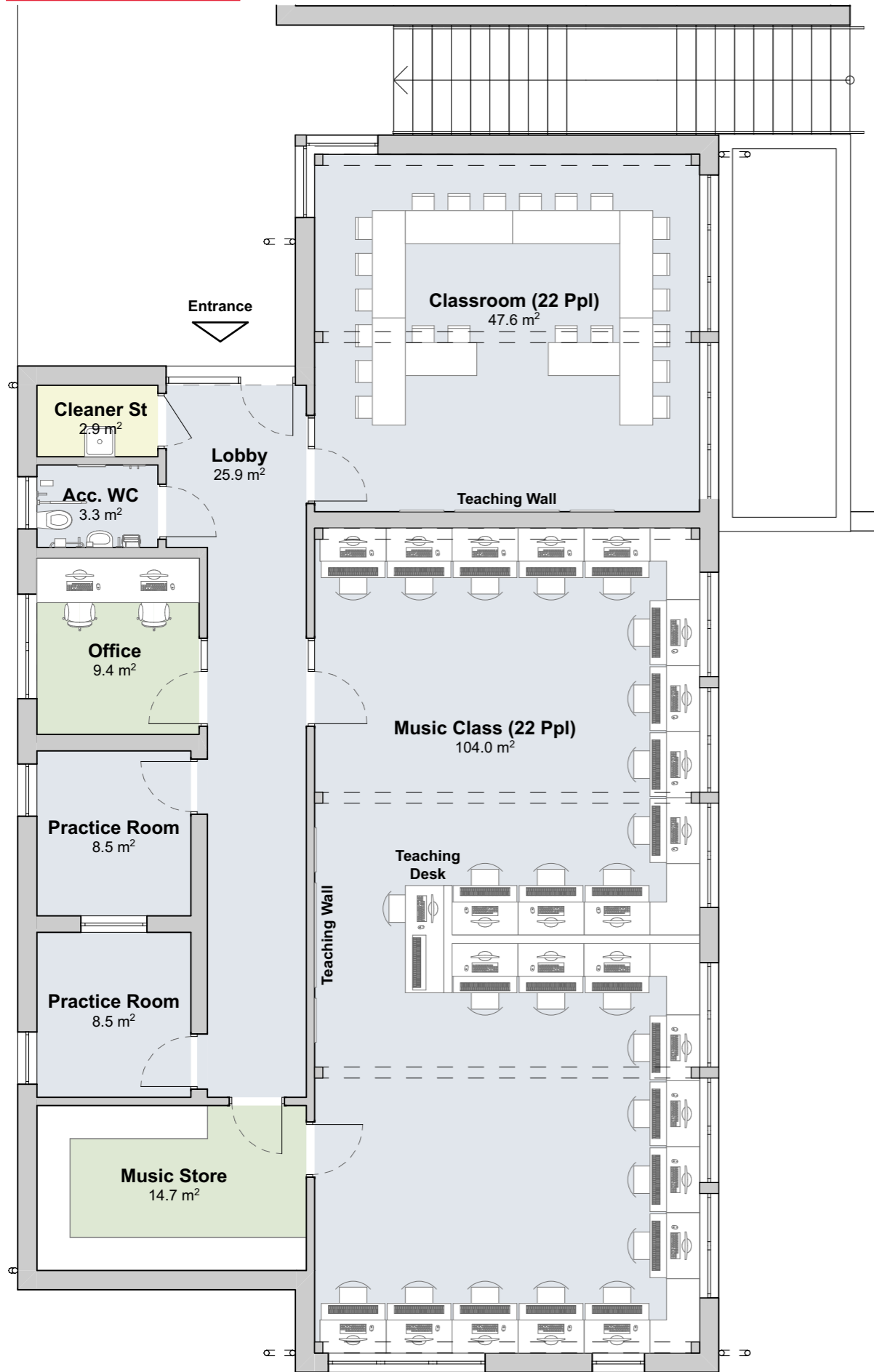
grainge architects

# Plan 5

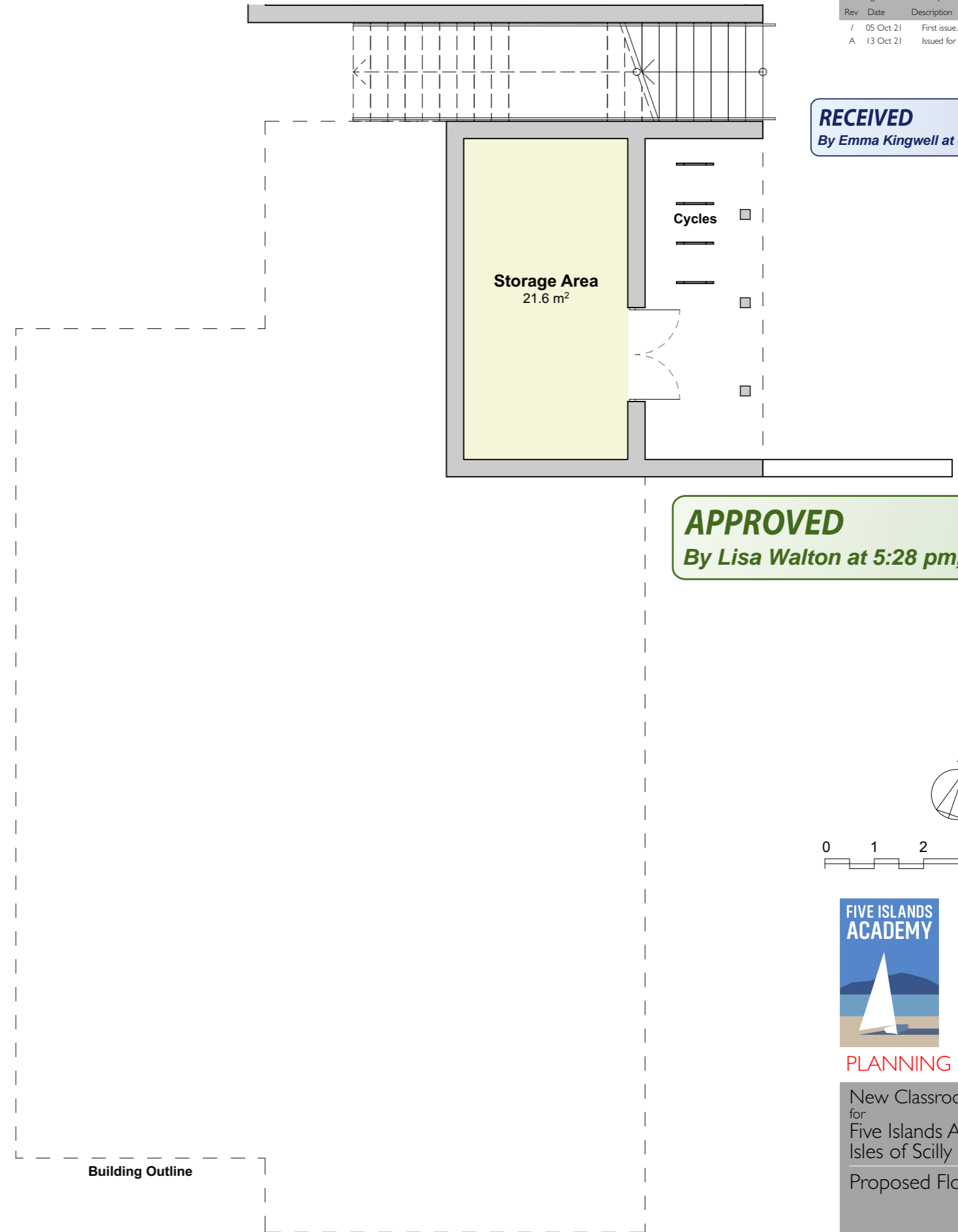
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**RECEIVED**  
By Emma Kingwell at 4:14 pm, Oct 27, 2021

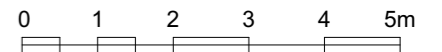


GROUND FLOOR



LOWER GROUND FLOOR

**APPROVED**  
By Lisa Walton at 5:28 pm, Jan 14, 2022



PLANNING

New Classroom  
for  
Five Islands Academy  
Isles of Scilly

Proposed Floor Plans

Scale: 1:100 @ A3

Drawing No: 1647 - PL04 Rev A

The Boat Shed, Michael Browning Way  
Exeter EX2 8DD  
01392 438051 mail@g-a.uk.com

grainge  
architects

**RECEIVED**

By Emma Kingwell at 4:12 pm, Oct 27, 2021

**APPROVED**

By Lisa Walton at 5:30 pm, Jan 14, 2022



grainge architects

## Design & Access Statement

In support of proposals for a new classroom extension at Five Islands Academy, Isles of Scilly.

**PLANNING**

Rev A: 13th October 2021

# 1.0 Introduction

This Design & Access Statement seeks to support the application to construct a new separate classroom building at Five Islands Academy on the Isles of Scilly.

The site of the proposed extension is located within the school's curtilage, at the southern end of the existing building's west wing.

The proposal will be illustrated through the following supporting drawings/information:

- 1647-PL01 - Location Plan
- 1647-PL02 - Existing Site Plan
- 1647-PL03 - Proposed Site Plan
- 1647-PL04 - Proposed Floor Plans
- 1647-PL05-PL06 - Proposed Elevations
- 1647-PL07-PL10 - 3D Views



Fig. 01  
Aerial view of site.



Fig. 02  
Existing school building.

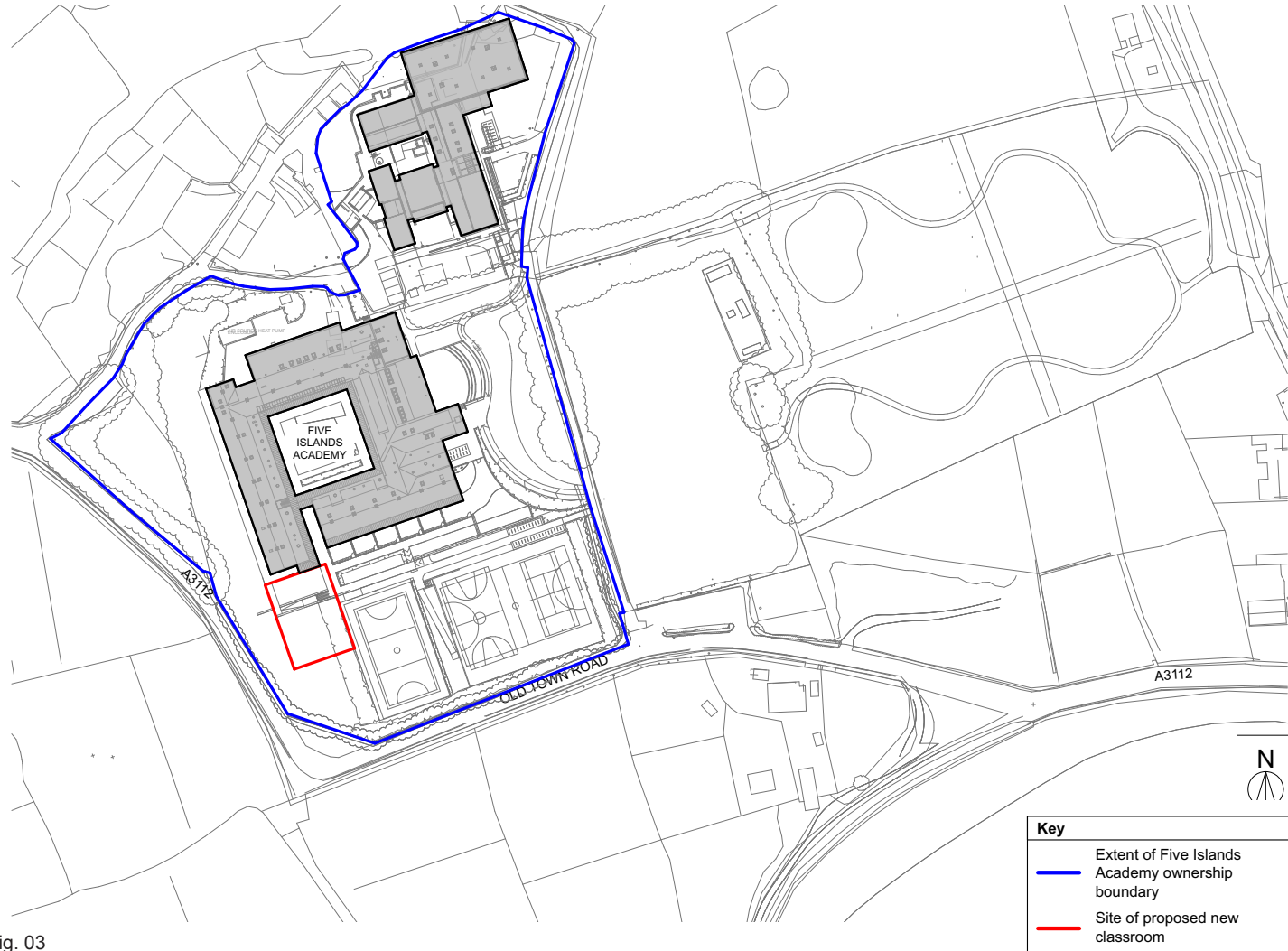


Fig. 03  
Site Location Plan.

## 2.0 Context

The photographs to the right illustrate the existing site conditions and appearance of the adjacent school building.

The identified site is currently unoccupied and slopes steeply down from west to east. This level difference has been efficiently utilised by the neighbouring building to create a plant room within the undercroft. The new development will adopt a similar design approach to provide further valuable storage space for the school at ground floor level.

The proposed site is considered to be a sympathetic and unobtrusive location for a new, self-contained classroom extension. The development will have minimal impact upon the established landscaping and circulation routes around the school, and will visually harmonise with the adjacent building by matching its linear form, scale and proportions.

The school require the new extension due to an increase in pupil numbers and to provide new special educational need (SEN) facilities. The existing music classroom, practice rooms and store within the school are proposed to be converted into a SEN classroom, therapy room and sensory room, to be named The Harbour. These conversion works are proposed to be internal only. The Harbour is proposed to be located at the heart of the school and at ground floor level for accessibility. The music facility is then proposed to be relocated within the new detached classroom extension.

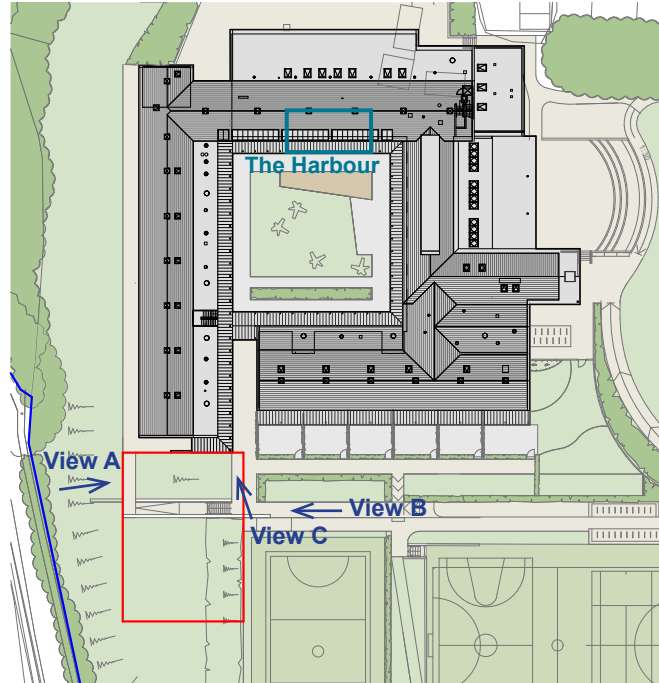


Fig. 04  
Existing site plan.



Fig. 05  
View A: Existing site context (viewed from west).



Fig. 06  
View B: Existing site context (viewed from east).



Fig. 07  
View C: Existing site & adjacent school building.

### 3.0 Use & Amount

The proposed development accommodates the following within its 255.5m<sup>2</sup> GIFA:

- 2 no. Classrooms to hold 22 pupils each
- 2 no. Practice Rooms
- Office
- Music Store
- Accessible WC
- Cleaners Store
- Storage Area in undercroft

### 4.0 Layout & Scale

The new classroom accommodation is intended to be viewed as a coherent extension of the existing school, although contained within a separate building. As such, the width of the proposed structure accords with that of the adjacent block.

The walkway running alongside the gable end of the existing school will be retained and will provide access into the new classroom from the north side. A new set of external steps will separate the existing school and the proposed building, replacing the existing steps which are currently situated within the new buildings desired footprint.

The ground floor is occupied by teaching facilities, with the lower ground floor solely for much needed storage. This undercroft space is enclosed to create an unheated storage room, with a canopy extending out to provide a covered space for cycle racks.

In addition to echoing the proportions of the existing building, the form of the extension is designed with the school's sustainability ethos in mind, incorporating the addition of windcatchers to provide natural ventilation.

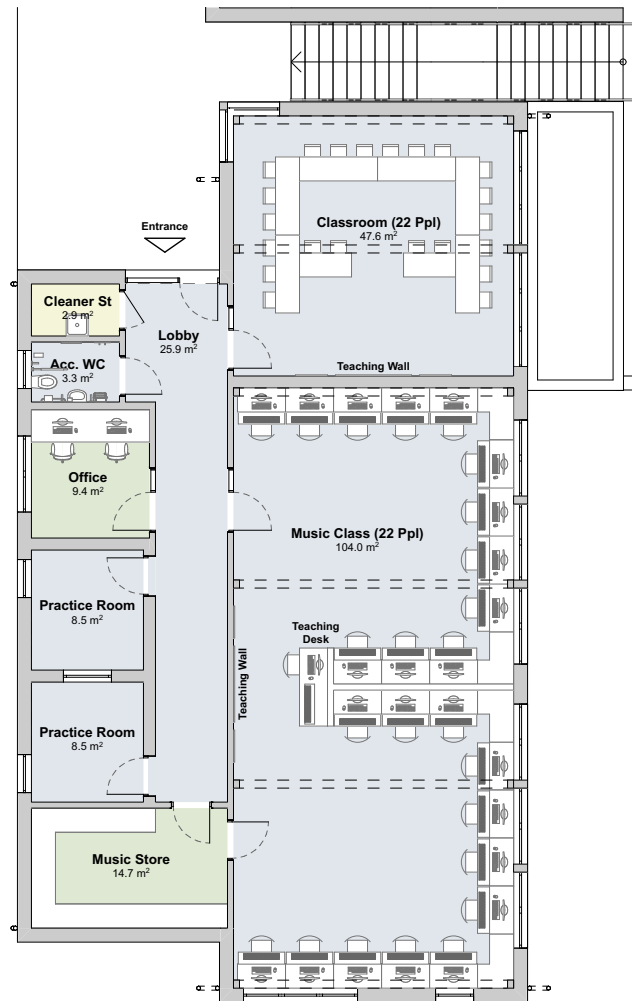


Fig. 08  
Proposed ground floor plan.

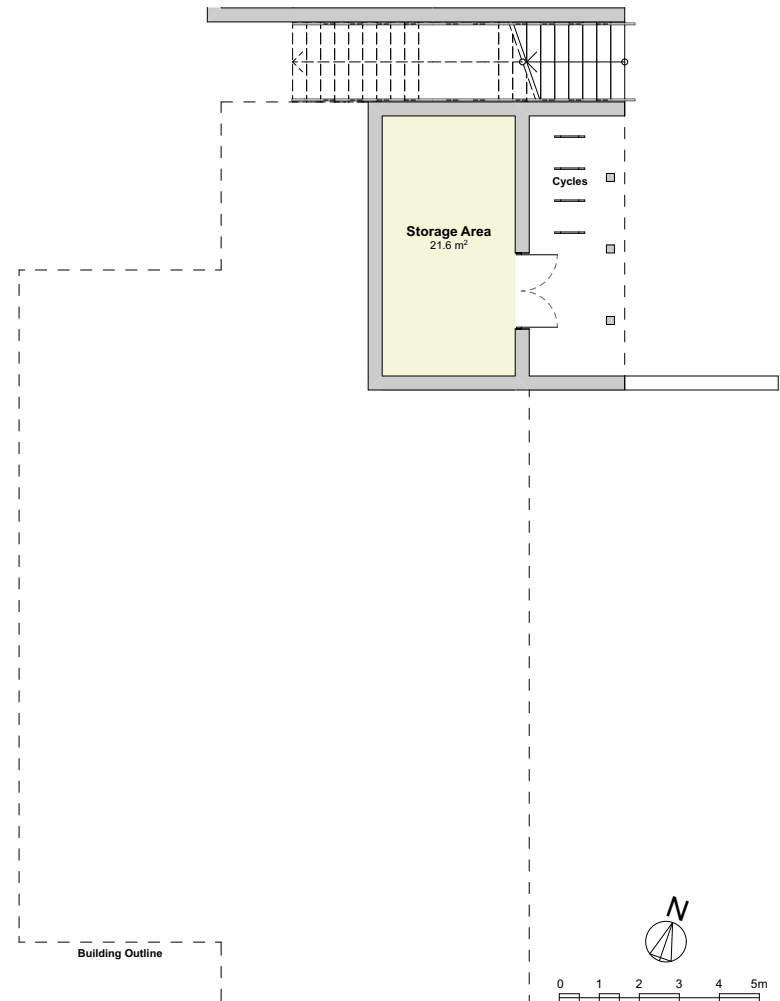


Fig. 09  
Proposed lower ground floor plan.

## 5.0 Appearance & Materials

The design intent for the new build is for it to be harmonious with the existing adjacent school building, but to have a slightly more contemporary take on the current form and material palette to give this extension its own identity.

As mentioned previously, the depth of the building matches that of the existing and the canopy extends to the same distance as the schools external walkway. Timber posts to the undercroft mirror those of the walkway in appearance and uniformity, as do the windcatchers to the roof but with a welcomed splash of colour.

Timber cladding to the rear ties in with the corresponding elevation of the existing school (Fig. 14), shifting then to a contemporary charred timber cladding for the main bulk of the building. The main roof echoes the pitch of the existing school whilst the material choice of corrugated roof sheets take inspiration from the local agricultural buildings of the islands, as well as that used on the Technology classroom of the main school. Sections of green roof aid and promote the fantastic local biodiversity alongside their sustainable benefits.



Fig. 14  
Existing building.



Fig. 10  
Proposed south elevation.



Fig. 11  
Proposed north elevation.



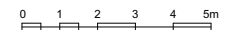
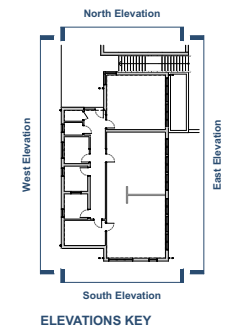
Fig. 12  
Proposed east elevation.



Fig. 13  
Proposed west elevation.

### MATERIALS KEY

- 1 Roof - Fibre Cement Profiled Roof Sheet, Black to match Existing School
- 2 Roof - Sedum Roof
- 3 Walls - Black / Dark Grey Timber Cladding
- 4 Walls - Timber Cladding to Match Existing School
- 5 Plinth / Undercroft - Blue Engineering Brick with Light Grey Mortar
- 6 Windows - UPVC with Timber Reveals
- 7 Posts - Timber to Match Existing School
- 8 Rainwater Goods - Half Round Metal to Match Existing School
- 9 Windcatcher - Natural Ventilation Turret
- 10 Landscape Walls - Dark Grey Render
- 11 Brise Soleil - Timber





## 6.0 Landscape

Alterations to the hard and soft landscaping surrounding the proposed extension are minimal.

The new building's entrances will connect to existing paths around the site. The existing surface treatment to the east of the building will be extended to provide suitable access to the undercroft space and new cycle racks.

As previously mentioned, the existing external steps will be demolished and rebuilt between the school and proposed extension to provide access from the lower path to the new classroom building's entrance.

The bank and mature vegetation to the west of the site will remain unaffected by the development.

## 7.0 Access

The proposed extension will be approached via established circulation routes around the campus. It will be suitably signposted and the primary entrance made identifiable by clear signage. All entrances will have level thresholds and disabled access can be achieved via lifts within the main school. The accessibility of the adjacent building will not be affected by the proposal.

The building layout, external/internal gradients and surface treatments will be provided in accordance with the Building Regulations and BS8300. Due regard to DDA requirements will enable all users to access the proposed building on equal terms without discrimination.



Fig. 15  
Proposed site plan.

Relocated external steps.

Cycle storage below canopy.