



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Town Hall, St Mary's TR21 0LW  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2015

### **PERMISSION FOR DEVELOPMENT**

**Application No:** P/23/042/HH      **Date Application Registered:** 21st August 2023

**Applicant:** Mr Miles Brooks  
875 Orman Drive  
Boulder  
USA  
80303

**Agent:** Mr Paul Osborne  
Kavorna  
Hugh Street  
St Mary's  
Isles Of Scilly  
TR21 0LL

**Site address:** St Eia Hugh Street Hugh Town St Mary's Isles Of Scilly  
**Proposal:** Proposed alterations including new lean-to extension, renovation of existing rear porch, alterations to existing layout, re-wiring, removal of existing coal store and greenhouse (Listed Building) (Amended Plans/Title)

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**  
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The windows and doors of the conservatory on the amended plans, hereby approved, shall be constructed in timber only and shall be painted white and retained as such thereafter.**  
Reason: To ensure that the proposal does not have an adverse effect on the character of the listed building.
- C3 Before any works are undertaken photographs of all internal elevations shall be produced and a dated copy record of the photographs deposited with the Local Planning Authority.**  
Reason: This is a pre-commencement condition that seeks to ensure appropriate information is secured to enable a record to be maintained of features removed from the interior of this property.
- C4 The rooflights to the development hereby approved shall be of the 'conservation type', with a metal frame flush with the roof slope and a central vertical metal glazing bar.**  
Reason: To ensure that the rooflights are appropriate to the character and appearance of the building in accordance with Policy OE7 the Isles of Scilly Local Plan 2015-2030.
- C5 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**  
Reason: In the interests of protecting the residential amenities of the islands.

**C6 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location Plan, date stamped 18/08/2023**
- **Plan 2 Site Plan, date stamped 18/08/2023**
- **Plan 3 AMENDED Proposed Plans and Elevations drawing number SE-PL-8a, date of amendment October 2023, date stamped 09/10/2023**
- **Heritage Statement, Ridgeway Heritage, Project No RHC 2023-46 dated 18/08/2023**
- **Site Waste Management Plan, date stamped 18/08/2023**
- **Floor Risk Assessment and Personal Flood Plan, Innervision Design Ltd, dated September 2023**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

### **Further Information**

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2021.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building, you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: [https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf) Fees are set to increase as of 06/12/2023
3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is currently £34 for each request to discharge condition(s) where the planning permission relates to a householder application. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied: [https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf). Fees are set to increase as of 06/12/2023
4. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk).
5. Registering for appropriate Business Rates/Council Tax: To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: [revenues@scilly.gov.uk](mailto:revenues@scilly.gov.uk).
6. As the proposed works affect the boundary with a neighbouring property, this decision does not convey any other form of consent or agreement that may be necessary in conjunction with these works and does not override or supersede any civil rights, which the neighbour may have. The attention of the applicant is drawn to the information contained in the Party Wall etc. Act 1996.

Signed:



**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 15th November 2023



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW  
☎0300 1234 105  
✉planning@scilly.gov.uk

Dear Mr Miles Brooks

## Please sign and complete this certificate.

This is to certify that decision notice: P/23/042/HH and the accompanying conditions have been read and understood by the applicant: Mr Miles Brooks.

1. **I/we intend to commence the development as approved:** Proposed alterations including new lean-to extension, renovation of existing rear porch, alterations to existing layout, re-wiring, removal of existing coal store and greenhouse (Listed Building) (Amended Plans/Title) at: St Eia Hugh Street Hugh Town St Mary's Isles Of Scilly **on:** .....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

**Name:** ..... **Contact Telephone Number:** .....  
**And/Or Email:** .....

Print Name: .....

Signed: .....

Date: .....

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

### PRE-COMMENCEMENT CONDITION(S)

**C3** Before any works are undertaken photographs of all internal elevations shall be produced and a dated copy record of the photographs deposited with the Local Planning Authority.

**APPROVED**

By Lisa Walton at 9:52 am, Nov 15, 2023

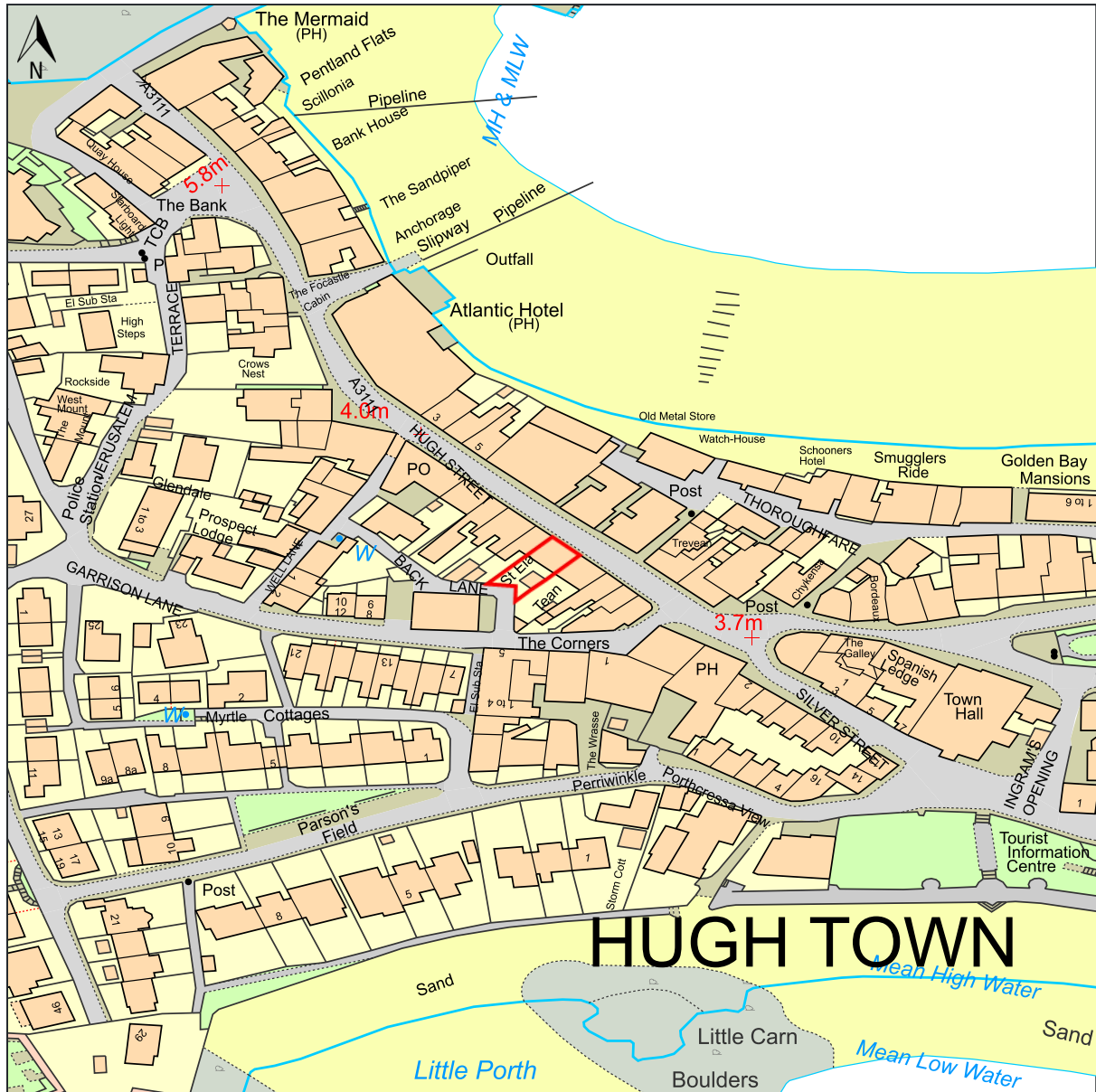
**RECEIVED**

By Liv Rickman at 3:27 pm, Aug 18, 2023

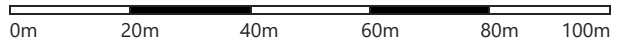
ST. EIA, HUGH STREET, ST MARY'S, ISLES OF SCILLY, TR21 0LL

UPRN: 192000310

HMLR Title No: CL328466



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Scale: 1:1250

Paper Size: A4

**Notes:**

Location Plan For  
ST EIA  
HUGH ST  
ST MARYS  
ISLES OF SCILLY



**APPROVED**

By Lisa Walton at 9:54 am, Nov 15, 2023

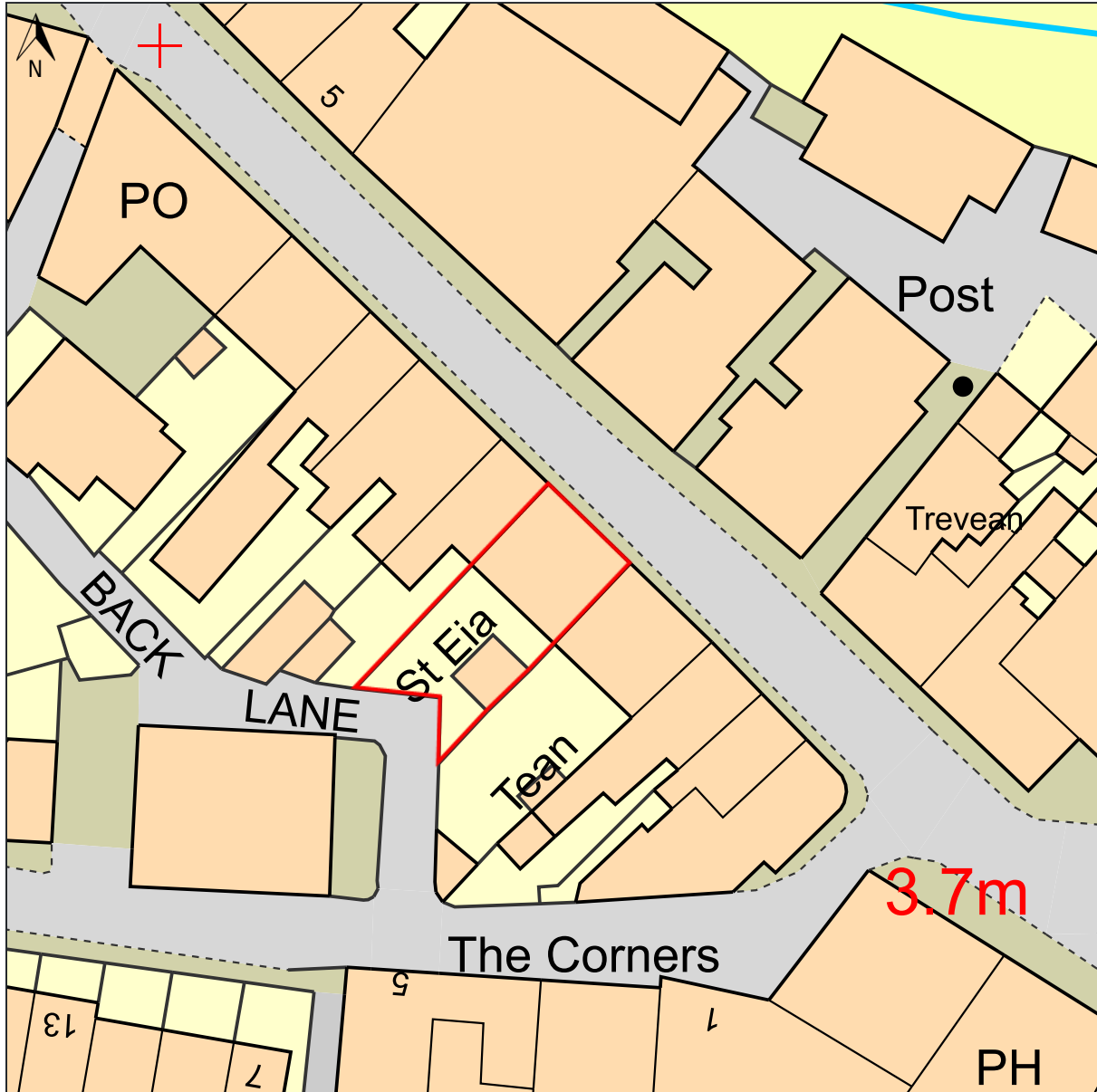
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ST. EIA, HUGH STREET, ST MARY'S, ISLES OF SCILLY, TR21 0LL

UPRN: 192000310

HMLR Title No: CL328466



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0100031673 Created using Plans by Emapsite

0m 5m 10m 15m 20m 25m 30m 35m 40m

Scale: 1:500

Paper Size: A4

**Notes:**

Site Plan for  
ST EIA  
HUGH ST  
ST MARY'S  
ISLES OF SCILLY

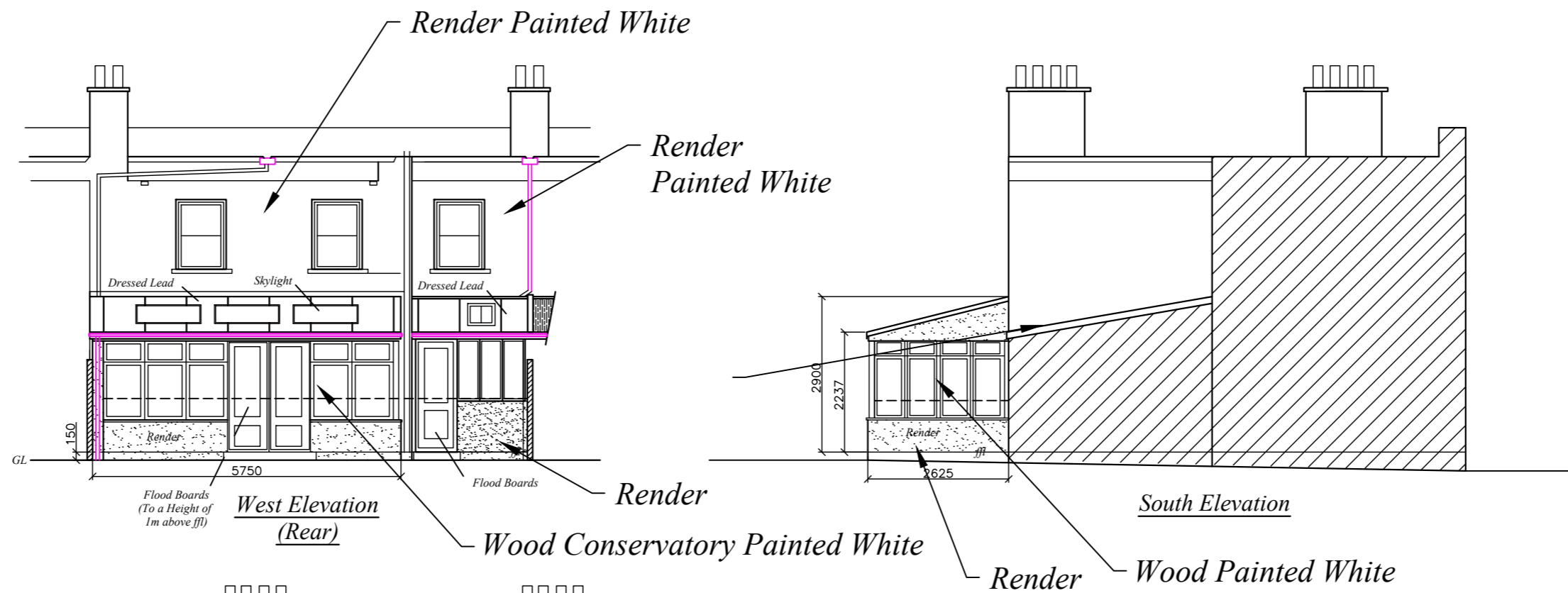


**RECEIVED**  
By Lisa Walton at 2:05 pm, Oct 09, 2023

**APPROVED**  
By Lisa Walton at 9:56 am, Nov 15, 2023

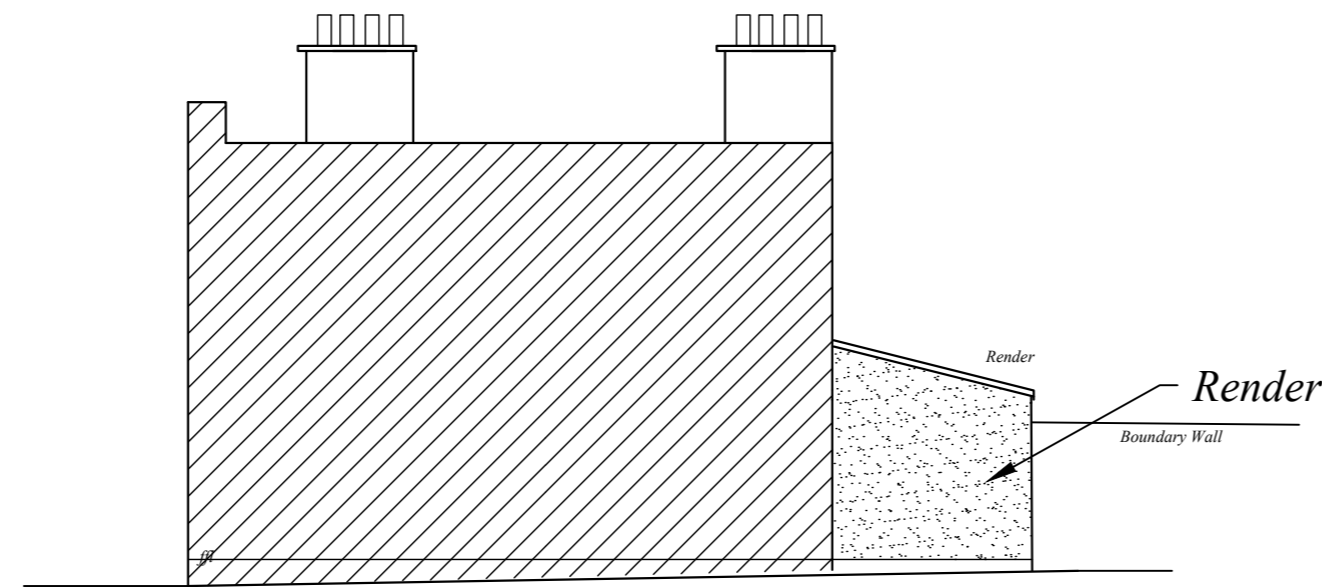


*East Elevation  
(Front)*

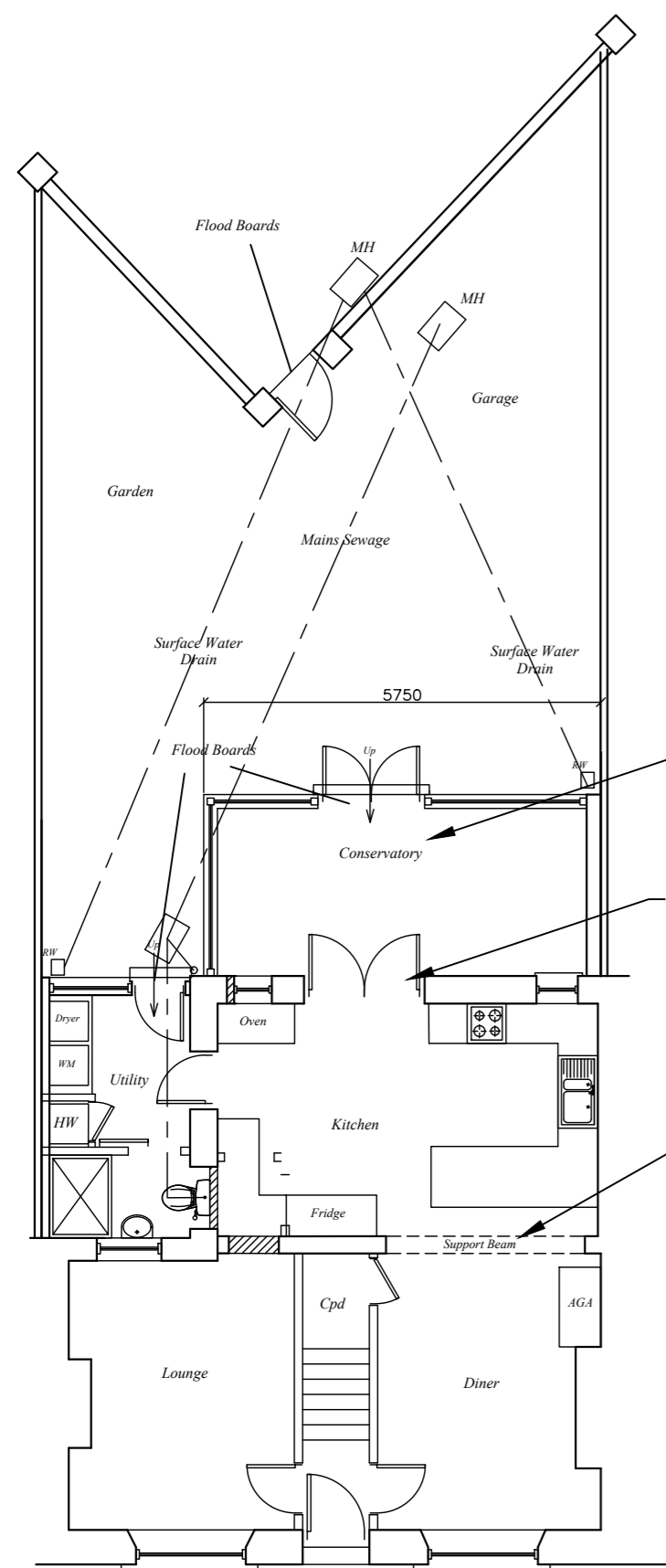


*West Elevation  
(Rear)*

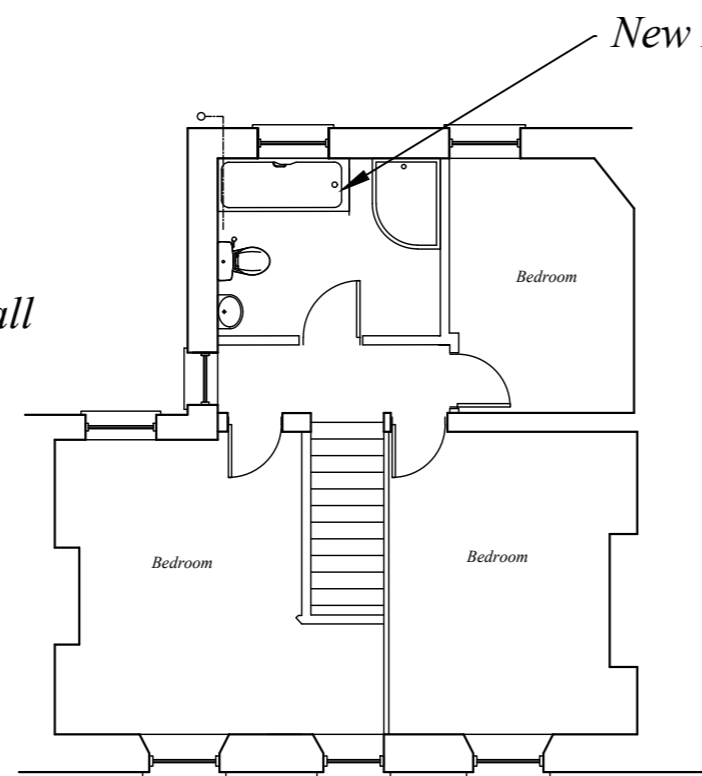
*South Elevation*



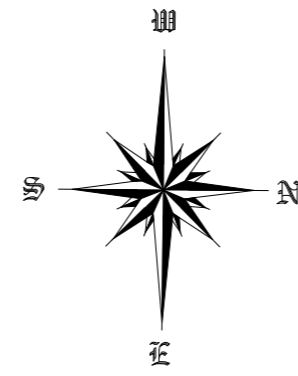
*North Elevation*



*Ground Floor*



*First Floor*



**Flood Prevention**  
All Electrical Installations to Comply with Flood Risk Assessment  
All Drains to be Fitted With Non Return Valves  
Flood Boards to be fitted to All Opening to a Height of 1m above Finished Floor Level. - As to Flood Risk Assessment.

*St Eia  
Hugh St  
St Mary's  
Isles of Scilly*

*Proposed New  
Layout &  
Conservatory  
-Amended.*

*Mr M Brooks*

**N.B.**-No measurements to be scaled from this drawing unless specified. Whilst all efforts are made to insure accurate measurements Any discrepancies should be reported immediately to the architect.

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Date - April 2023  
Amended - May 2023 June 23 Oct 23  
Scale - 1 : 100 @ A2

PAUL OSBORNE  
KAVORNA, HUGH ST,  
ST. MARY'S, ISLES OF SCILLY.  
TR21 0PT Tel (01720) 423066  
Email: scillyoz@me.com

**SE-PL-8a**

**APPROVED**

*By Lisa Walton at 10:00 am, Nov 15, 2023*

**RECEIVED**

*By Liv Rickman at 3:26 pm, Aug 18, 2023*

Paul Osborne

Kavorna

Hugh St.

St. Mary's

Isles of Scilly

# Site Waste Management Plan

For

St. Eia,

Hugh St,

St. Mary's, Isles of Scilly.

## INTRODUCTION

This document constitutes the ‘best practice initiatives’ adopted by the MR M. Brooks by requiring the contractors employed to carry out the proposed works at St. Eia, Hugh St, St Mary’s, Isles of Scilly to embrace the principles of the Site Waste Management Plan as required by the Site Waste Management Regulations 2008.

PROJECT SITE - St. Eia, Hugh St, St. Mary’s, Isles of Scilly

CLIENT - Mr. M. Brooks

CONTRACTOR - TBA

PROJECT SUMMARY - The proposed works are Alterations to the Existing Layout of the Dwelling - Addition of a New Conservatory - Replacement of existing rear porch roof & addition of a New Garage.

START DATE - October 2023 (Subject to Planning Approval)

PROJECT DURATION - To be confirmed by Contractor (Estimated 8 weeks)

PERSONS RESPONSIBLE FOR THE MANAGEMENT OF WASTE - Contractor

Third Party Waste Handling - Third parties handling waste will be required to provide documentary evidence of their licence to handle, transport, recycle and dispose of waste.

## OBJECTIVES

Project Objectives

- 1 To take all responsible steps to ensure that waste management controls are observed.
- 2 To minimise the amount of waste generated and maximised the amount of waste reused and recycled.
- 3 To re-use as much waste as possible on-site. Where reuse is not possible to identify the most appropriate waste management option in line with the waste hierarchy.
- 4 To manage waste as close as possible to site location
- 5 To make and improve awareness of waste management issues of all contractors and sub contractors and to ensure the correct waste management practices are followed on site.

## RESPONSIBILITIES

The responsibilities in relation to the SWMP are set out below.



The Site Waste Coordinator is the Principle Contractor on site, who is responsible for implementation of the SWMP. Duties include but are not limited to:

Ensuring waste is managed on site according to the SWMP. This includes ensuring appropriate segregation of waste on-site, making arrangements for the removal of waste from the site.

Ensuring all staff and sub-contractors understand their duties in relation to the SWMP. This includes organising appropriate training.

Ensuring correct records and documentation is kept. This includes checking waste transfer documentation, and maintenance of documentation relating to waste transfer.

The 'Site Waste Coordinator' is the point of contact for all staff, contractors and waste contractors in relation to the SWMP and waste management issues.

All contractors' staff operatives working on site are responsible for adhering to the principles for the movement and segregation of waste on site.

## WASTE CONTRACTORS

The waste contractors are to be listed with contact details, this list is to be compiled by the 'Site Waste Coordinator'

All waste contractors are responsible for adhering to the SWMP including:

All waste contractors are responsible for ensuring compliance with their Duty of Care including providing the appropriate records to the 'site waste coordinator'

All mainland Contractors receiving waste are responsible for ensuring waste is managed as specified in the SWMP. They are responsible for ensuring the waste treatment facilities have a waste licence and that records are provided to the 'site waste coordinator'

Mainland waste contractors receiving waste are responsible for transporting it to a licensed waste management facility

Mainland waste contractors are responsible for providing adequate containers for the collection and segregation of waste as specified in the SWMP.

## MANAGEMENT OF WASTE ON SITE

The principle contractor shall adopt the materials that'll be re-used or recycled on site will be segregated in designated areas ready for mainland transportation. The locations of the

designated areas shall be identified by the contractor prior to commencement of works and recorded.

- Re-Use and Re-Cycle Off Site
- Materials that will be removed from site for recycling will be segregated from the waste stream and collected in containers for transport. The locations of collection and segregation area/s and the materials that will be collected at these sites are to be recorded.
- The waste containers will be colour coded according to the National Coding Scheme.
- All waste which can be reused or recycled as specified in the recorded tables just be segregated out of the waste stream by staff and sub-contractors.
- Contamination of the waste containers will be monitored.
- At the end of each day all staff and package contractors must ensure that waste is moved to the appropriate area/s as specified.
- All lovable containers will be locked at the end of each day.
- Any problems found with arrangements for waste segregation should be reported directly to the 'site waste coordinator.'

## TRAINING

As part of adopting the principles of the SWMP the Principle Contractor shall implement training and as such the site waste coordinator shall be responsible for ensuring all of the contractors staff and operatives receive training the implementation of the SWMP

Details of training should be recorded.

## MEASURING AND MONITORING

The Site waste Coordinator will be responsible for ensuring that monitoring takes place throughout the project - to include:

- Estimated Waste generated Schedule
- Summary of Actual Waste Generated
- Actual Waste Carrier Recorded.



**APPROVED**

*By Lisa Walton at 10:04 am, Nov 15, 2023*

**RECEIVED**

*By Liv Rickman at 3:25 pm, Aug 18, 2023*

Paul Osborne

Kavorna

Hugh St

St. Mary's

Isles of Scilly

# Design and Access Statement

Including

Flood Risk Assessment

Sustainable Design Measures

Flood Space Calculations

Potential Impact on Bats

Site Waste Management Plan

For

St Eia,

Hugh St,

St. Mary's, Isles of Scilly.

## Existing Dwelling

St. Eia is a terrace dwelling on the main street of Hugh Town, St. Mary's, Isles of Scilly. Constructed in 1926; The street elevation is cut granite stone with wood sash windows and flat roof.

The rear of the dwell is rendered concrete block with wood sash windows, leading to a large rear yard/garden with a concrete block walled fence boundary to neighbouring dwellings and on to 'Back Lane'

The ground floor consists of a lounge, dining room, kitchen and ground floor WC, there is also a make shift rear porch/boot room constructed of corrugated fibre cement sheets on timber studs for walls with a clear corrugated sheet roofing.

The porch leads out into the rear yard with a raised garden bed and small green house (constructed of brick and clear corrugated roofing with woof glazed windows. To the rear of the yard is the remains of the original garden WC and coal store constructed from concrete blocks with a flat concrete roof.

Set within the yard os a concrete plinth where the original heating oil tank once was located.

The first floor comprises of 3 bedrooms with a bath/shower room and airing cupboard.

Access is via the front entrance door leading directly onto the pavement of Hugh Street, via 2 steps; the rear access is from Back Lane through the yard into the first floor porch/boot room, this a level access.

The dwelling os out dated with original wiring and heating, the main source of heating is from electric panel heaters with an open fore in the dining room, the original Arga is still located within the kitchen - but is no longer connected to the heating oil.

All insulation within the property is from the original build and requires complete modernisation.

## Proposed

This application seeks to modernise the existing dwelling whilst keeping the character of the building, the front elevation will not be altered in any way.

The application proposes to modernise the rear porch construction, the existing walls will be replaced with 140 mm cls stud walls - insulated to modern building regulation standards, the existing clear roofing sheets is to be replaced with an insulated roof covered with natural slate tiles.

Within this area it is proposed to add a ground floor utility/shower room with WC.

Improving the dwelling it is also proposed to make the kitchen diner an open plan layout with access to a new conservatory; access to the conservatory will be achieved by converting the existing large kitchen windows into double doors.

The kitchen is to be enlarged by removing the existing WC, the WC is to be relocated into the porch as previously described.

The dwelling is in need of a complete re wire; the applicant proposes to modernise the entire dwelling with an energy efficient heating system.

This application also seeks to add a rear garage to the property. The garage is to be set back from the existing garden boundary wall. Garage doors are proposed to be set within the existing wall, the existing garden gate is proposed to be blocked of and relocated.

The garage is to be constructed of timber frame, render finished, with a flat grp roof covering to keep a low profile, this also matches neighbouring properties.

The garage is to house the applicants electric vehicle and sailing dingy. Parking is a real issue within Hugh Town, the applicant feels that they only require a small vehicle, therefore the ability to remove the vehicle from the main road where it can be both charged and kept out of the environment is beneficial.

#### Flood Risk Assessment.

The dwelling currently has a removable flood barrier installed in the front access; this proposal seeks to also install removable flood barriers to the garage door and rear access gate. These are marked on the on the proposed plans.

#### Sustainable Design Measures

The application only comprises of then addition of a conservatory and garage.

The design of the conservatory is to be of a high standard Upvc with double glazing.

The use of Upvc is proposed due to the severe environment of the island. The glazing will meet Building Regulation Standards.

The Garage is proposed to keep a low visual profile and incorporate the existing features of the existing boundary wall.

The main sustainable measure that will be introduced within this application are within the dwelling, by modernisation of the services within the dwelling and the addition of a energy efficient heating system will bring the whole dwelling up to modern standards.

#### Floor Space Calculations

Existing Ground Floor Space 66m2    First Floor Space 58m2.    Total 124m2  
Proposed Ground Floor Space  
Ground Floor Space 80.5m2                      First Floor Space 58m2                      Total 138.5m2

Minimum National Described Space Standard for a 6p 2b 2 storey is 102m2

This meets the minimum, standard.

The application only seeks to increase the size of the dwelling by the area of the conservatory.

#### Potential Impact on Bats

An Ecological inspection of the dwelling has been undertaken.

It was found that no roosting bats were visible within the area. It was determined by the visiting ecologist that there was no requirement for a full survey.

#### Site Waste Management Plan

A Site Waste Management Plan is attached within the Planning Documents.

#### Heritage Impact Statement

A Heritage Impact Statement is Attached

**APPROVED**

*By Lisa Walton at 10:01 am, Nov 15, 2023*

# Flood Risk Assessment

To accompany a planning application for an  
extension to

St Eia, Hugh Street, St Mary's, Isles  
of Scilly

Prepared by

Dr Robin Saunders CEng

Innervision Design Ltd

September 2023



**INNERVISION**  
d e s i g n



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## Disclaimer

This document has been prepared solely as a flood risk assessment on behalf of the client. Innervision Design Ltd maintains that all reasonable care and skill have been used in the compilation of this report. However, Innervision Design Ltd shall not be under any liability for loss or damage (including consequential loss) whatsoever or howsoever arising as a result of the use of this report by the client or his agents. If any un-authorised third party comes into possession of this report they rely on it at their own risk and Innervision Design Ltd owes them no duty, care or skill whatsoever.

# 1 Executive Summary

- A The extension lies within an existing developed site and this is minor development;
- B The site lies, in part, in tidal Flood Zones 2 and 3 and is at a Medium risk from surface water flooding;
- C Flood resilience and mitigation methods will be implemented on site;
- D Predicted flood depths exceed 600mm hence the “water entry” strategy will be followed;
- E Access/egress routes are not affected and the site will be signed up to flood warning schemes;
- F There is no documented evidence of flood risk from any other sources;
- G The development does not impact on flood risk elsewhere;
- H Assuming the mitigation, warning and evacuation procedures can be maintained over the lifetime of the development, the proposed minor development to an existing dwelling within a developed area is considered acceptable.

## Client actions required

- I Sign up to flood warning schemes.
- II Complete an emergency flood plan.

## Designer actions required

- 1 Ensure plans and specification are updated to incorporate flood resilience and resistance measures prior to submission.
- 2 Ensure plans clearly show FFL of the extension is no lower than the existing FFL.
- 3 Confirm the design intention to manage surface water at source in line with current best practice and following the drainage hierarchy.

## 2 Introduction

### 2.1 Site location

The project is at St Eia, Hugh Street, St Mary's, Isles of Scilly, TR21 0LL (see Figure 1).



Figure 1: Site location plan, as indicated with North topmost. (source: EA flood mapping)

### 2.2 Development description

The proposal is for a domestic extension not exceeding 250m<sup>2</sup> in footprint. The site is an existing developed site and the proposed work is classed as minor development. The existing and proposed layouts and proposed sections are to be submitted under separate cover.

### 2.3 Site geology

Geological mapping data from within the vicinity indicate Head - Clay, silt, sand and gravel however this would require confirmation on site. If available on site, the superficial deposits may offer only medium permeability.

Infiltration SuDS may be viable subject to testing.

## 3 Policies

In preparation for this Flood Risk Assessment (FRA), National Planning Policy Framework<sup>[4]</sup> and British Standards on Assessing and Managing Flood Risk<sup>[2]</sup> were reviewed, and their related policies are, where applicable, referred to in this report.

The Environment Agency has been consulted in order to establish the flood zone of the proposed site.

In addition, planning policies from the Local Authority were also reviewed including its Strategic Flood Risk Assessment.

Some of key policies are summarised as below.

### 3.1 Standing Advice

Generally the following applies: Apart from habitable basements, domestic extensions within the curtilage of the dwelling (see GDPO definition of, minor development) and non-domestic extensions with a footprint of less than 250 m<sup>2</sup> will not require a detailed FRA. These applications should demonstrate that the risk of flooding from all sources has been assessed. The main sources of flooding are likely to be tidal, surface water and sewer flooding.

### 3.2 Environment Agency Guidance on Standing Advice

- You need to provide a plan showing the finished floor levels and the estimated flood levels.
- Make sure that floor levels are either no lower than existing floor levels or 300 millimetres (mm) above the estimated flood level. If your floor levels aren't going to be 300mm above existing flood levels, you need to check with your local planning authority if you also need to take flood resistance and resilience measures.
- State in your assessment all levels in relation to Ordnance Datum (the height above average sea level). You may be able to get this information from the Ordnance Survey. If not, you'll need to get a land survey carried out by a qualified surveyor.
- Your plans need to show how you've made efforts to ensure the development won't be flooded by surface water runoff, eg. by diverting surface water away from the property or by using flood gates.

- If your minor extension is in an area with increased flood risk as a result of multiple minor extensions in the area, you need to include an assessment of the off-site flood risk. Check with your local planning authority if this applies to your development.
- Make sure your flood resistance and resilience plans are in line with the guidance on improving the flood performance of new buildings.

For all relevant vulnerable developments (ie more vulnerable, less vulnerable and water compatible), you must follow the advice for:

- surface water management
- access and evacuation
- floor levels
- extra flood resistance and resilience measures



## 4 Flood risk analysis

### 4.1 Sources of potential flooding

Flood risk from various sources at the site is analysed in this section.

#### 4.1.1 Flood risk from sea and rivers

Flooding can also take place from flows that are not contained within the channel due to high levels of rainfall in the catchment.

The site is not at risk from fluvial flooding.

Flooding can occur from the sea due to a particularly high tide or surge, or combination of both.

With reference to the Environment Agency flood map, Figure 2, the site lies, in part, in Flood Zone 2 and immediately adjacent to flood Zone 3. This means that the front of the site has a High probability of tidal flooding (greater than a 1 in 200yr annual probability of flooding).

The rear of the site is however shown to be in Flood Zone 1 and at a Very Low risk from Tidal flooding.



Figure 2: Flood mapping from the EA online data. The site falls within Flood Zone 3

#### 4.1.2 Tidal surge

The site falls outside of an area at risk from a tidal surge, the predicted extents of which are shown as red lines in Figure 3.



Figure 3: Site location relative to the extents of a tidal surge

#### 4.1.3 Historic tidal flood events

No records of historic flooding to the site have been identified.

#### 4.1.4 Flood risk from groundwater

Groundwater flooding occurs when water levels in the ground rise above surface levels. It is most common in low-lying areas underlain by permeable rock (aquifers), usually due to extended periods of wet weather. This site is considered to be in an area at a Medium risk.

Since the proposed development does not involve any basement elements, the impact of groundwater flooding on the proposed site will be minimal.

Hence, the relative risk of groundwater flooding on the proposed site can be considered to be Low.

#### 4.1.5 Flood risk from sewer and highway drains

Flooding occurs when combined, foul or surface water sewers and highway drains are temporarily over-loaded due to excessive rainfall or due to blockage.

There are no indicators to Sewer flooding at the site.

Hence, the risk of sewer flooding to the site can be considered to be Negligible.

Highway flooding will manifest as surface water flooding at this location.

#### 4.1.6 Flooding risk from surface water

Flooding occurs when rainfall fall on a surface (on or off the site) which acts as run-off which has not infiltrated into the ground or entered into a drainage system.

With reference to the E.A online mapping, Figure 4, the front of the site is at High risk from surface water flooding (>1 in 30yr) associated with a natural dip in the adjacent highway.

For the design period, 1 in 100yr event estimated flood depths in relation to the rear extension are predicted to 300mm above relative ground level as shown in Figure 5.



Figure 4: SW flood extent mapping. The front of the site is shown to be at a High risk from SW flooding.

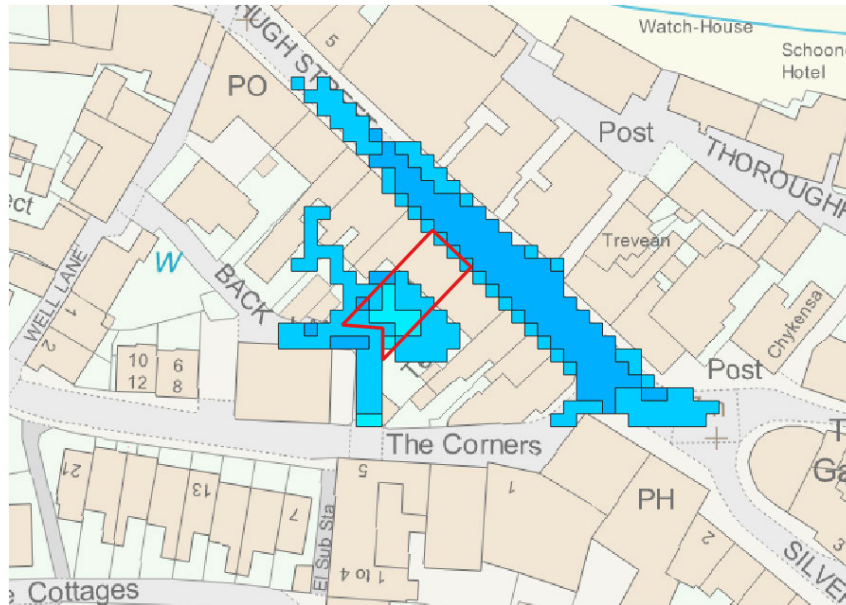


Figure 5: 1 in 100yr SW flood depth mapping. The rear of the site is at risk with predicted flood depths to 300mm

#### 4.1.7 Flood risk from infrastructure failure

Flooding occurs because of canals, reservoirs, industrial processes, burst water mains or failed pumping stations.

The site is not in an area with a flood risk due to reservoir failure.

Hence the flood risk to the site from reservoir failure is considered to be Negligible.

#### 4.1.8 Urban flash flooding

With reference to the UFF dataset there are no referenced flash flood incidents at this location.

### 4.2 On-site surface water analysis and management

#### 4.2.1 Generation of Run-off

The post-development surface water run-off volume will increase when compared to the pre-development level because there is an overall reduction in permeable areas.

Hence all additional surface water arising will be managed on site in line with current best practice following the drainage hierarchy.

#### **4.2.2 SuDS Statement:**

Surface water will be managed in full alignment with the SuDS hierarchy as required under provisions made under the Town and Country Planning Act 1990.

While not required for Planning permission consent it can be confirmed that all SW on site will be also be designed, installed and tested in full accordance with Part H of the Building Regulations 2010 (as amended 2013), Requirement H3, as made under the Building Act 1984.

It is possible that soakaways will be viable hence the recommendation of this report would be to adopt the use of a shallow soakaway if ground conditions allow.

Otherwise the use of a small raised rain-garden planter and water butt would be an equally a viable and proportionate SuDS solution with the naturally reduced outfall from these taken to the existing drainage provision on site.

### **4.3 Impact on flood risk elsewhere**

**SW arising:** Since the proposal is intending to manage any additional surface water at source the impact on flood risk elsewhere is Low.

## 5 Levels

### 5.1 Tidal flood levels and depths

#### 5.1.1 Mean High Water Spring Level 2017

The MHWS for at the nearest EA model node (St Mary's) is 2.7m AOD

#### 5.1.2 Highest Astronomical Tide

The HAT for at the nearest EA model node (St Mary's) is 3.4m AOD

#### 5.1.3 Extreme Sea Level values 2017

The design period 1 in 200yr ESL for at the nearest EA model node (St Mary's) is 3.79m AOD

#### 5.1.4 Climate change allowance

Assuming a design life of 100 years or greater (to epoch beyond 2100) then with a further Upper End climate change allowance of +1.62m then the design period extreme flood level is 5.41m AOD.

### 5.2 Surface water flood depths

Flood depths to 300mm externally.

### 5.3 Floor level data

The proposed floor level to be no lower than any existing ground floor levels at circa 4.10m AOD.

## 6 Management of flood risk

### 6.1 Flood risk resilience measures

Because the site is located in Flood Zone 3, and floor levels are not higher than 300mm above predicted flood levels, it is a recommendation<sup>1</sup> of this report that flood risk resilience measures should be incorporated into the development's construction, specifically at ground floor and all construction below such that "the development is appropriately flood resistant and resilient such that, in the event of a flood, it could be quickly brought back into use without significant refurbishment"<sup>[4]</sup>.

For the purpose of the following guidance the estimated flood level is 5.41m AOD.

The Government's guidance states:

The design should be appropriately flood resistant and resilient by:

- using flood resistant materials that have low permeability to at least 600mm above the estimated flood level;
- making sure any doors, windows or other openings are flood resistant to at least 600mm above the estimated flood level;
- using flood resilient materials (for example lime plaster) to at least 600mm above the estimated flood level;
- by raising all sensitive electrical equipment, wiring and sockets to at least 600mm above the estimated flood level;
- making it easy for water to drain away after flooding such as installing a sump and a pump;
- making sure there is access to all spaces to enable drying and cleaning;
- ensuring that soil pipes are protected from back-flow such as by using non-return valves.

In accordance with the document "Improving the Flood Performance of New Buildings - Flood Resilient Construction"<sup>[3]</sup> a series of design approaches should be planned to mitigate the flood risk based on the flow chart as at Figure 6.

---

<sup>1</sup>While the actual choice of resilience measures is not a Statute requirement under the T&CP Act 1990, the designer should follow best practice guidance to meet NPPF:167(b). Hence the designer is advised to consider in full such recommendations so that NPPF:167(b) is met and compliance with Part C of the Building Regulations 2010 can later be demonstrated to the B.C.B.

Note predicted flood depths exceed 600mm hence the “water entry” strategy should be followed.

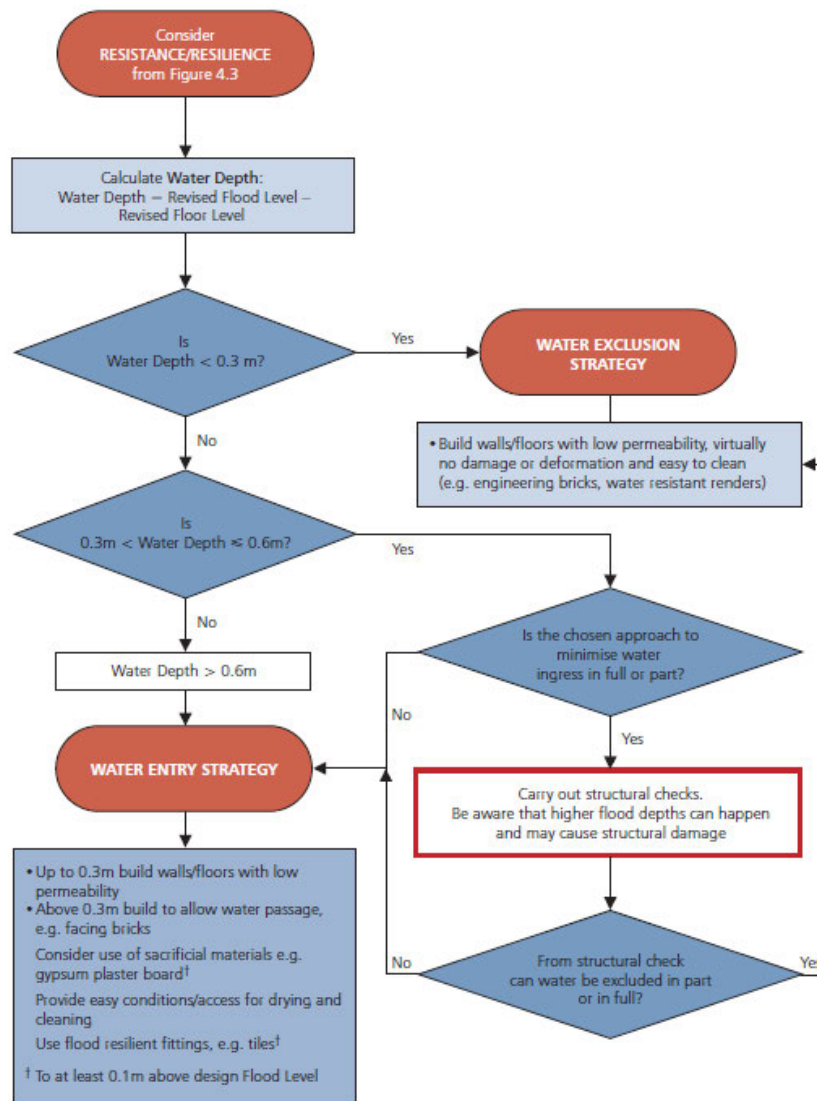


Figure 6: Design strategies for resistance and resilience<sup>[3]</sup>

Table 1 provides guidance on which materials are most suitable, suitable and unsuitable, when considering construction work involved in this project. This report recommends the use of materials from the “most suitable” column were this is at all possible on site, however they are not mandatory requirements.



Component	Most suitable	Suitable	Unsuitable
Flooring	Concrete, pre-cast or in situ	Timber floor, fully sealed, use of marine plywood.	Untreated timber, Chipboard
Floor Covering	Clay tiles, Rubber sheet floors, Vinyl sheet floors	Vinyl tiles, Ceramic tiles	
External Walls - to max flood level	Engineering brick, Reinforced concrete	Low water absorption brick	Large window openings
Doors	Solid panels with waterproof adhesives, Aluminium, plastic or steel	Epoxy sealed doors	Hollow core plywood doors
Internal Partitions	Brick with waterproof mortar, Lime based plasters	Common bricks	Chipboard, Fibreboard panels, Plasterboard, Gypsum plaster
Insulation	Foam or closed cell types	Reflective insulation	Open cell fibres
Windows	Plastic, metal	Epoxy sealed timber with waterproof glues and steel or brass fittings.	Timber with PVA glues and mild steel fittings

Table 1: Summary of Material Suitability for Building Components<sup>[1]</sup>

## 6.2 Flood mitigation measures

The designer is also recommended to consider the provision of a combination of the following flood mitigation measures, to be installed if at all practicable, for use within and around the extension for use in any flooding event:

- Flood resilient doors: Specifically designed to prevent ingress of flood water - passive system (see also Figure 7).
- Door defence: Bespoke barriers fitted externally across doors and low windows and/or the provision of filled sandbags (see also Figures 8 & 9).

- Anti flood air bricks: Where these are unavoidable, these offer replacements for standard air bricks these prevent water entering the sub floor void - passive system i.e. fully automatic (see also Figure 10).
- Air brick and flue covers (see also Figure 11).
- No service penetrations or other openings (cat flaps and letter boxes included) below 1m above FFL.



Figure 7: UPVC doors under flood conditions. These appear to offer reasonable flood resilience



Figure 8: Flood gate example.



Figure 9: Sand bag defence.



Figure 10: Anti flood air brick. Example from CSI products



Figure 11: Air brick covers. Example from Buffalo products

## 7 Management of residual risk

Any residual risk can be safely managed by not impairing access and evacuation routes, signing residents up to flood warning schemes and preparation of domestic flood plans.

### 7.1 Safe access and egress routes

The NPPF stipulates that, where required, safe access and escape routes should be available to/from new developments in flood risk areas. Access routes should be such that occupants can safely access and exit buildings in design flood conditions. The extension does not impact on existing access and egress routes. It is noted that the existing routes are within the flood risk zone (ref Figure 12).

It should be noted that tidal flood events are generally more predictable than fluvial events due to the cyclic nature of the tides and hence (given this the main town on the island) early warning is expected to be widely broadcast. It is therefore important that the occupiers gain early warning of any likely flood events.

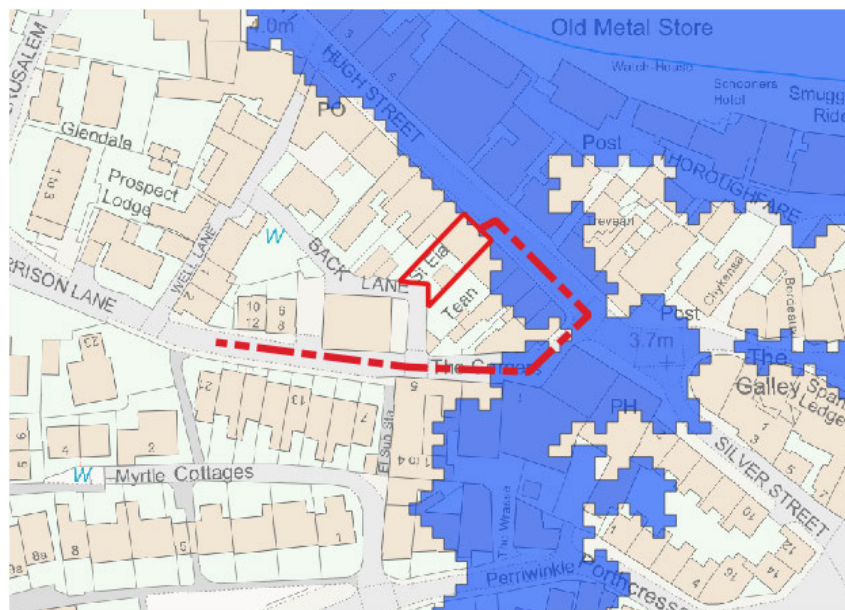


Figure 12: Access and Egress routes, although not ideal, are however existing and not impacted by the extension.

### 7.2 Flood warning schemes

Since it has been established that the site is sited in an area with a possibility of flooding the owners of the dwelling should (if they have not done so already) sign up to the E.A.

“Flood Warnings Direct” which is a free service providing flood warnings by phone, text or email. See <https://www.fws.environment-agency.gov.uk/app/olr/register>, or call the E.A. on 0345 988 1188 for full information.

### **7.3 Flood Plan**

The project team will also provide the owners of the dwelling with a proforma Flood Plan (See Appendix A for an example). The plan will provide guidance on emergency response procedures in the event of flooding to the site. This will:

- Provide details of who to contact and how;
- Provide details of how to turn off gas, electricity and water mains supplies;
- Provide details of designated safe egress routes out of the building and out of the local area at risk;
- Provide details of E.A. Flood warning codes;
- Provide details of local radio stations
- Provide a check list of essential items.

## 8 Conclusions

Given that:

- The extension lies within an existing developed site and this is minor development;
- The site lies, in part, in tidal Flood Zones 2 and 3 and is at a Medium risk from surface water flooding;
- Flood resilience and mitigation methods will be implemented on site;
- Predicted flood depths exceed 600mm hence the “water entry” strategy will be followed;
- Access/egress routes are not affected and the site will be signed up to flood warning schemes;
- There is no documented evidence of flood risk from any other sources;
- The development does not impact on flood risk elsewhere;

and assuming the mitigation, warning and evacuation procedures can be maintained over the lifetime of the development, the proposed minor development to an existing dwelling within a developed area is considered acceptable.

Signed: 

Dr Robin Saunders CEng, C. Build E, MCABE, BEng(Hons), PhD

Date: 28<sup>th</sup> September, 2023

## References


- [1] J Wingfield; M Bell; P Bowker. Improving the flood resilience of buildings through improved material, methods and details. Technical Report WP2c, CIRA, 2005.
- [2] BSI. BS 8533:2011. Technical report, 2011.

- [3] CIRIA, CLG, EA and DEFRA. Improving the flood performance of new buildings. Flood resilient construction, 2007.
- [4] Ministry of Housing, Communities and Local Government. National planning policy framework. 2021.



# A Emergency flood plan (example)

Personal flood plan



Environment Agency

Name

**Let us know** when you've completed your flood plan by calling Floodline on **0345 988 1188**. This will help us learn more about how people are preparing for flooding.

**Are you signed up to receive flood warnings?**  
 If not call Floodline on 0345 988 1188 to see if your area receives free flood warnings.

General contact list	Company name	Contact name	Telephone
Floodline	Environment Agency		0345 988 1188
Electricity provider			
Gas provider			
Water company			
Telephone provider			
Insurance company and policy number			
Local council			
Local radio station			
Travel/weather info			

**Key locations**

Service cut-off	Description of location
Electricity	
Gas	
Water	


**Who can help/who can you help?**

Relationship	Name	Contact details	How can they/you help?
Relative			
Friend or neighbour			

Be prepared for flooding. Act now

## Personal flood plan

### What can I do NOW?



Put important documents out of flood risk and protect in polythene

Check your insurance covers you for flooding

Look at the best way of stopping floodwater entering your property

Make a flood plan and prepare a flood kit

Find out where you can get sandbags

Identify who can help you/ who you can help

Identify what you would need to take with you if you had to leave your home

Understand the flood warning codes

**What can you do if a flood is expected in your area?**

Actions	Location
<p><b>Home</b></p> <ul style="list-style-type: none"> <li>● Move furniture and electrical items to safety</li> <li>● Put flood boards, polythene and sandbags in place</li> <li>● Make a list now of what you can move away from the risk</li> <li>● Turn off electricity, water and gas supplies</li> <li>● Roll up carpets and rugs</li> <li>● Unless you have time to remove them hang curtains over rods</li> <li>● Move sentimental items to safety</li> <li>● Put important documents in polythene bags and move to safety</li> </ul>	
<p><b>Garden and outside</b></p> <ul style="list-style-type: none"> <li>● Move your car out of the flood risk area</li> <li>● Move any large or loose items or weigh them down</li> </ul>	
<p><b>Business</b></p> <ul style="list-style-type: none"> <li>● Move important documents, computers and stock</li> <li>● Alert staff and request their help</li> <li>● Farmers move animals and livestock to safety</li> </ul>	
<p><b>Evacuation - Prepare a flood kit in advance</b></p> <ul style="list-style-type: none"> <li>● Inform your family or friends that you may need to leave your home</li> <li>● Get your flood kit together and include a torch, warm and waterproof clothing, water, food, medication, toys for children and pets, rubber gloves and wellingtons</li> </ul>	

There are a range of flood protection products on the market to help you protect your property from flood damage. A directory of these is available from the **National Flood Forum** at [www.bluepages.org.uk](http://www.bluepages.org.uk)

## Be prepared for flooding. Act now

GEH007098QU-EE

# Personal flood plan



Name Miles Brooks

Are you signed up to receive flood warnings?  
If not call Floodline on 0345 988 1188 to see  
if your area receives free flood warnings.



Let us know when you've completed your flood plan by calling Floodline on **0345 988 1188**.  
This will help us learn more about how people are preparing for flooding.

General contact list	Company name	Contact name	Telephone
Floodline	Environment Agency		0345 988 1188
Electricity provider	EDF	Janice McHugh	0191 572 5738
Gas provider	None		—
Water company	Southwest Water		0344 - 346 1010
Telephone provider	Plus net		www.plus.net
Insurance company and policy number	[REDACTED]		01325 346 138
Local council	Isles of Scilly		0300 123 4105
Local radio station	RADIO CORNWALL		01872 275 421
Travel/weather info			

## Key locations

Service cut-off	Description of location
Electricity	FRONT DOOR
Gas	N/A
Water	REAR GARDEN

## Who can help/who can you help?

Relationship	Name	Contact details	How can they/you help?
Relative			
Friend or neighbour	Keith Buccanon Carol Shave	[REDACTED]	Flood boards, moving items

Be prepared for flooding. Act now

# Personal flood plan

## What can I do NOW?



Put important documents out of flood risk and protect in polythene

Look at the best way of stopping floodwater entering your property

Find out where you can get sandbags

Identify what you would need to take with you if you had to leave your home



Make a flood plan and prepare a flood kit

Identify who can help you / who you can help

Understand the flood warning codes

Check your insurance covers you for flooding

### What can you do if a flood is expected in your area?

### Actions

### Location

#### Home

- Move furniture and electrical items to safety
- Put flood boards, polythene and sandbags in place
- Make a list now of what you can move away from the risk
- Turn off electricity, water and gas supplies
- Roll up carpets and rugs
- Unless you have time to remove them hang curtains over rods
- Move sentimental items to safety
- Put important documents in polythene bags and move to safety

#### Garden and outside

- Move your car out of the flood risk area
- Move any large or loose items or weigh them down

#### Business

- Move important documents, computers and stock
- Alert staff and request their help
- Farmers move animals and livestock to safety

#### Evacuation - Prepare a flood kit in advance

- Inform your family or friends that you may need to leave your home
- Get your flood kit together and include a torch, warm and waterproof clothing, water, food, medication, toys for children and pets, rubber gloves and wellingtons

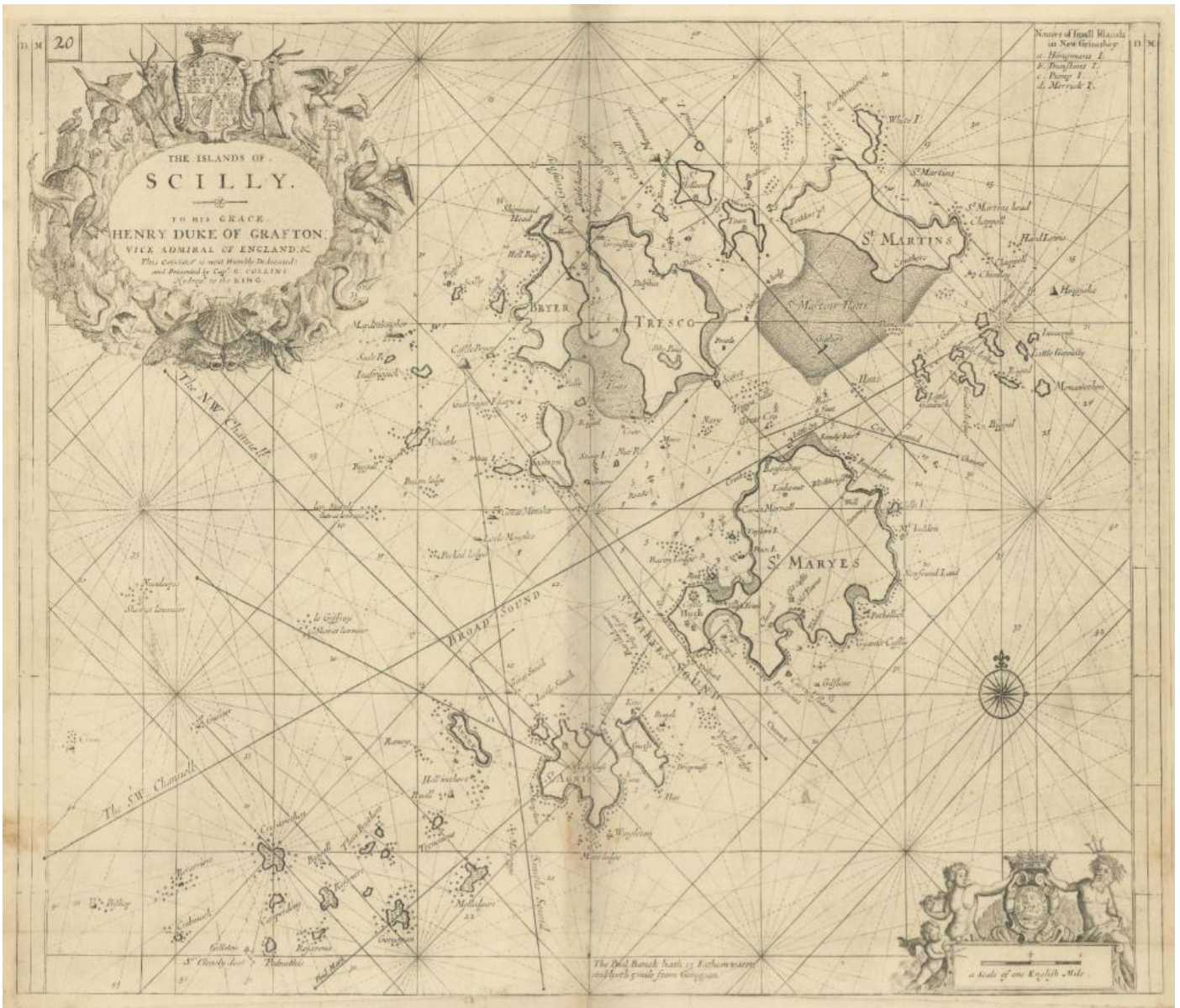
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National Flood Forum at [www.bluepages.org.uk](http://www.bluepages.org.uk)

Be prepared for flooding. Act now



# St Eia, Hugh Street, St Marys, Isles of Scilly TR21 0LL A Heritage Statement



**APPROVED**

By Lisa Walton at 10:03 am, Nov 15, 2023

Client: Mr M. Brooks,  
Project No: RHC 2023-43  
Date: 15/08/2023

# St Eia, Hugh Street, St Mary's, Isles of Scilly TR21 0LL

## A Heritage Statement

RHC Project No. 2023-43

August, 2023

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Front cover: The Islands of Scilly - To His Grace Henry Duke of Grafton; Vice Admiral of England & this chart is most humbly dedicated; and presented by Capt. G. Collins, Hydrographer to the King, 1723 (British Library).

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- Fig. 6: View, looking north-east, of the existing rear elevation of St Eia.
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- Fig. 24: View, looking south-west from the rear garden of St Eia, with the existing greenhouse and coal-store, and the Grade II-listed Former Wesleyan Chapel beyond.
- Fig. 25: View looking south-east from the first-floor of St Eia, with the walled rear space and the Grade II-listed Former Wesleyan Chapel beyond.

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Table 1: Criteria used to determine the level of impact.

Table 2: Criteria used to determine the significance of impact.



## SUMMARY

St Eia is one of a Grade II-listed terrace of eight houses on the south side of Hugh Street, which was constructed in 1926. Principal significance relates to the architectural interest of its north, two-storey elevation, in coursed granite-block construction, of a neo-Georgian style. The rear elevation is of less interest, with a rendered exterior and more irregular fenestration. A glazed porch structure has been constructed on this side. A walled garden-space at the rear contains a greenhouse and coal store, and is generally of poor visual aspect. The Grade II-listed Former Wesleyan Methodist Chapel is located a short distance to the south. Internally, much original plan-form survives, although interior spaces are plain and undetailed, and of little heritage interest.

At the rear, the greenhouse would be removed, and a new, flat-roofed garage constructed. The existing rear porch would also be removed, and a new utility and shower room constructed, with altered doorway access from a slightly enlarged adjoining kitchen. A new gabled rear conservatory would require the modification of an existing window to create a double-doorway opening from the kitchen, and the integration of the existing kitchen and dining room would entail the removal of a section of intervening wall. The reconfiguration of the existing bathroom would require the alteration of a doorway opening. Minor associated works would include external painting of the rear elevation, refurbishment of window frames, slate floor-tiles and the treatment of floorboards.

The proposed new conservatory at the rear would partly obscure parts of this elevation, although inward views from the south would be partly obstructed by the existing rear boundary wall, with the ground floor partly screened in such views. Overall impacts on the appearance of the rear elevation, including the reconstruction of the adjoining porch into a utility and shower room, would be largely concealed within inward views. The proposed external changes would enhance the rear space and setting of St Eia, which is currently of rather poor visual aspect. None of the proposed external changes or additions would affect existing street-views, or the appearance of the principal north elevation, and would affect only the rear elevation and interior spaces of the house, which make a considerably smaller contribution to significance. They would have an acceptably small effect on the setting of the Grade II-listed former Wesleyan Methodist Chapel. Any changes to the rear of St Eia at ground-floor level would have limited visibility from the Chapel because of the intervening rear boundary wall.

The proposed alterations would include few changes to external form or basic plan-form, and the resulting level of harm would be within the lower range of less than substantial, although this low level of harm would be partly balanced by the heritage benefits resulting from the proposed works.

## 1. INTRODUCTION

1.1 In July, 2023, Ridgeway Heritage Consultancy was commissioned by Mr Paul Osborne, on behalf of Mr M. Brooks, to undertake a heritage statement to support an application for planning permission for a series of alterations and additions to St Eia, part of a Grade II-listed terrace (No. 5) which is located on the southern side of Hugh Street, St Mary's, Isles of Scilly TR21 0LL (NGR 090184 010594) (Figs. 1, 2, 3 and 5), henceforth 'the house'. St Eia is a substantial, granite-faced dwelling, which was constructed, as part of the terrace, in 1926. It is situated within the direct proximity of other dwellings within the Grade II-listed terrace, and comprises part of the historic streetscape of Hugh Street. This street, and the whole of Hugh Town, comprise part of a single, wider Conservation Area, which includes the entire area under the jurisdiction of the Council of the Isles of Scilly.



Fig. 1: The north-east, front elevation of St Eia, No. 5 Hugh Street.

### *Urban context*

1.2 Hugh Town, St Marys, comprises the only truly 'urban' settlement on the Scilly Isles. Within this, Hugh Street has possibly the greatest sense of enclosure, which is partly relieved by an informal square at its eastern end (Figs. 2 and 3). Street frontages within Hugh Street are almost continuous, and include a number of shopfronts and town houses of predominantly nineteenth-century date (Figs. 4 and 14). The historic core of Hugh Town is associated with fine urban grain and relatively high building density, with a focus on enclosed streets rather

than the harbour frontage (Figs. 3 and 4). The terrace of Nos. 1-8 Hugh Street comprises part of a succession of historic buildings along both sides of this street, which include the Grade II-listed Post Office immediately to the north-west (NHLE 1291788).

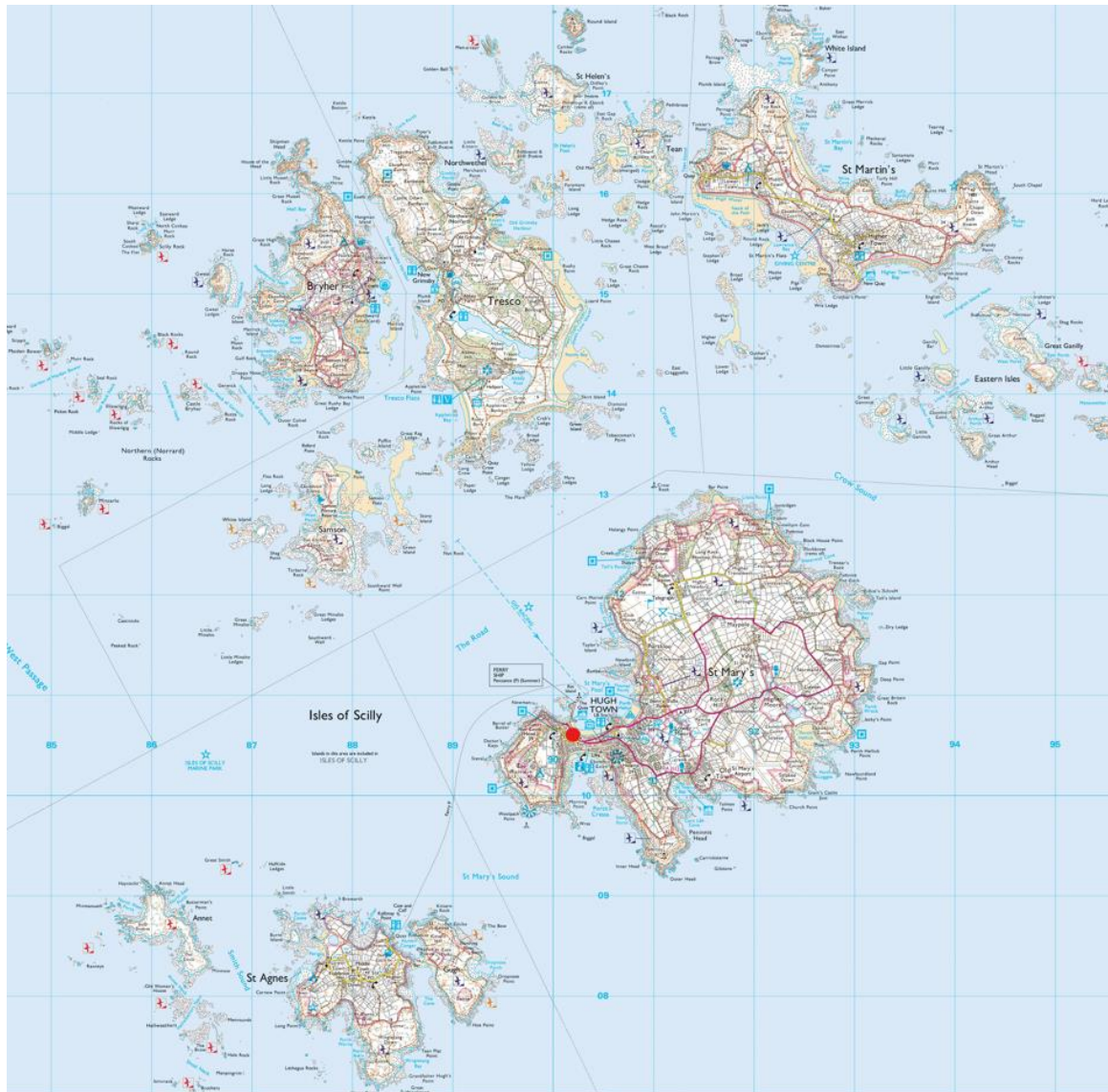


Fig. 2: Location Plan (approximate scale 1:50,000).

- 1.3 A number of internal and external alterations are proposed for the property, including:
- The addition of a new garage to the rear garden wall, with a new access gate;
  - Creation of a new conservatory to the rear of the house;
  - Provision of new conservatory access via existing double windows in the kitchen;
  - Converting the existing rear porch/ boot room into a utility and shower room;
  - Installing a new kitchen layout with the removal of a wall between kitchen and diner;

- Installation of a new bathroom lay-out, with new door positions;
- A number of minor alterations, including re-wiring, painting of the exterior rear elevation, refurbishing of window frames, and laying of slate floor-tiles in ground-floor rooms.

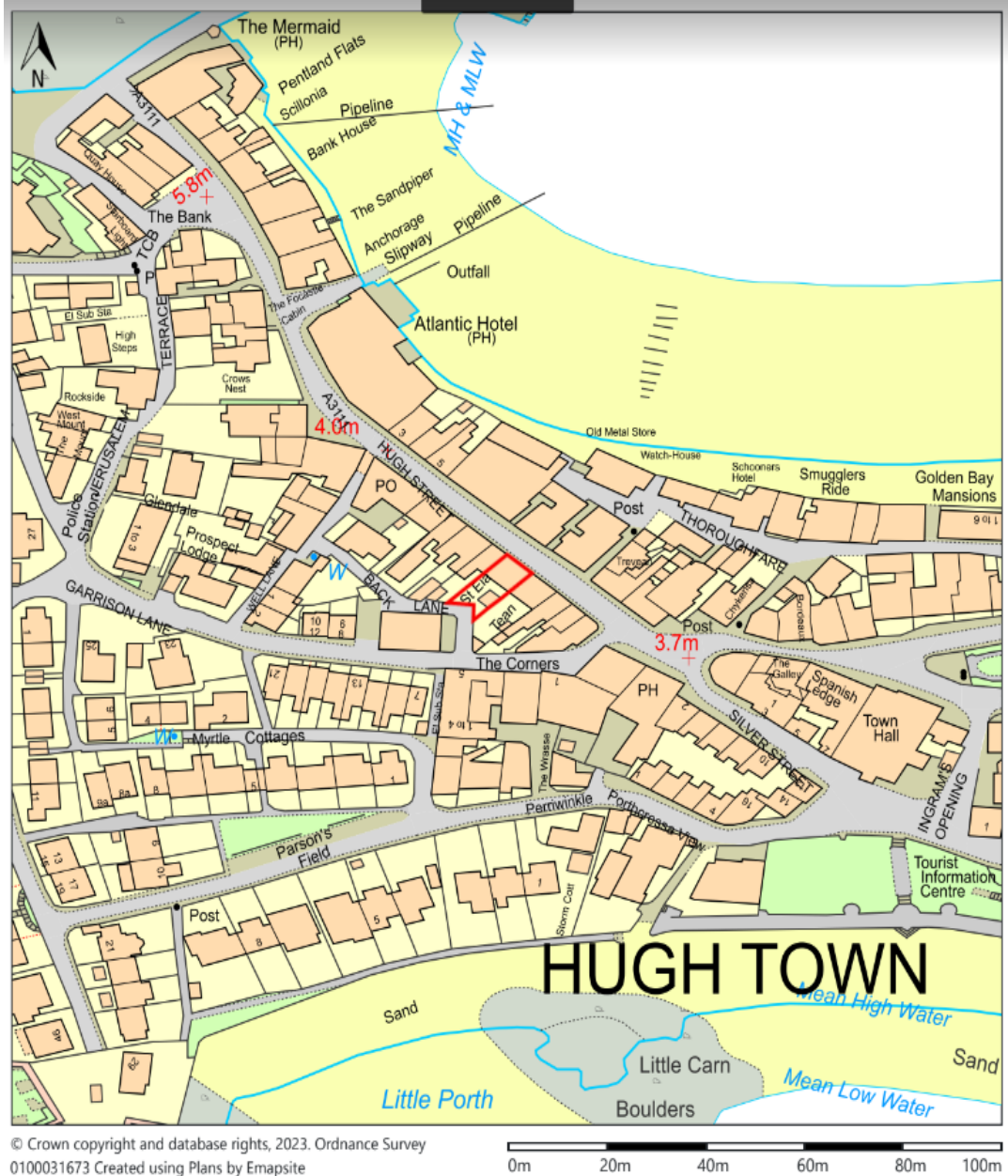


Fig. 3: The location of St Eia, along Hugh Street (Approximate scale: 1: 2000).

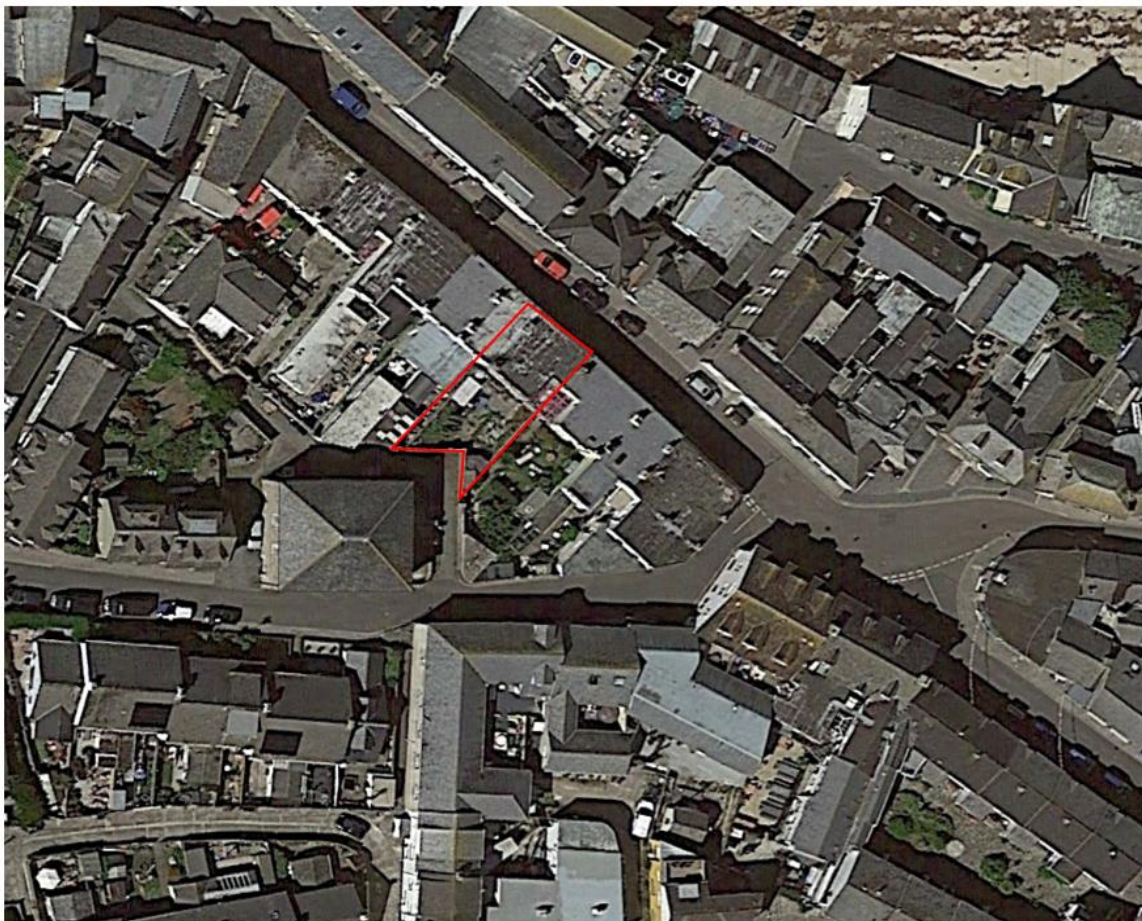
### *The Scope of the Heritage Statement*

1.4 The proposed alterations have potential to impact elements of historic fabric within the house, and to affect its external appearance and historic character. The local planning authority has requested that a heritage assessment would be required to support applications for these

proposed changes, and to determine whether these would result in harm to significance. Such proposed external alterations may also have implications for the setting of neighbouring heritage assets, and for the appearance and special interest of surrounding parts of the Conservation Area.

- 1.5 In considering applications for development which results in impacts to listed buildings, the statutory duty, under Sections 16 (2) and 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990, is to have special regard to the “desirability of preserving the building, or its setting, or any features of special architectural or historic interest which it possesses”. It will also be necessary to articulate the significance of this heritage asset and to assess the impact of the proposed works upon that significance, in accordance with Paragraph 194 of the National Planning Policy Framework:

*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.*



**Fig. 4: Aerial image of 2005, of St Eia within its built context (Geoinformation Systems).**

- 1.6 It will also be necessary to articulate the significance of this heritage asset and to assess the impact of the proposed works upon that significance, in accordance with Paragraph 195 of the National Planning Policy Framework:

*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.*

- 1.7 In order to assess the potential effects of the proposed internal and external alterations on the significance of St Eia, and on any associated heritage settings, it has be necessary to:

- provide a description of the form, date and architectural interest of the building;
- provide a detailed articulation of significance of St Eia, and the associated 1926 terrace, and of those aspects of architectural interest and historic fabric which most contribute to significance;
- to assess the effects of the proposed alterations on the significance of surrounding heritage assets, through changes to their appearance or setting;
- to assess the effect of the proposed alterations on the significance of St Eia, and any resulting levels of harm.

- 1.8 In consultation advice of September 12<sup>th</sup>, 2023, the Cornwall Archaeological Unit has stated that it is considered unlikely that the proposed alterations would disturb significant fabric, or diminish the building's historic significance. In addition, the creation of the rear garage would entail negligible ground disturbance in an area of low archaeological potential. They have therefore advised that no archaeological or historic building recording would be required, and that no archaeological condition would be sought.

## 2. PLANNING POLICY CONTEXT AND GUIDANCE

2.1 This Heritage Statement has been compiled in accordance with the following statutory, planning policy and guidance documents:

- National Heritage Act 1983 (amended 2002);
- Planning (Listed Buildings and Conservation Areas) Act 1990;
- National Planning Policy Framework 2012 (amended 2021);
- National Planning Practice Guidance: Conserving and Enhancing the Historic Environment (2016 revised 2021);
- English Heritage guidance: 'Conservation Principles; policies and guidance for the sustainable management of the historic environment' (2008);
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 2; Managing significance in decision-taking in the historic environment' (2015a); and
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 3: The Setting of Heritage Assets' (2015b).

### ***Planning (Listed Buildings and Conservation Areas) Act (1990)***

2.2 The 1990 Planning Act states that:

*'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall, or as the case may be, the Secretary of State, shall have special regard to the desirability of preserving the building or its setting, or any features of special architectural or historic interest that it possesses (Section 66).'*

### ***National Planning Policy Framework (2012, rev. 2021)***

2.3 The Framework sets out national planning policy relating to the conservation and enhancement of the historic environment. It defines the historic environment as: "all aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past activity, whether visible, buried or submerged, and landscape and planted or managed flora." Individual components of the historic environment are considered to constitute heritage assets: "buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions, because of their heritage interest".

2.4 Key tenets of the Framework are that:

- when considering the impact of a proposed development on the significance of a heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater that weight should be (Paragraph 199).
- heritage significance can be harmed or lost through alteration or destruction of the heritage asset, or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to, or loss of, a Grade II-listed building, park or garden should be exceptional. Substantial harm to, or loss of, designated assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, Grade I or II\*-listed buildings, registered parks and gardens and World Heritage Sites should be wholly exceptional (Paragraph 200).
- where a proposed development will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal (Paragraph 202).
- With regard to non-designated heritage assets, a balanced judgement will be required having due regard to the scale of any harm or loss, and to the significance of the heritage asset affected (Paragraph 203).
- Local planning authorities should look for opportunities for new development within Conservation Areas [and World Heritage Sites], and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably (Paragraph 206)

2.5 Local Planning Authorities are urged to request applicants to describe the significance of any heritage assets affected by a proposed development, including any contribution made to significance by their setting. The level of detail required in the assessment should be “proportional to the assets’ importance, and no more than is sufficient to understand the potential impact of the proposal on their significance”.



### ***Local Planning Policy***

#### *The Isles of Scilly Local Plan 2015-2030*

2.6 Provisions for the protection and conservation of the historic environment are contained within Policy OE7 of the Isles of Scilly Local Plan 2015-2030. Relevant aspects of Policy OE7 are as follows:

#### Policy OE7: Historic Environment

2.7 1) Great weight will be given to the conservation of the islands' irreplaceable heritage assets. Where development is proposed that would lead to substantial harm to assets of the highest significance, including undesignated archaeology of national importance, this will only be justified in wholly exceptional circumstances, and substantial harm to all other nationally-designated assets will only be justified in exceptional circumstances. Any harm to the significance of a designated or non-designated heritage asset must be justified.

2.8 2) Proposals causing harm will be weighed against the substantial public, not private, benefits of the proposal, and whether it has been demonstrated that all reasonable efforts have been made to sustain the existing use, find new uses, or mitigate the extent of the harm to the significance of the asset; and whether the works proposed are the minimum required to secure the long-term use of the asset.

2.9 Development affecting Heritage

3) In those exceptional circumstances where harm to any heritage asset can be fully justified, and development would result in the partial or total loss of the asset and/or its setting, the applicant will be required to secure a programme of recording and analysis of that asset, and archaeological excavation where relevant, and ensure the publication of that record to an appropriate standard in a public archive.

4) Proposals that will help to secure a sustainable future for the islands' heritage assets, especially those identified as being at greatest risk of loss or decay, will be supported.

2.10 Conservation Areas

5) Development within the Isles of Scilly Conservation Area will be permitted where:

- a) it preserves or enhances the character or appearance of the area and its setting;
- b) the design and location of the proposal has taken account of:

- i. the development characteristics and context of the area, in terms of important buildings, spaces, landscapes, walls, trees and views within, into or out of the area; and
- ii. the form, scale, size and massing of nearby buildings, together with materials of construction.

## 2.11 Development affecting Listed Buildings

6) Development affecting Listed Buildings, including alterations or changes of use, will be supported where:

- a) it protects the significance of the heritage asset and its setting, including impacts on the character, architectural merit or historic interest of the building; and
- b) materials, layout, architectural features, scale and design respond to and do not detract from the Listed Building; and
- c) a viable use is proposed that is compatible with the conservation of the fabric of the building and its setting.

### *The Isles of Scilly Character Area Statement and Supplementary Planning Document*

2.12 This document provides descriptions of heritage assets and character areas within St Mary's, together with a brief set of management prescriptions and actions (Isles of Scilly Council 2015).

### *The Isles of Scilly Design Guide 2006*

2.13 This document provides guidance of new developments and alterations, and includes the following relevant points:

#### Traditional Materials

- Granite is traditionally the main building material for all types of buildings on the Isles of Scilly. The local brown granite from which the islands are formed, is more granular and less durable than on the mainland.
- Timber, which had been washed ashore from wrecks, has been used in buildings when available. Modern infill on the islands has developed a vernacular of rough sawn vertical batten (flat wooden strips) and board timber extensions.
- The traditional roofing material on the islands was thatch from reeds. Thatched roofs have all disappeared from the Isles of Scilly. Slates imported from the mainland became popular in the 19th and 20th Centuries, particularly Delabole 'smalls' and

‘peggies’. Slate roofs are frequently scantled (small slates cut roughly, at random widths usually diminishing from bottom to top of the roof slopes, often bedded on mortar and trimmed all the way round).

### 3. METHODOLOGY

3.1 The Historic England *Planning Note No 3* (Historic England 2015b) provides key stages of consideration in regard to assessing the impact of a proposal on the setting of a heritage asset as follows:

- Identify the degree to which setting makes a contribution to the significance or the heritage asset or allows its significance to be appreciated;
- Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
- Explore ways to maximise enhancement and avoid or minimise harm; and
- Make and document the decision.

#### ***General***

3.2 The methodology employed by this assessment is in accordance with key professional guidance, including the *Standard and Guidance for Historic Environment Desk-Based Assessment* (Chartered Institute for Archaeologists 2014), the Historic England guidance *Conservation Principles* (2008) and Historic Environment Good Practice Advice in Planning Note 2: *Managing Significance in Decision-Taking in the Historic Environment* (Historic England 2015). Impacts to heritage settings were assessed using the methodology detailed within the current Historic England guidance *Historic Environment Good Practice Advice in Planning Note 3: the setting of heritage assets* (2015).

#### ***Sources of data***

3.3 This Heritage Statement has involved detailed consultation of readily-available historical information drawn from documentary and cartographic sources. The major repositories of information consulted have comprised:

- National Heritage List for England (EH);
- Published and unpublished documentary sources;
- Published and thematic studies relating the Isles of Scilly and Hugh Town;
- Local Authority Supplementary Planning Documents, including Conservation Area Appraisals and Design Guides;
- Historic maps and photographs;

- English Heritage Archives (EHA) and AMIE (Archives and Monuments Information, England) data;
- Online sources, including Local Plan policies and information.

3.4 A bibliography of documentary, archive and cartographic sources consulted is included in the References section of this report.

### ***Setting***

3.5 Paragraph 013 of the PPG notes that all heritage assets have a setting, irrespective of the form in which they survive, and whether they are designated or not. The setting of a heritage asset and the curtilage of an asset may not have the same extent.

3.6 The extent and importance of setting is often expressed by reference to the visual relationship between the asset and the proposed development, and associated visual/physical considerations. Although views of, or from, an asset will play an important part in the assessment of setting impact, the way in which an asset is experienced in its setting is also influenced by other environmental factors, such as noise, dust, smell and vibration, and by our understanding of the historic relationship between places. For example, buildings that are in close proximity, but are not visible from each other, may have a historic or aesthetic connection that amplifies the experience of the significance of each (PPG, paragraph 013).

### ***The Significance of Heritage Assets***

3.7 Heritage assets are defined by the National Planning Policy Framework (henceforth, 'the Framework'; revision of 2021) as 'a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions because of its heritage interest'. The term Heritage Asset includes both designated heritage assets and assets identified by the local planning authority as possessing heritage significance (including locally-listed structures). Designated heritage assets include: World Heritage Sites; Scheduled Monuments; Listed Buildings; Protected Wreck Sites; Registered Parks and Gardens; Registered Battlefields; and Conservation Areas. Non-designated heritage assets include sites held on the Historic Environment Record, in addition to other elements of the landscape understood to have a degree of significance meriting consideration in planning decisions.

- 3.8 The assessment of the heritage value (significance) of a site determines the ways in which particular aspects of a place and different periods in its evolution contribute to, or detract from, those identified heritage values associated with the asset.
- 3.9 Heritage significance is defined in Planning Practice Guidance (Annexe 2, 2021) as ‘the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical fabric, but also from its setting’
- 3.10 Current national guidance for assessing the significance of heritage assets is based on the criteria provided by Historic England (formerly English Heritage) in *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment* (English Heritage 2008). Within this document, significance is weighed by the estimated potential for the asset to demonstrate the following criteria:
- Evidential value derives from ‘the potential of a place to yield evidence about past human activity’ (ibid, 28). It is primarily embodied by physical remains or historic fabric, but also includes buried archaeology;
  - Historical value derives from ‘the ways in which past people, events and aspects of life can be connected through a place to the present’ (ibid, 28). Illustrative historical values depend on visibility in a way that evidential value does not; and ‘have the power to aid interpretation of the past [...] through shared experience of a place’ (ibid, 29). Associative historical values relate to historical connections with a notable family, person, event or movement;
  - Aesthetic values derive from ‘the ways in which people draw sensory and intellectual stimulation from a place’ (ibid, 30). Aesthetic value might be generated through conscious design and artistic endeavour, fortuitous and organic change, and the relationship of structures and materials to their setting;
  - Communal value is tied to historical (associative) value and aesthetic value, deriving from ‘the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory’ (ibid, 31);
  - Communal values may be commemorative, symbolic or social. The latter is typically ‘associated with places that people perceive as a source of identity, distinctiveness,

social interaction and coherence,' and might only be articulated when the resource is under threat (ibid, 32).

- 3.11 Further information on good practice in implementing historic environment policy in the NPPF is provided within the guidance Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (Historic England 2015a). This document provides advice on the assessment of the significance of heritage assets in support of applications for planning permission, and emphasises that the information required regarding heritage significance should be no more than would be necessary to inform the planning decision.

***Assessing levels of Impact***

- 3.12 Impact assessment addresses predicted changes in the existing condition of the environment, as a result of a proposed development. The significance of an impact is generally determined as the combination of the 'sensitivity and/or value' of the affected receptor, and the predicted magnitude of change. In this case, heritage receptors comprise a group of Grade II-listed buildings, which may be considered both as individual structures and as a coherent group of related assets. These are considered to represent receptors of medium to high sensitivity and/or value.

*Magnitude of Impact*

- 3.13 The determination of the magnitude of change is based on the current level of survival, or condition, of the receptor. The variable factors which determine the magnitude of change include the vulnerability or sensitivity of the site or feature to change. The criteria commonly used to determine the magnitude of impact are as described in the following table:

<b>Magnitude of Impact</b>	<b>Description</b>
Major	The proposed development would cause a large change to existing environmental conditions. Complete destruction of the site or feature. Change resulting in a fundamental change to the ability to understand or appreciate the asset and its context and setting.

Moderate	The proposed development would cause noticeable change to existing environmental conditions. Change resulting in appreciable change to the ability to understand or appreciate the asset and its context and setting.
Minor	The proposed development would cause small change to existing environmental conditions. Change resulting in small change to the ability to understand or appreciate the asset and its context and setting.
Negligible	The proposed development would result in no discernible change to existing environmental conditions. Negligible change or no material change to the site or feature. No change to the ability to understand or appreciate the asset and its context and setting.

**Table 1: Criteria used to determine the level of impact.**

*Significance of Impact*

3.14 The significance of impact and environmental effect is determined by two variables:

- The importance or significance of the receptor; and
- The magnitude of change affecting the receptor.

Environmental effects may be either adverse or beneficial, depending on the nature of the impact.

Receptor sensitivity/value	Magnitude of Impact			
	Major	Moderate	Minor	Negligible
Very high	Substantial	Substantial	Moderate	Slight
High	Substantial	Moderate	Slight	Negligible
Medium	Moderate	Slight	Negligible	Negligible
Low	Slight	Negligible	Negligible	Negligible

**Table 2: Criteria used to determine the significance of impact.**

*Sectoral Guidance*

3.15 This Statement has been compiled in accordance with the following statutory, planning policy and guidance documents:

- National Heritage Act 1983 (amended 2002);
- Planning (Listed Buildings and Conservation Areas) Act 1990;
- National Planning Policy Framework 2012 (revised 2021);



- National Planning Practice Guidance: Conserving and Enhancing the Historic Environment 2016 (revised 2021);
- English Heritage guidance: 'Conservation Principles; policies and guidance for the sustainable management of the historic environment' (2008);
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 2; Managing significance in decision-taking in the historic environment' (2015a); and
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 3: The Setting of Heritage Assets' (2015b).

#### 4. ST EIA: ITS FORM, HISTORY AND SIGNIFICANCE

##### *A Description of St Eia*

- 4.1 St Eia, No. 5 Hugh Street, St Marys, was added, along with the surrounding terrace of eight houses, to the National List in December, 1992 (NHLE 1328825), in view of its historic and architectural interest. The listing description is given as follows:

*Terrace of 8 houses including shop. c 1926 by Richardson and Gill for the Duchy of Cornwall. Coursed and dressed granite; flat concrete roof behind parapet. Double-depth plan, with single and double-fronted houses all originally provided with kitchen, parlour and scullery. Neo-Georgian style. 2 storeys; 24-window range to Hugh Street and 2-window return to Mumfords facing Garrison Lane. Each house has granite lintels and cills to one ground-floor tripartite sash with margin lights and banded 6/6-pane first-floor sashes. Keyed segmental arches over 6-panelled doors with fanlights. Mumfords has tripartite shop front on canted angle: articulated by 2 Doric half-columns to central half-glazed door with flanking sidelights and terminal Doric pilasters framing two 24-pane fixed shop windows; 6/6-pane sashes on canted corner above and to return. Whole terrace set on raised plinth with pilaster divisions between each house, plat band, cornice, parapet with coping and recessed stacks. Flat roofs chosen to resist Scilly windstorms. Included as a fine example of Richardson and Gill's work for the Duchy of Cornwall estate on Scilly. Interiors not inspected.*



**Fig. 5: View, looking south-east, of Nos. 1-8 Hugh Street, with front elevations (Historic England).**

- 4.2 St Eia, No. 5 Hugh Street, comprises part of a granite-faced terrace of two-storey houses (Nos. 1-8), of 1926, and designed by Richardson and Gill for the Duchy of Cornwall Estate (Figs. 1

and 5). The houses have flat, concrete roofs, set behind a low parapet. No. 5 is of double-depth plan, and double-fronted, with a central, keyed segmental arch above a six-panelled part-glazed front doorway. There are two recessed, three-light sashes at the ground floor, with granite sills and lintels, and two identical paired sashes at the first floor (Figs. 1, 5 and 10). The terrace displays great unity of design, and is set on a raised plinth, with divisions between individual houses marked by shallow pilasters. Each house has an identical sill band at first-floor level, with a granite coping to parapets and recessed stacks.



**Fig. 6: View, looking north-east, of the existing rear elevation of St Eia.**

- 4.3 The rear elevation of the house is of similar design, but with rendered granite blockwork (Figs. 6 and 10). There is a three-light casement and two, single-light casements to the ground floor, comparable with the first-floor window openings of the front elevation. A deep return on the eastern side of this elevation contains a single-storey porch and boot room, with a monopitch glazed roof and a half-height supporting wall on the south-eastern, external side. A single-depth return on this elevation has a small two-pane sash window at first-floor level.
- 4.4 The end property of the terrace, Mumfords, is situated on a street corner, and its street frontage includes a tripartite shop front set at a canted angle (Fig. 7). Two Doric pilasters frame two 24-pane shop windows, with a timber-framed central doorway and a six-over-six sash at first-floor level, directly above.



Fig. 7: View, looking north-west, of Mumfords, at the south-eastern end of the terrace (Historic England).

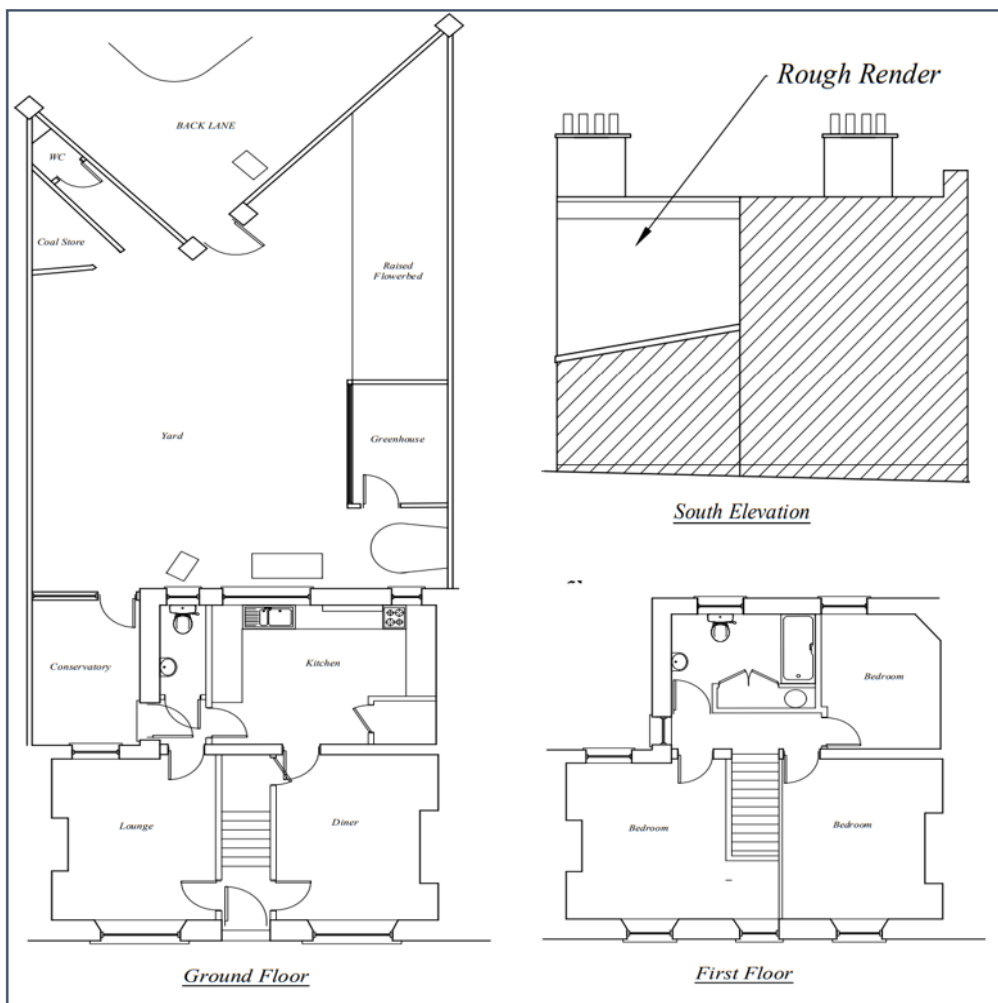


Fig. 8: Existing ground and first-floor plans of St Eia, with south elevation (Paul Osborne).

4.5 The house has a simple, double-depth plan, with a central ground-floor hallway and stairs, with front lounge and dining room opening off on either side (Fig. 8). The rear of the ground floor originally comprised a kitchen and pantry, although the original plan-form on this side has been altered by the addition of the glazed porch and boot room within the return on the eastern side of the ground floor. The first floor comprises three small bedrooms opening off a small landing, one of which has been subdivided at a later date, to provide a small bathroom. The internal detail and appointments of the house are plain with remarkably little historical detail, and therefore retain little heritage interest (Fig. 9, A-F). There have been a number of more recent fixtures and additions, although the basic plan-form of the house has survived.



Fig. 9 A-F: Internal ground and first-floor spaces and fabric within St Eia.

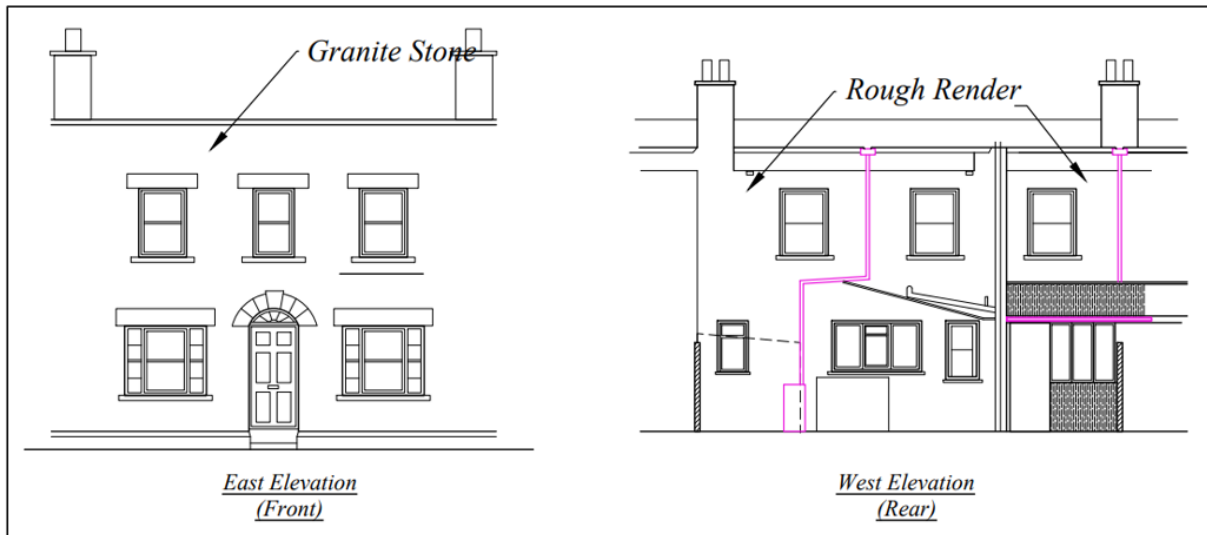


Fig. 10: Architect's drawings of the existing front and rear elevations of St Eia (Paul Osborne).

**Historical Development**

4.6 The terrace of 1-8 Hugh Street was, and remains, a striking modernist addition within a townscape which is of predominantly of eighteenth and early nineteenth-century character (Fig. 5). Historic Ordnance Survey mapping of 1908 depicts the street-plan before the construction of the terrace, with individual building plans and plots closely approximating to those of the 1926 scheme (Fig. 11). The layout of the demolished houses along this part of the street, some with elongated rear extensions and ancillary rear structures, suggests buildings of eighteenth-century date, some of which were presumably in a dilapidated condition before demolition.

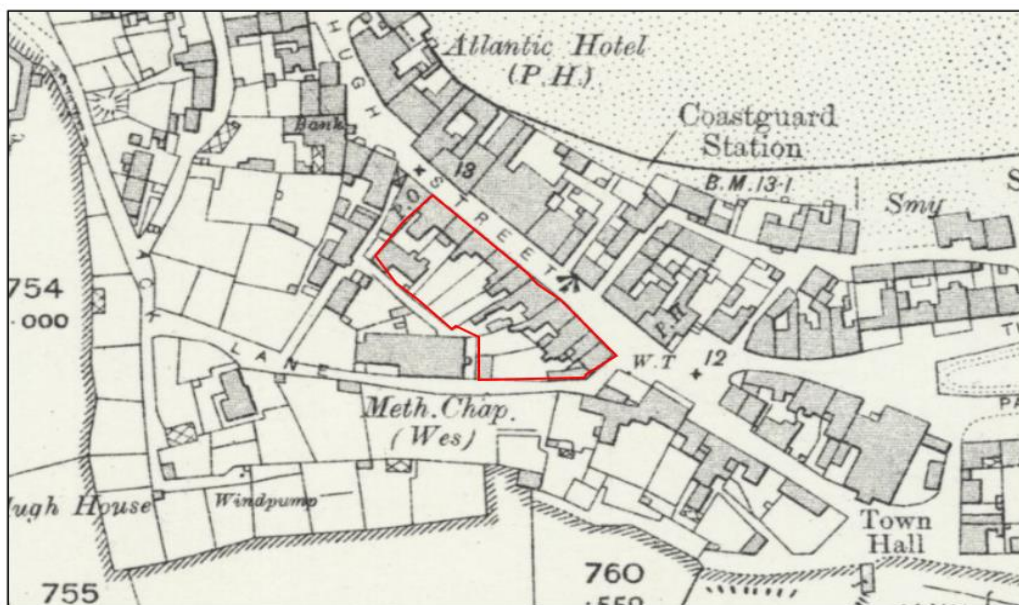


Fig. 11: Extract from Ordnance Survey England and Wales 25-inch series 1842-1952, published 1908 (National Library of Scotland).

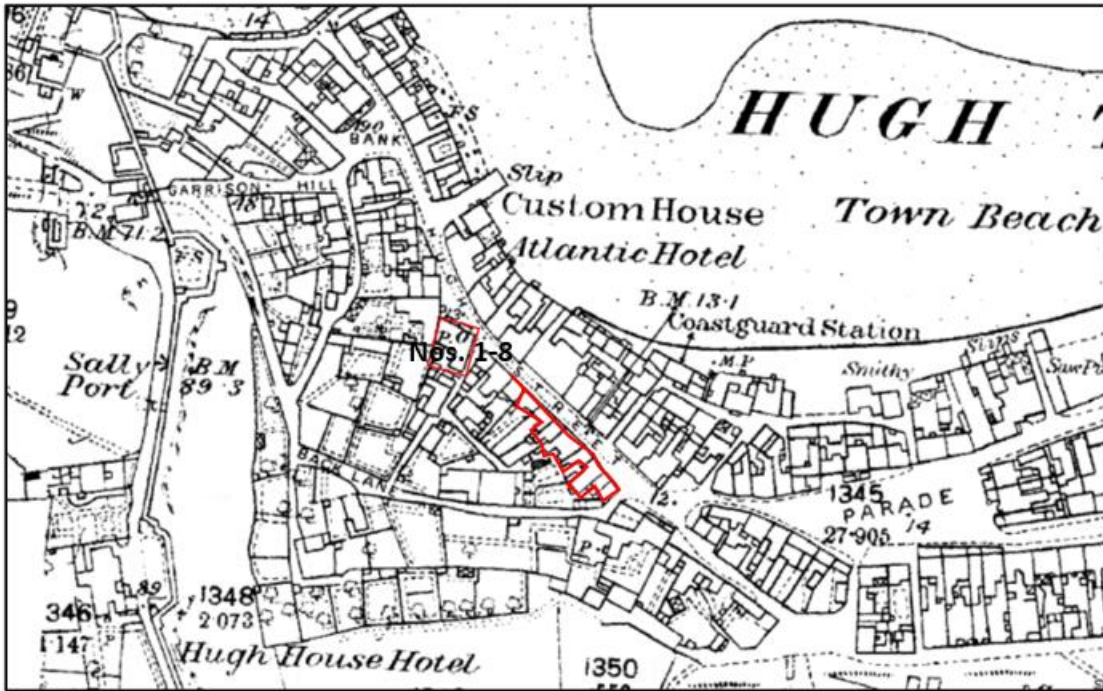


Fig. 12: Extract from Ordnance Survey 25-inch England and Wales series 1842-1952, published 1931 (Cornwall County Council).

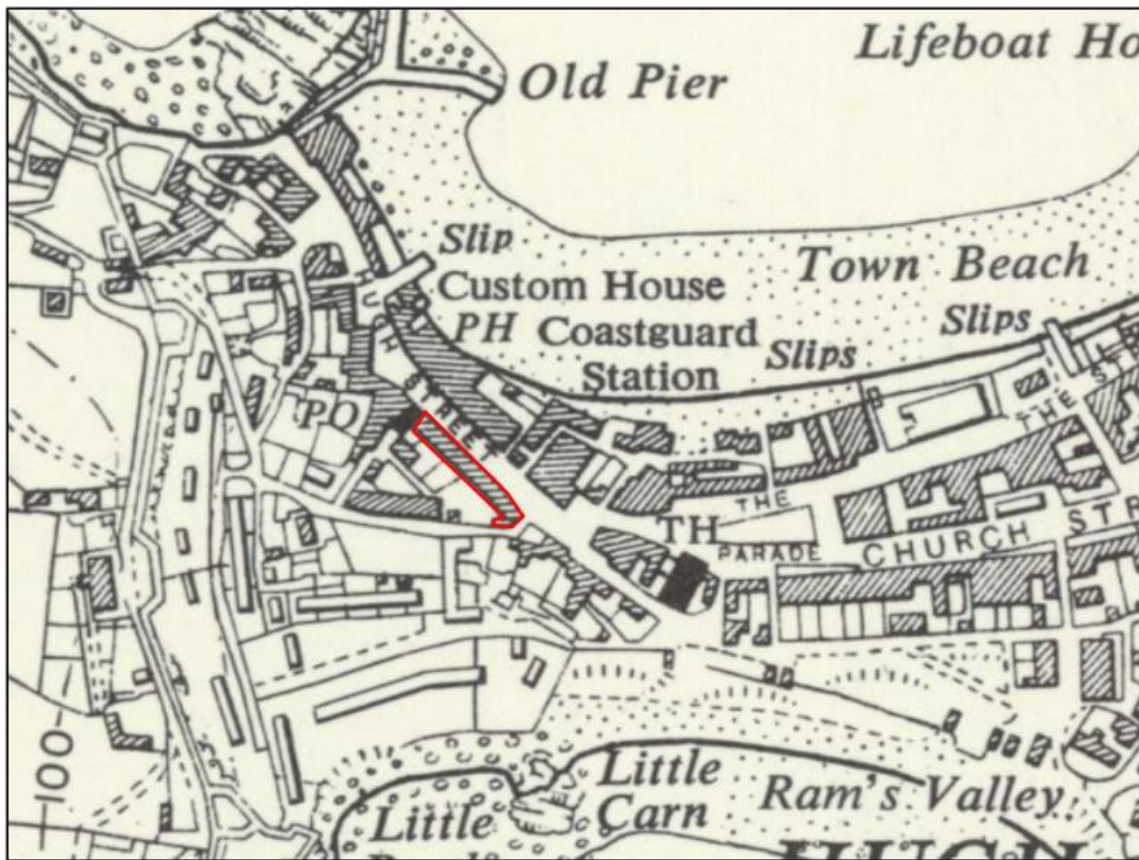


Fig. 13: Extract from the Ordnance Survey 1:10,000 series, published in 1960 (National Library of Scotland).

- 4.7 The layout of the terrace evidently involved some difficulties in accommodating the new dwellings and their rear plots within the existing street plan (Figs. 12 and 13). The rear wall of St Eia has a distinct V-shaped plan, due to the close proximity of the earlier Wesleyan Chapel, immediately to the south. The location of the dwelling at the southern, street-corner end of the terrace, 'Mumfords', has necessitated a departure from the remarkably uniform design of the other dwellings (Fig. 7).

### *The Significance of St Eia*

- 4.8 The principal significance of St Eia resides in its historic fabric and built form, as a component dwelling within a planned terrace of eight houses of early twentieth-century date, which is integral to the later development of Hugh Town as a settlement. The significance of St Eia as a heritage asset is articulated using the complementary group of heritage assets described in the English Heritage (Historic England) guidance *Conservation Principles* (2008).

### *Historical Illustrative Heritage Values*

- 4.9 St Eia is associated with historical illustrative heritage values of high importance, which relate to the construction of the terrace of traditional coursed granite block and lintels, which is representative of traditional island methods of construction and use of local materials. Significance attaches principally to the terrace as a whole, rather than to individual components, and most particularly to the architectural interest of its front, north elevation. It is also an important example of the historical role of the Duchy of Cornwall as a local landowner, and of the provision of accommodation for estate workers. The eight houses are also illustrative of the twentieth-century development of Hugh Town as a settlement, and of the survival of the historical street pattern.

### *Design Aesthetic Heritage Values*

- 4.10 Although of an austere, modernist design, St Eia and its neighbouring houses are of pleasing and harmonious appearance, embodying simple but effective decorative features which enable the plain, coursed granite facades to be discretely enlivened. Considered to be one of series of fine designs by Richardson and Gill for the Duchy of Cornwall, the terrace adds architectural distinction to this streetscape, but in a manner which closely reflects local built character (Figs. 1, 5 and 14). The terrace comprises an important element within south-eastward views along Hugh Street, and this contribution to surrounding townscape also contributes to the



significance of the Grade II-listed terrace. Such design aesthetic values relate principally to the imposing scheme of the front elevation of the terrace (Figs. 5 and 7), and to a considerably more limited extent to the less coherent and architecturally less imposing rear. The interior spaces of St Eia are plain and lacking in detail and historic interest, and also make a limited contribution to the overall significance of the house (Fig. 9A-F). On this basis, St Eia, and its adjoining houses collectively comprise a heritage asset of high significance, as evidenced by their collective designation.



Fig. 14: A Postcard of c. 1930, looking south-east along Hugh Street, with the northern end of the terrace of Nos. 1-8 Hugh Street visible in the centre of the picture.

## 5. THE PROPOSED ALTERATIONS TO ST EIA, AND THEIR IMPACT

5.1 A number of internal and external alterations are proposed for the property, including:

- The addition of a new garage to the rear garden wall, with a new access gate;
- Creation of a new conservatory to the rear of the house;
- Provision of new conservatory access via existing double windows in the kitchen;
- Converting the existing rear porch/ boot room into a utility and shower room;
- Installing a new kitchen layout with the removal of a wall between kitchen and diner;
- Installation of a new bathroom lay-out, with new door positions;
- Completely re-wiring the property, entailing the removal of most of the ceilings - these are of Gyproc wall-board, of recent date;
- All existing doors and skirtings would be retained where walls are not affected;
- The rear external walls to be painted white;
- All existing windows to be retained, although some frames will be refurbished as they are in poor condition;
- The new kitchen-diner and conservatory floors to be laid with slate floor-tiles; and
- Existing floor boards in the first-floor front bedrooms, stairs and lounge to be exposed and varnished.

*The addition of new garage to the rear garden wall.*

5.2 The new garage would be constructed to the rear of the property, within the western internal angle of the canted stone boundary wall, which is assumed to be contemporary with the house (Figs. 15, 16, 20 and 24). Construction of the garage would entail new walling on the north-eastern and south-eastern sides of this space, with the necessary relocation, to a new position slightly to the right, of the existing rear access gate (Fig. 16). The garage would feature double wooden doors, of an appropriately simple design, to be set within the existing boundary wall. This would entail some loss of existing fabric, but would not result in substantial change to the overall appearance of the property within inward views from the south. Construction of the garage and refurbishment of the rear garden space would entail the removal of an existing small greenhouse and a coal-store (Figs. 8, 15 and 24). Both features are of modern date and of no significance, and their removal would enhance the general visual aspect of the property on this side. The proposed garage would have a flat GRP roof, and the reconfigured rear

pedestrian access to the property would be set between raised stone piers with plain copings, to match the surrounding wall-tops (Fig. 16). Internally, the rear wall of the garage would be rendered, and a rear doorway entrance to the garage would be fitted with flood-boards, as would the main garage doors and rear access door in the south wall.



Fig. 15 A and B: The existing greenhouse (left) and coal-store (right) to the rear of the property.

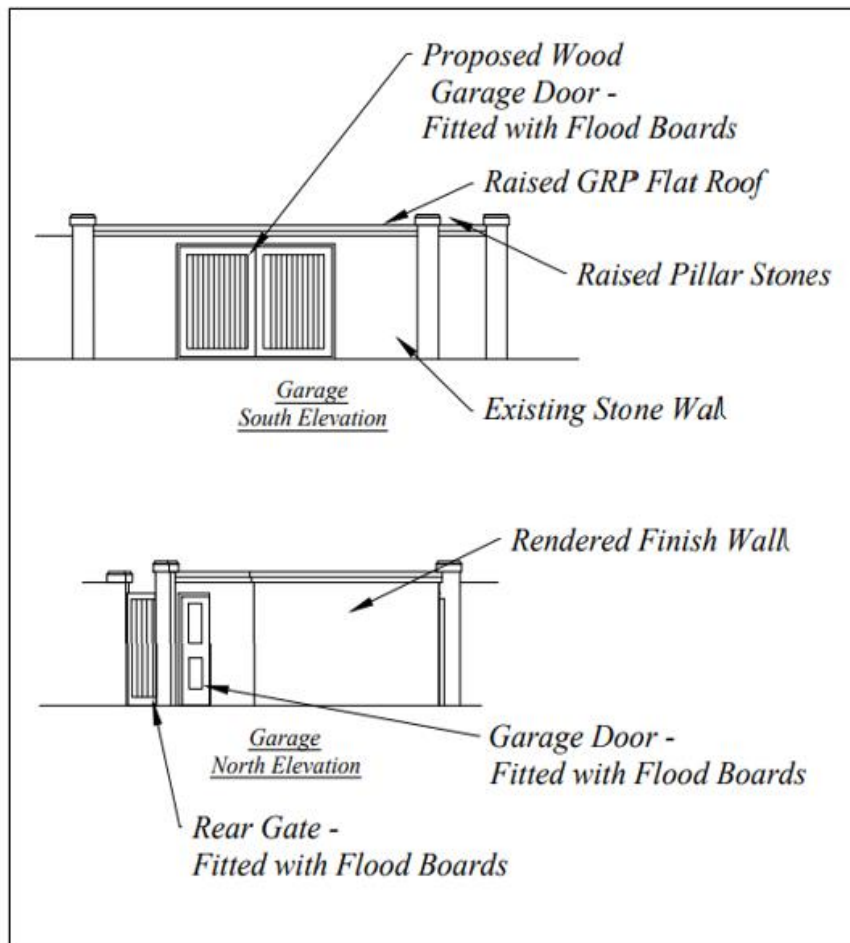
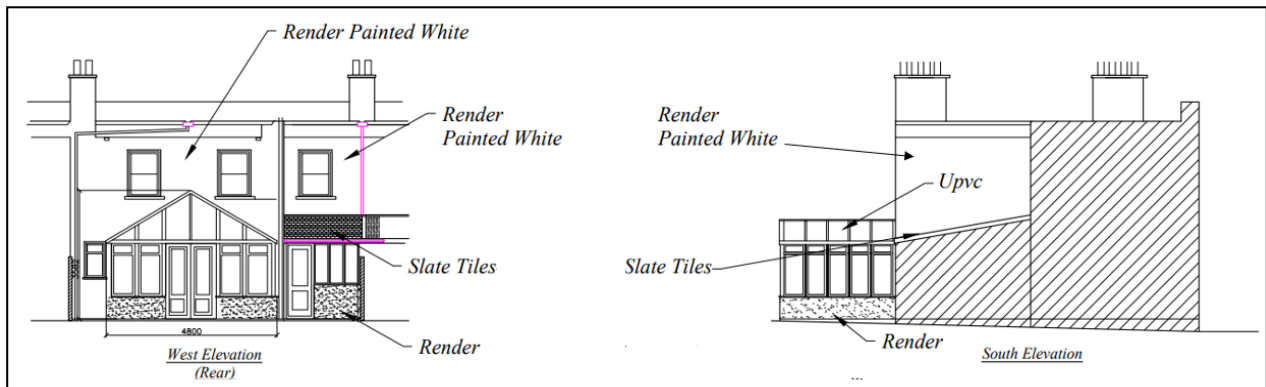


Fig. 16: Proposed changes to the rear boundary wall associated with the construction of the new garage (Paul Osborne).

*The new Conservatory*

5.3 It is proposed to construct a new conservatory at the rear of the house, measuring 4.8m by 3m in ground-plan (Figs. 17 and 20). This additional structure would require double-door access from the kitchen, and would incorporate glazed double-doors on the south side, to provide access to the rear garden. The conservatory would be of gabled form, and supported by a low, timber-framed wall with a rendered external finish. Timber-framed construction above this would feature half-height, top-opening glazed panels at the sides, with Upvc panels on the roof. Construction of the conservatory would entail few impacts to standing fabric on this side of the house, and would have a limited effect on the appearance of the rear elevation, which in its current condition is of limited visual amenity and makes comparatively little contribution to the overall appearance and significance of the building (Fig. 6).



**Fig. 17: Architect’s drawings of the proposed rear and south elevations of St Eia (Paul Osborne).**

*The conversion of the rear porch/ boot room*

5.4 The existing rear porch and boot room occupies a limited space immediately to the south-east of the kitchen, and is located within a part-glazed, single-storey structure within the deep return on this side of the house (Figs. 6, 8, 10 and 18). This is proposed to be converted to a more substantial utility and shower room, which would basically reproduce the monopitch form, scale and plan of the existing, but would feature a half-height supporting wall of timber-framed and render-finished construction at the rear elevation of the house, with a slate-tiled roof (Figs.17 and 20). The rear doorway would be retained, as would doorway access from the kitchen, albeit in a slightly different location (Figs. 17 and 22). Construction of the new utility and shower room would require a WC which is currently located on the south-eastern side of the kitchen to be relocated to the northern side of the utility room, thus enabling the eastern wall of the kitchen to move further in this direction (Figs. 20 and 22).



**Fig. 18 A and B: The existing rear porch.**

5.5 Construction of the new utility room would have little impact on standing fabric, and would replace the existing rear porch/boot room which is in poor repair and does not contribute positively to the historic character or significance of the house (Figs. 6 and 18). This feature is not part of the original plan-form, and is of limited significance. The altered relationship between the kitchen and the new utility room would entail little change to the historic plan-form of the house, although an existing doorway opening would be blocked and new doorway opening created within the eastern wall of the kitchen, which would represent a limited impact to standing fabric (Fig. 20). In addition, a window opening within the intervening wall between the rear porch/boot room and the front lounge would also be blocked (Fig. 20).



**Fig. 19: The south-east wall of the existing kitchen, with doorway to the conservatory.**

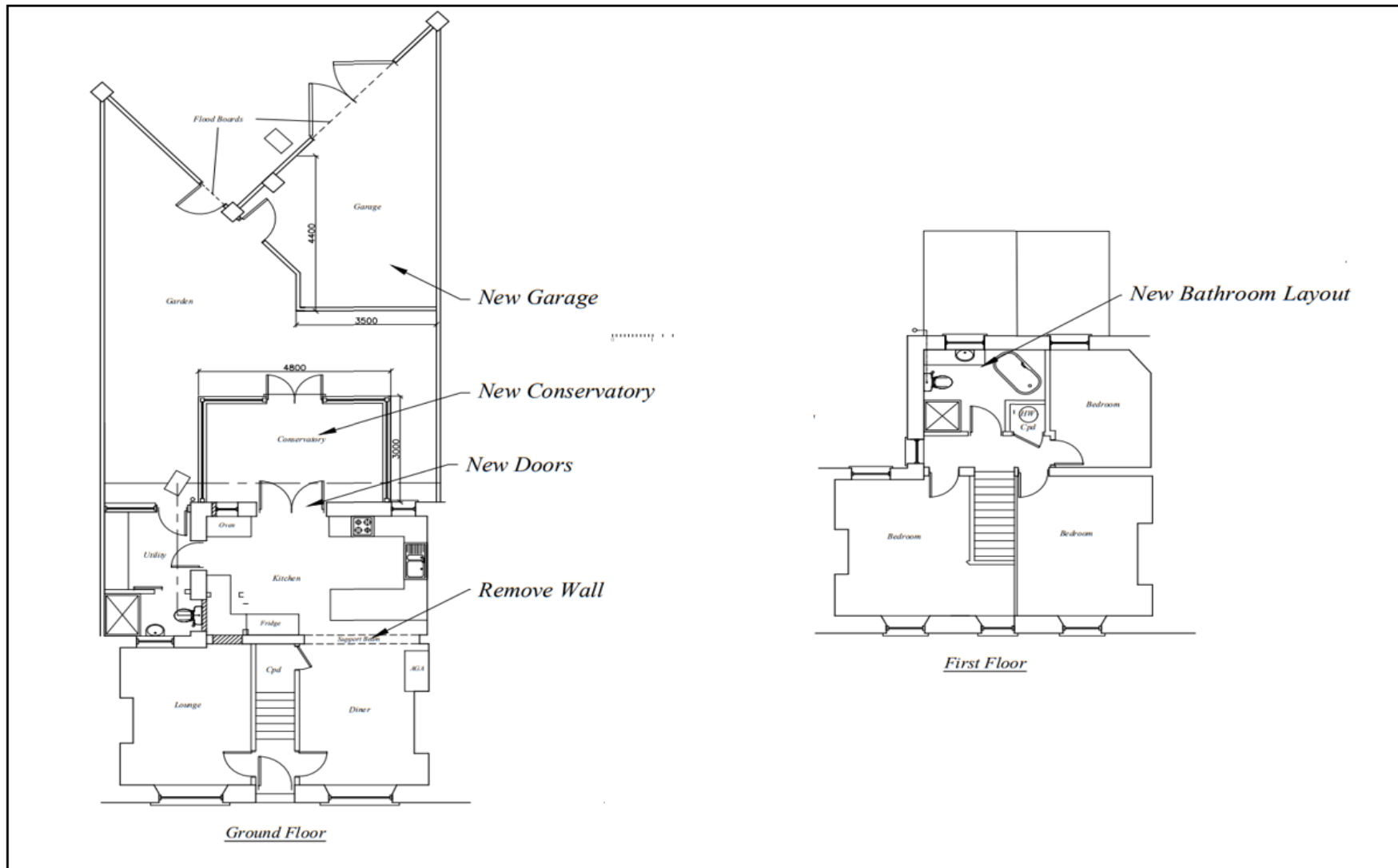


Fig. 20: Proposed ground-floor and first-floor plans of St Eia (Paul Osborne).

- 5.6 The existing kitchen units (Fig. 19) proposed for replacement are not original, and are thought to date from the 1960s. They are therefore of minimal heritage interest. It is probable that in its original form of 1926, the house did not have a specialised or fitted out kitchen space. The work-top shown in Figure 19 is known to date from only 1975.

*Provision of rear access to the proposed new conservatory*

- 5.7 The existing kitchen currently has no direct access to the rear garden of the house, as this is currently provided by the rear door of the porch/boot room, immediately to the right. The provision of double-door access from the kitchen to the proposed conservatory would entail the modification of an existing window opening on this side of the kitchen to create a wide doorway opening and enable the installation of the double doors (Figs, 20 and 21) . Impact to standing fabric would be limited by the use of an existing window opening, although some loss of fabric and change to the historic plan-form of the house would occur. Change to the rear elevation of the house would be limited, and would be partly concealed by the proposed conservatory itself. This proposed alteration would have a limited effect on the appearance of the rear elevation, which in its current condition is of limited visual amenity and makes comparatively little contribution to the overall appearance and significance of the building (Figs. 6 and 10).



Fig. 21: View, looking south-west through the rear kitchen window proposed to be modified.

*The integration of the kitchen and diner*

5.8 The kitchen and dining room are currently divided by an intervening wall, with no direct access between them. It is proposed to integrate the two spaces by removing a section of intervening wall of approximately 3m length (Fig. 20). Nibs would be retained on the eastern and western sides to provide a visual reference to this former aspect of plan-form. A steel support beam would be inserted above the removed section. This would represent the most substantial of the proposed changes to the existing plan-form of the house, and would entail some loss of historic fabric. It is understood that a number of comparable consented changes have been undertaken within other component dwellings of Nos.1-8 Hugh Street.



**Fig. 22: View, looking south-west, of the existing ground-floor WC to the east of the kitchen.**

*The installation of a new bathroom layout*

5.9 The proposed modernisation of the existing first-floor bathroom would include the installation of a new bath, WC and shower unit, which would require a reconfiguration of facilities within this confined space. An existing doorway access to the bathroom off the first-floor landing would be blocked and a new opening created midway along the northern wall of the bathroom (Fig. 20). This wall appears to be a later addition resulting from the subdivision of a bedroom space, and is not thought to comprise part of the original plan-form of the



house. It is therefore of limited significance. The installation of new bathroom facilities would not result in any additional impacts to historic fabric.

*The re-wiring of the property*

- 5.10 The re-wiring of the property will be essential to achieve compliance with building regulations and to ensure that electrical installations and appliances are brought up to modern standards. Re-wiring would result in relatively limited impact to interior spaces and fabric, and existing service runs should be reused where possible. (Fig. 9E) Existing ceilings are understood to be Gyproc-lined so that removal of this material should not result in adverse impacts. Re-wiring and associated works to facilitate this should be in accordance with current historic England guidance (Historic England 2018; 2021).

*Painting of rear external walls*

- 5.11 It is proposed that the rear external walls of the property be painted white, with an approved external masonry paint. This would enhance the appearance of the rear elevation of the property, which currently features unpainted, rough-rendered surfaces of weathered appearance. A white-painted exterior would be consistent with much local built character within the historic core of Hugh Town, and with the rear elevations of a number of adjacent properties within the Grade II-listed terrace (Fig. 23).



Fig. 23: View, looking north-west, of the rear elevations of adjoining houses of the terrace.

*The refurbishment of windows*

- 5.12 A number of windows are in poor condition, with decayed timber frames. Where necessary, these would be refurbished to preserve their existing historic pattern, so that the external scheme of fenestration is conserved wherever possible. This proposal would result in no adverse impact to the significance of the building, and would be consistent with the principles of long-term conservation.

*The laying of slate floor-tiles*

- 5.13 It is proposed to lay slate floor-tiles within the new kitchen-diner and the conservatory. The use of slate tiles would not be inconsistent with the historic character of the house, and would not entail impact to existing floor surfaces.

*Treatment of existing floorboards*

- 5.14 It is proposed to expose and treat existing floorboards within ground-floor and first-floor spaces. This would result in the revealing and conservation of aspects of historic fabric and would entail no adverse impact to their historic character and physical integrity.

***Assessing the impacts of the proposed alterations to St Eia***

- 5.15 External alterations and additions at the rear of St Eia would include the construction of a garage and the insertion of new doorway openings in the rear boundary wall. The new doorways would result in a limited degree of change to the external appearance of the property within inward views from the south (Fig. 16). Such views would also incorporate well-designed features, including wooden doors, which would be appropriate to the historic character of the house, and which would potentially enhance its wider appearance. The proposed garage would be flat-roofed, and would not result in any appreciable increase in massing within views from the south. Proposed changes to the rear would also entail the removal of an existing greenhouse and coal-store, which currently do not contribute positively to the appearance or significance of the house (Figs. 15 and 24).
- 5.16 The addition of the proposed new glazed conservatory on the rear elevation would partly obscure parts of the original rear face of the house, and result in some change to its external appearance on this side (Figs. 17 and 20). However, the proposed structure would be partly visually permeable and would be of simple, contemporary design. Inward views of the house

from the south would be partly obstructed by the existing intervening rear wall, so that the ground floor of the house would be at least partly screened in such views. The overall impact on the appearance of the house would therefore be very limited. Similarly, the reconstruction of the adjoining porch/boot room into a utility/shower room would have an equally limited effect on the external appearance of the house, and would be largely concealed within inward views.



**Fig. 24: View, looking south-west from the rear garden of St Eia, with the existing greenhouse and coal-store, and the Grade II-listed Former Wesleyan Chapel beyond.**

5.17 None of the proposed external changes or additions would affect the appearance of the north, street elevation of the house, from which its principal architectural interest and significance derives (Figs. 1 and 5). The proposed changes would affect only parts of the rear elevation and interior of the house, which make a considerably smaller contribution to its overall significance (Figs. 6, 10, 24 and 25). They would have an acceptably minor effect on the setting and historic character of the Grade II-listed former Wesleyan Methodist Chapel (NHLE 1141217), which is located close to the rear boundary wall of St Eia (Figs. 24 and 25). In many respects, the ameliorative nature of many proposed changes might potentially enhance the setting of this building, given the generally poor visual aspect of the rear of the house. Any changes to the rear of St Eia at ground-floor level would have very limited visibility from the Chapel because of the intervening wall.

5.18 In its current condition, St Eia has undergone few recent improvements and requires a number of internal alterations to rationalise room spaces and to meet the needs of modern family living. The modest proposals for internal alterations should therefore be considered within the context of a wider programme of repair and refurbishment, which will restore the fabric and historic character of the property, and secure its sustainable long-term use and significance. Any adverse impacts to internal historic fabric would be at least partly balanced by the heritage benefits arising from these proposals and the overall enhancement of the external appearance and character of the property.



**Fig. 25: View looking south-east from the first-floor of St Eia, with the walled rear space and the Grade II-listed Former Wesleyan Chapel beyond.**

5.19 The proposed alterations would include very few changes to the external form and character of the house, and would respect its basic plan-form and layout, which would remain intelligible. Such changes would principally affect those areas at the rear of the ground-floor, some of which have been subject to a degree of historical change, and therefore retain

relatively little heritage value. Elsewhere, proposed changes are sensitive, and designed to retain original fittings and fabric wherever possible. Limited interventions, and the removal of fabric, would be required to create new door openings, although these are considered to be essential to enable access and inter-connectivity between reconfigured room-spaces. The overall magnitude of impact associated with the proposed alterations is assessed as Minor, and the corresponding significance of impact as Slight (Tables 1 and 2). The resulting level of harm to the overall significance of St Eia would be within the lower range of less than substantial. However, it is argued that this low level of harm would be effectively balanced by the heritage benefits resulting from the proposed works, which would effectively conserve and enhance the significance of this building.

## 6. CONCLUSIONS

- 6.1 St Eia, No. 5 Hugh Street, is one of a terrace of eight houses located on the south side of Hugh Street, which was constructed in 1926, to a design by Richardson and Gill. The terrace is collectively listed at Grade II, in view of the architectural interest of its north, front elevation, which comprises a striking two-storey façade in coursed granite block construction, in a neo-Georgian style. The houses have flat concrete roofs, behind parapets, with pilaster divisions between individual properties, and a sill band above. There is a highly regular arrangement of sash windows on both floors, which contribute importantly to the quality of the overall scheme. Houses are double-depth plan, with both double and single-fronted examples within the terrace. St Eia and adjoining houses collectively retain important heritage values which relate to their quality of design and the historical role of the Duchy of Cornwall as a local employer.
- 6.2 The rear elevation of the house is of considerably less interest, with a rendered exterior and more irregular fenestration. A glazed porch/boot room structure with a monopitch roof has been constructed within a deep return on this side of the house. To the rear of the house is a walled garden or yard space containing a greenhouse and coal store, with a rear doorway providing access to the roadway on this side. This rear space is of generally poor visual aspect. The Grade II-listed Former Wesleyan Methodist Chapel is located a short distance to the south. Internally, the house has been subject to a number of alterations, but retains much of its original plan-form. Interior spaces are plain, with few fittings or detail, and retain comparatively little heritage interest.
- 6.3 A programme of modernisation and repair is proposed for St Eia, which would entail a number of internal and external alterations and additions. These would secure the future sustainable use of the house, and make it more suitable for modern family living. At the rear of the house, it is proposed to remove an existing greenhouse and construct a new, flat-roofed garage, which would require new openings in the rear wall. At the rear elevation of the house, it is proposed to remove the existing porch/boot room, and to construct a new utility and shower room, with altered doorway access from the adjoining kitchen, which would be slightly enlarged on its eastern side. A proposed part-glazed conservatory on the rear elevation would require the modification of an existing window to create a double-doorway opening from the

kitchen. The integration of the currently separate kitchen and dining room would entail the removal of a section of intervening wall, which would represent an impact to existing standing fabric and plan-form. In addition, the reconfiguration of the existing bathroom would require the alteration of a doorway opening within a section of wall of more recent date. Minor associated works would include the external painting of the rear elevation, the refurbishment of decayed window frames, the laying of slate floor-tiles and the exposure and treatment of existing floorboards.

- 6.4 The proposed new glazed conservatory on the rear elevation would partly obscure parts of the original rear face of the house, but would be partly visually permeable and of simple, contemporary design. Inward views of the house from the south would be partly obstructed by the existing intervening rear wall, so that the ground floor of the house would be at least partly screened in such views. The overall impact on the appearance of the rear elevation of the house would therefore be limited. Similarly, the reconstruction of the adjoining porch into a utility and shower room would be largely concealed within inward views. The insertion of new doorway openings within the south boundary wall would partly affect inward views from this direction, although any changes in the quality of such views would be mitigated by the appropriate design quality of new wooden doors. Cumulatively, the proposed external changes would enhance the rear space and setting of St Eia, which is currently of rather poor visual aspect, and detracts from the significance of the building and the setting of the adjacent Grade II-listed Former Wesleyan Chapel.
- 6.5 None of the proposed external changes or additions would affect the appearance of the north, street elevation of the house, from which its principal significance derives. Such changes would affect only parts of the rear elevation and the interior, which make a considerably smaller contribution to overall significance. They would have an acceptably small effect on the setting and historic character of the Grade II-listed former Wesleyan Methodist Chapel (NHLE 1141217), which is located immediately to the rear of St Eia., and on the settings of the adjoining buildings of the Grade II-listed terrace. Any changes to the rear of St Eia at ground-floor level would have limited visibility from the Chapel because of the intervening wall.
- 6.6 The proposed alterations would include few changes to the external form or the basic plan-form and layout of the house, which would remain intelligible. Such alterations would principally affect ground-floor areas to the rear, some of which have been subject to historical

change. Proposed changes have otherwise been sensitively designed, and would retain original fittings and fabric wherever possible. Limited interventions to create new door openings would be essential to enable access and inter-connectivity between reconfigured room-spaces. The resulting level of harm to the overall significance of St Eia would be within the lower range of less than substantial, although this low level of harm would be balanced by the heritage benefits resulting from the proposed works, which would effectively conserve and enhance the significance of this building. Consultation advice for the current application has considered that the proposed alterations would be unlikely to disturb significant fabric, or diminish the building's historic significance. In addition, the creation of the rear garage would entail negligible ground disturbance in an area of low archaeological potential. Accordingly, it has been advised that no archaeological or historic building recording would be required, and that no archaeological condition would be sought.

- 6.7 This Heritage Statement will support further applications for planning permission and Listed Building Consent, and includes a description of the building, and of its history and significance, together with an assessment of the potential impact of proposed changes. The Planning (Listed Building and Conservation Areas) Act 1990 requires that special regard be given to the desirability of preserving a listed building and any features of architectural or historic interest it possesses. This statutory approach is reflected in Policy OE7 of the Isles of Scilly Local Plan 2015-2030. Similarly, Paragraph 199 of the National Planning Policy Framework (NPPF) states that, when considering the impact of development on the significance of a listed building, great weight should be given to its conservation. On the basis of the assessment presented in this Heritage Statement, it is considered that the proposed changes to this Grade II listed building are wholly proportionate to its scale and character, and would result in an acceptably low level of harm to its significance. Such proposals are in accordance with the statutory requirements stated in Section 66 of the Planning Act, the National Planning Policy Framework and Policy OE7 of the Isles of Scilly Local Plan 2015-2030. It would also be consistent with supplementary planning documents, including the Isles of Scilly Design Guide (2006) and the Isles of Scilly Conservation Area Character Statement and Supplementary Planning Document (2015).



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# COUNCIL OF THE ISLES OF SCILLY

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Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

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✉[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

**THIS LETTER CONTAINS IMPORTANT INFORMATION  
REGARDING YOUR PERMISSION – PLEASE READ  
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE  
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW  
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

**Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorized work carried out may have to be amended or removed from the site.

**Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

## **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall Council  
Pydar House  
Pydar Street  
Truro  
Cornwall  
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

## **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

## **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.