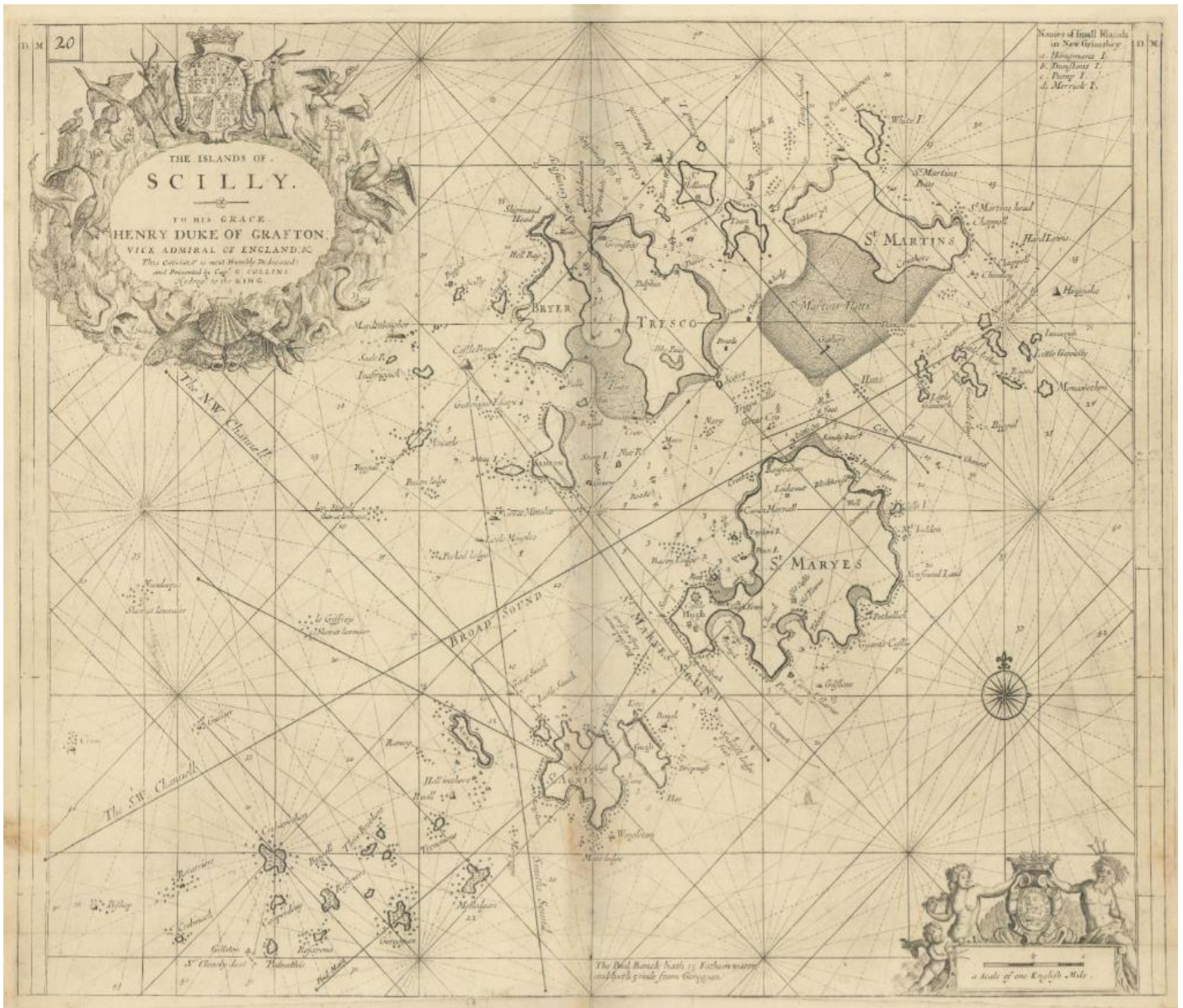




St Eia, Hugh Street, St Marys, Isles of Scilly TR21 0LL A Heritage Statement



Client: Mr M. Brooks,
Project No: RHC 2023-43
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St Eia, Hugh Street, St Mary's, Isles of Scilly TR21 0LL

A Heritage Statement

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Front cover: The Islands of Scilly - To His Grace Henry Duke of Grafton; Vice Admiral of England & this chart is most humbly dedicated; and presented by Capt. G. Collins, Hydrographer to the King, 1723 (British Library).

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SUMMARY

St Eia is one of a Grade II-listed terrace of eight houses on the south side of Hugh Street, which was constructed in 1926. Principal significance relates to the architectural interest of its north, two-storey elevation, in coursed granite-block construction, of a neo-Georgian style. The rear elevation is of less interest, with a rendered exterior and more irregular fenestration. A glazed porch structure has been constructed on this side. A walled garden-space at the rear contains a greenhouse and coal store, and is generally of poor visual aspect. The Grade II-listed Former Wesleyan Methodist Chapel is located a short distance to the south. Internally, much original plan-form survives, although interior spaces are plain and undetailed, and of little heritage interest.

At the rear, the greenhouse would be removed, and a new, flat-roofed garage constructed. The existing rear porch would also be removed, and a new utility and shower room constructed, with altered doorway access from a slightly enlarged adjoining kitchen. A new gabled rear conservatory would require the modification of an existing window to create a double-doorway opening from the kitchen, and the integration of the existing kitchen and dining room would entail the removal of a section of intervening wall. The reconfiguration of the existing bathroom would require the alteration of a doorway opening. Minor associated works would include external painting of the rear elevation, refurbishment of window frames, slate floor-tiles and the treatment of floorboards.

The proposed new conservatory at the rear would partly obscure parts of this elevation, although inward views from the south would be partly obstructed by the existing rear boundary wall, with the ground floor partly screened in such views. Overall impacts on the appearance of the rear elevation, including the reconstruction of the adjoining porch into a utility and shower room, would be largely concealed within inward views. The proposed external changes would enhance the rear space and setting of St Eia, which is currently of rather poor visual aspect. None of the proposed external changes or additions would affect existing street-views, or the appearance of the principal north elevation, and would affect only the rear elevation and interior spaces of the house, which make a considerably smaller contribution to significance. They would have an acceptably small effect on the setting of the Grade II-listed former Wesleyan Methodist Chapel. Any changes to the rear of St Eia at ground-floor level would have limited visibility from the Chapel because of the intervening rear boundary wall.

The proposed alterations would include few changes to external form or basic plan-form, and the resulting level of harm would be within the lower range of less than substantial, although this low level of harm would be partly balanced by the heritage benefits resulting from the proposed works.

1. INTRODUCTION

1.1 In July, 2023, Ridgeway Heritage Consultancy was commissioned by Mr Paul Osborne, on behalf of Mr M. Brooks, to undertake a heritage statement to support an application for planning permission for a series of alterations and additions to St Eia, part of a Grade II-listed terrace (No. 5) which is located on the southern side of Hugh Street, St Mary's, Isles of Scilly TR21 0LL (NGR 090184 010594) (Figs. 1, 2, 3 and 5), henceforth 'the house'. St Eia is a substantial, granite-faced dwelling, which was constructed, as part of the terrace, in 1926. It is situated within the direct proximity of other dwellings within the Grade II-listed terrace, and comprises part of the historic streetscape of Hugh Street. This street, and the whole of Hugh Town, comprise part of a single, wider Conservation Area, which includes the entire area under the jurisdiction of the Council of the Isles of Scilly.



Fig. 1: The north-east, front elevation of St Eia, No. 5 Hugh Street.

Urban context

1.2 Hugh Town, St Marys, comprises the only truly 'urban' settlement on the Scilly Isles. Within this, Hugh Street has possibly the greatest sense of enclosure, which is partly relieved by an informal square at its eastern end (Figs. 2 and 3). Street frontages within Hugh Street are almost continuous, and include a number of shopfronts and town houses of predominantly nineteenth-century date (Figs. 4 and 14). The historic core of Hugh Town is associated with fine urban grain and relatively high building density, with a focus on enclosed streets rather

than the harbour frontage (Figs. 3 and 4). The terrace of Nos. 1-8 Hugh Street comprises part of a succession of historic buildings along both sides of this street, which include the Grade II-listed Post Office immediately to the north-west (NHLE 1291788).



Fig. 2: Location Plan (approximate scale 1:50,000).

- 1.3 A number of internal and external alterations are proposed for the property, including:
- The addition of a new garage to the rear garden wall, with a new access gate;
 - Creation of a new conservatory to the rear of the house;
 - Provision of new conservatory access via existing double windows in the kitchen;
 - Converting the existing rear porch/ boot room into a utility and shower room;
 - Installing a new kitchen layout with the removal of a wall between kitchen and diner;

- Installation of a new bathroom lay-out, with new door positions;
- A number of minor alterations, including re-wiring, painting of the exterior rear elevation, refurbishing of window frames, and laying of slate floor-tiles in ground-floor rooms.

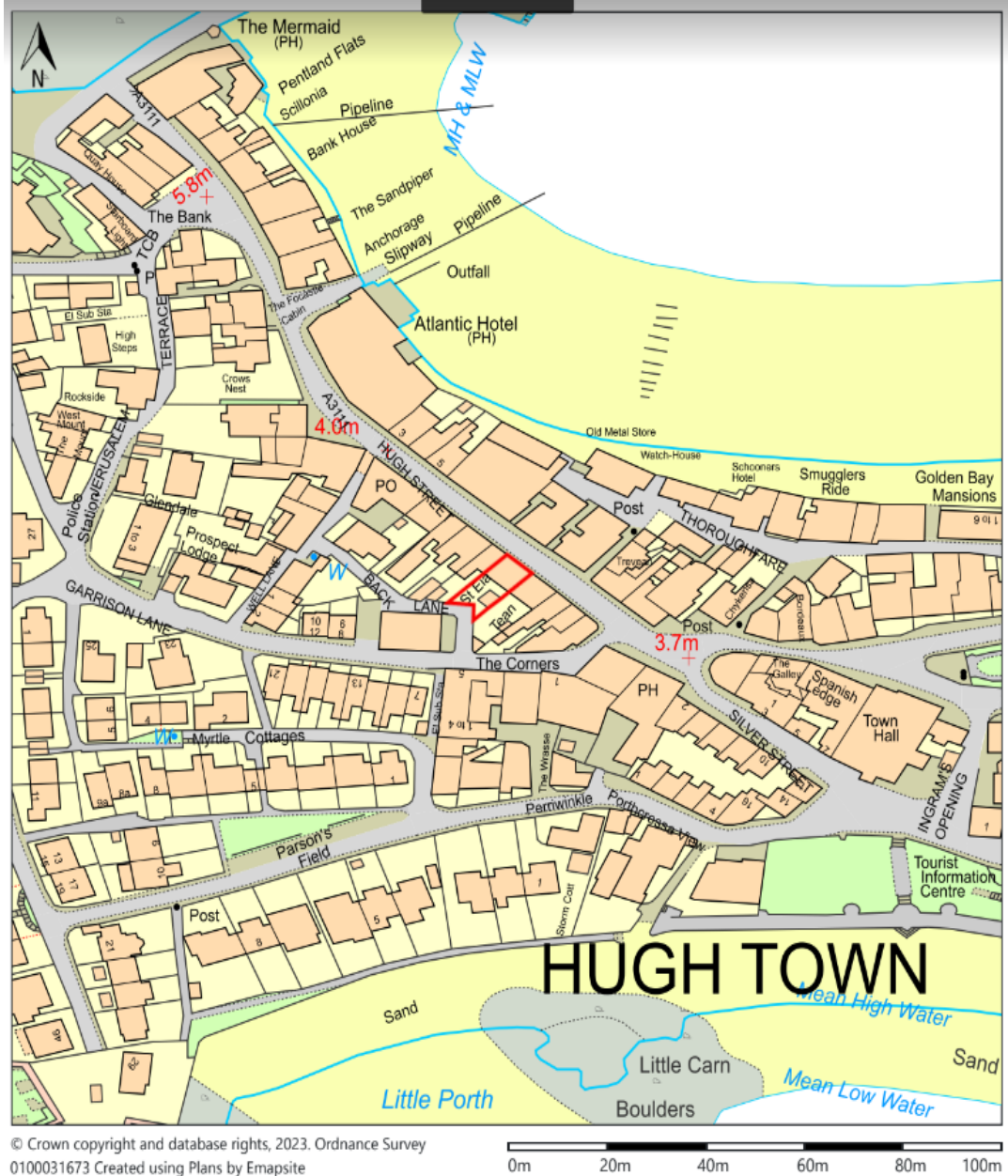


Fig. 3: The location of St Eia, along Hugh Street (Approximate scale: 1: 2000).

The Scope of the Heritage Statement

1.4 The proposed alterations have potential to impact elements of historic fabric within the house, and to affect its external appearance and historic character. The local planning authority has requested that a heritage assessment would be required to support applications for these

proposed changes, and to determine whether these would result in harm to significance. Such proposed external alterations may also have implications for the setting of neighbouring heritage assets, and for the appearance and special interest of surrounding parts of the Conservation Area.

- 1.5 In considering applications for development which results in impacts to listed buildings, the statutory duty, under Sections 16 (2) and 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990, is to have special regard to the “desirability of preserving the building, or its setting, or any features of special architectural or historic interest which it possesses”. It will also be necessary to articulate the significance of this heritage asset and to assess the impact of the proposed works upon that significance, in accordance with Paragraph 194 of the National Planning Policy Framework:

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

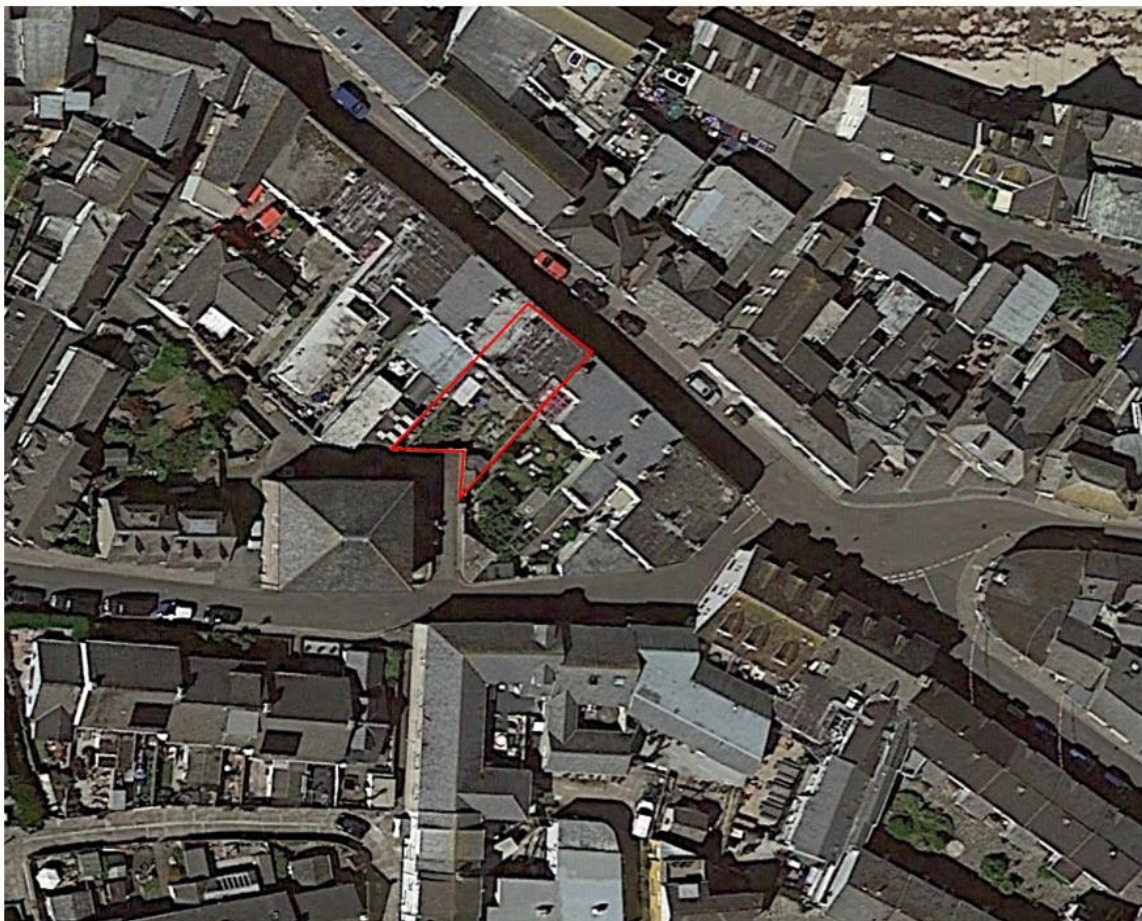


Fig. 4: Aerial image of 2005, of St Eia within its built context (Geoinformation Systems).

- 1.6 It will also be necessary to articulate the significance of this heritage asset and to assess the impact of the proposed works upon that significance, in accordance with Paragraph 195 of the National Planning Policy Framework:

Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

- 1.7 In order to assess the potential effects of the proposed internal and external alterations on the significance of St Eia, and on any associated heritage settings, it has be necessary to:

- provide a description of the form, date and architectural interest of the building;
- provide a detailed articulation of significance of St Eia, and the associated 1926 terrace, and of those aspects of architectural interest and historic fabric which most contribute to significance;
- to assess the effects of the proposed alterations on the significance of surrounding heritage assets, through changes to their appearance or setting;
- to assess the effect of the proposed alterations on the significance of St Eia, and any resulting levels of harm.

- 1.8 In consultation advice of September 12th, 2023, the Cornwall Archaeological Unit has stated that it is considered unlikely that the proposed alterations would disturb significant fabric, or diminish the building's historic significance. In addition, the creation of the rear garage would entail negligible ground disturbance in an area of low archaeological potential. They have therefore advised that no archaeological or historic building recording would be required, and that no archaeological condition would be sought.

2. PLANNING POLICY CONTEXT AND GUIDANCE

2.1 This Heritage Statement has been compiled in accordance with the following statutory, planning policy and guidance documents:

- National Heritage Act 1983 (amended 2002);
- Planning (Listed Buildings and Conservation Areas) Act 1990;
- National Planning Policy Framework 2012 (amended 2021);
- National Planning Practice Guidance: Conserving and Enhancing the Historic Environment (2016 revised 2021);
- English Heritage guidance: 'Conservation Principles; policies and guidance for the sustainable management of the historic environment' (2008);
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 2; Managing significance in decision-taking in the historic environment' (2015a); and
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 3: The Setting of Heritage Assets' (2015b).

Planning (Listed Buildings and Conservation Areas) Act (1990)

2.2 The 1990 Planning Act states that:

'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall, or as the case may be, the Secretary of State, shall have special regard to the desirability of preserving the building or its setting, or any features of special architectural or historic interest that it possesses (Section 66).'

National Planning Policy Framework (2012, rev. 2021)

2.3 The Framework sets out national planning policy relating to the conservation and enhancement of the historic environment. It defines the historic environment as: "all aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past activity, whether visible, buried or submerged, and landscape and planted or managed flora." Individual components of the historic environment are considered to constitute heritage assets: "buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions, because of their heritage interest".

2.4 Key tenets of the Framework are that:

- when considering the impact of a proposed development on the significance of a heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater that weight should be (Paragraph 199).
- heritage significance can be harmed or lost through alteration or destruction of the heritage asset, or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to, or loss of, a Grade II-listed building, park or garden should be exceptional. Substantial harm to, or loss of, designated assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, Grade I or II*-listed buildings, registered parks and gardens and World Heritage Sites should be wholly exceptional (Paragraph 200).
- where a proposed development will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal (Paragraph 202).
- With regard to non-designated heritage assets, a balanced judgement will be required having due regard to the scale of any harm or loss, and to the significance of the heritage asset affected (Paragraph 203).
- Local planning authorities should look for opportunities for new development within Conservation Areas [and World Heritage Sites], and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably (Paragraph 206)

2.5 Local Planning Authorities are urged to request applicants to describe the significance of any heritage assets affected by a proposed development, including any contribution made to significance by their setting. The level of detail required in the assessment should be “proportional to the assets’ importance, and no more than is sufficient to understand the potential impact of the proposal on their significance”.

Local Planning Policy

The Isles of Scilly Local Plan 2015-2030

2.6 Provisions for the protection and conservation of the historic environment are contained within Policy OE7 of the Isles of Scilly Local Plan 2015-2030. Relevant aspects of Policy OE7 are as follows:

Policy OE7: Historic Environment

2.7 1) Great weight will be given to the conservation of the islands' irreplaceable heritage assets. Where development is proposed that would lead to substantial harm to assets of the highest significance, including undesignated archaeology of national importance, this will only be justified in wholly exceptional circumstances, and substantial harm to all other nationally-designated assets will only be justified in exceptional circumstances. Any harm to the significance of a designated or non-designated heritage asset must be justified.

2.8 2) Proposals causing harm will be weighed against the substantial public, not private, benefits of the proposal, and whether it has been demonstrated that all reasonable efforts have been made to sustain the existing use, find new uses, or mitigate the extent of the harm to the significance of the asset; and whether the works proposed are the minimum required to secure the long-term use of the asset.

2.9 Development affecting Heritage

3) In those exceptional circumstances where harm to any heritage asset can be fully justified, and development would result in the partial or total loss of the asset and/or its setting, the applicant will be required to secure a programme of recording and analysis of that asset, and archaeological excavation where relevant, and ensure the publication of that record to an appropriate standard in a public archive.

4) Proposals that will help to secure a sustainable future for the islands' heritage assets, especially those identified as being at greatest risk of loss or decay, will be supported.

2.10 Conservation Areas

5) Development within the Isles of Scilly Conservation Area will be permitted where:

- a) it preserves or enhances the character or appearance of the area and its setting;
- b) the design and location of the proposal has taken account of:

- i. the development characteristics and context of the area, in terms of important buildings, spaces, landscapes, walls, trees and views within, into or out of the area; and
- ii. the form, scale, size and massing of nearby buildings, together with materials of construction.

2.11 Development affecting Listed Buildings

6) Development affecting Listed Buildings, including alterations or changes of use, will be supported where:

- a) it protects the significance of the heritage asset and its setting, including impacts on the character, architectural merit or historic interest of the building; and
- b) materials, layout, architectural features, scale and design respond to and do not detract from the Listed Building; and
- c) a viable use is proposed that is compatible with the conservation of the fabric of the building and its setting.

The Isles of Scilly Character Area Statement and Supplementary Planning Document

2.12 This document provides descriptions of heritage assets and character areas within St Mary's, together with a brief set of management prescriptions and actions (Isles of Scilly Council 2015).

The Isles of Scilly Design Guide 2006

2.13 This document provides guidance of new developments and alterations, and includes the following relevant points:

Traditional Materials

- Granite is traditionally the main building material for all types of buildings on the Isles of Scilly. The local brown granite from which the islands are formed, is more granular and less durable than on the mainland.
- Timber, which had been washed ashore from wrecks, has been used in buildings when available. Modern infill on the islands has developed a vernacular of rough sawn vertical batten (flat wooden strips) and board timber extensions.
- The traditional roofing material on the islands was thatch from reeds. Thatched roofs have all disappeared from the Isles of Scilly. Slates imported from the mainland became popular in the 19th and 20th Centuries, particularly Delabole 'smalls' and

‘peggies’. Slate roofs are frequently scantled (small slates cut roughly, at random widths usually diminishing from bottom to top of the roof slopes, often bedded on mortar and trimmed all the way round).

3. METHODOLOGY

3.1 The Historic England *Planning Note No 3* (Historic England 2015b) provides key stages of consideration in regard to assessing the impact of a proposal on the setting of a heritage asset as follows:

- Identify the degree to which setting makes a contribution to the significance or the heritage asset or allows its significance to be appreciated;
- Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
- Explore ways to maximise enhancement and avoid or minimise harm; and
- Make and document the decision.

General

3.2 The methodology employed by this assessment is in accordance with key professional guidance, including the *Standard and Guidance for Historic Environment Desk-Based Assessment* (Chartered Institute for Archaeologists 2014), the Historic England guidance *Conservation Principles* (2008) and Historic Environment Good Practice Advice in Planning Note 2: *Managing Significance in Decision-Taking in the Historic Environment* (Historic England 2015). Impacts to heritage settings were assessed using the methodology detailed within the current Historic England guidance *Historic Environment Good Practice Advice in Planning Note 3: the setting of heritage assets* (2015).

Sources of data

3.3 This Heritage Statement has involved detailed consultation of readily-available historical information drawn from documentary and cartographic sources. The major repositories of information consulted have comprised:

- National Heritage List for England (EH);
- Published and unpublished documentary sources;
- Published and thematic studies relating the Isles of Scilly and Hugh Town;
- Local Authority Supplementary Planning Documents, including Conservation Area Appraisals and Design Guides;
- Historic maps and photographs;

- English Heritage Archives (EHA) and AMIE (Archives and Monuments Information, England) data;
- Online sources, including Local Plan policies and information.

3.4 A bibliography of documentary, archive and cartographic sources consulted is included in the References section of this report.

Setting

3.5 Paragraph 013 of the PPG notes that all heritage assets have a setting, irrespective of the form in which they survive, and whether they are designated or not. The setting of a heritage asset and the curtilage of an asset may not have the same extent.

3.6 The extent and importance of setting is often expressed by reference to the visual relationship between the asset and the proposed development, and associated visual/physical considerations. Although views of, or from, an asset will play an important part in the assessment of setting impact, the way in which an asset is experienced in its setting is also influenced by other environmental factors, such as noise, dust, smell and vibration, and by our understanding of the historic relationship between places. For example, buildings that are in close proximity, but are not visible from each other, may have a historic or aesthetic connection that amplifies the experience of the significance of each (PPG, paragraph 013).

The Significance of Heritage Assets

3.7 Heritage assets are defined by the National Planning Policy Framework (henceforth, 'the Framework'; revision of 2021) as 'a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions because of its heritage interest'. The term Heritage Asset includes both designated heritage assets and assets identified by the local planning authority as possessing heritage significance (including locally-listed structures). Designated heritage assets include: World Heritage Sites; Scheduled Monuments; Listed Buildings; Protected Wreck Sites; Registered Parks and Gardens; Registered Battlefields; and Conservation Areas. Non-designated heritage assets include sites held on the Historic Environment Record, in addition to other elements of the landscape understood to have a degree of significance meriting consideration in planning decisions.

- 3.8 The assessment of the heritage value (significance) of a site determines the ways in which particular aspects of a place and different periods in its evolution contribute to, or detract from, those identified heritage values associated with the asset.
- 3.9 Heritage significance is defined in Planning Practice Guidance (Annexe 2, 2021) as ‘the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical fabric, but also from its setting’
- 3.10 Current national guidance for assessing the significance of heritage assets is based on the criteria provided by Historic England (formerly English Heritage) in *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment* (English Heritage 2008). Within this document, significance is weighed by the estimated potential for the asset to demonstrate the following criteria:
- Evidential value derives from ‘the potential of a place to yield evidence about past human activity’ (ibid, 28). It is primarily embodied by physical remains or historic fabric, but also includes buried archaeology;
 - Historical value derives from ‘the ways in which past people, events and aspects of life can be connected through a place to the present’ (ibid, 28). Illustrative historical values depend on visibility in a way that evidential value does not; and ‘have the power to aid interpretation of the past [...] through shared experience of a place’ (ibid, 29). Associative historical values relate to historical connections with a notable family, person, event or movement;
 - Aesthetic values derive from ‘the ways in which people draw sensory and intellectual stimulation from a place’ (ibid, 30). Aesthetic value might be generated through conscious design and artistic endeavour, fortuitous and organic change, and the relationship of structures and materials to their setting;
 - Communal value is tied to historical (associative) value and aesthetic value, deriving from ‘the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory’ (ibid, 31);
 - Communal values may be commemorative, symbolic or social. The latter is typically ‘associated with places that people perceive as a source of identity, distinctiveness,

social interaction and coherence,' and might only be articulated when the resource is under threat (ibid, 32).

- 3.11 Further information on good practice in implementing historic environment policy in the NPPF is provided within the guidance Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (Historic England 2015a). This document provides advice on the assessment of the significance of heritage assets in support of applications for planning permission, and emphasises that the information required regarding heritage significance should be no more than would be necessary to inform the planning decision.

Assessing levels of Impact

- 3.12 Impact assessment addresses predicted changes in the existing condition of the environment, as a result of a proposed development. The significance of an impact is generally determined as the combination of the 'sensitivity and/or value' of the affected receptor, and the predicted magnitude of change. In this case, heritage receptors comprise a group of Grade II-listed buildings, which may be considered both as individual structures and as a coherent group of related assets. These are considered to represent receptors of medium to high sensitivity and/or value.

Magnitude of Impact

- 3.13 The determination of the magnitude of change is based on the current level of survival, or condition, of the receptor. The variable factors which determine the magnitude of change include the vulnerability or sensitivity of the site or feature to change. The criteria commonly used to determine the magnitude of impact are as described in the following table:

Magnitude of Impact	Description
Major	The proposed development would cause a large change to existing environmental conditions. Complete destruction of the site or feature. Change resulting in a fundamental change to the ability to understand or appreciate the asset and its context and setting.

Moderate	The proposed development would cause noticeable change to existing environmental conditions. Change resulting in appreciable change to the ability to understand or appreciate the asset and its context and setting.
Minor	The proposed development would cause small change to existing environmental conditions. Change resulting in small change to the ability to understand or appreciate the asset and its context and setting.
Negligible	The proposed development would result in no discernible change to existing environmental conditions. Negligible change or no material change to the site or feature. No change to the ability to understand or appreciate the asset and its context and setting.

Table 1: Criteria used to determine the level of impact.

Significance of Impact

3.14 The significance of impact and environmental effect is determined by two variables:

- The importance or significance of the receptor; and
- The magnitude of change affecting the receptor.

Environmental effects may be either adverse or beneficial, depending on the nature of the impact.

Receptor sensitivity/value	Magnitude of Impact			
	Major	Moderate	Minor	Negligible
Very high	Substantial	Substantial	Moderate	Slight
High	Substantial	Moderate	Slight	Negligible
Medium	Moderate	Slight	Negligible	Negligible
Low	Slight	Negligible	Negligible	Negligible

Table 2: Criteria used to determine the significance of impact.

Sectoral Guidance

3.15 This Statement has been compiled in accordance with the following statutory, planning policy and guidance documents:

- National Heritage Act 1983 (amended 2002);
- Planning (Listed Buildings and Conservation Areas) Act 1990;
- National Planning Policy Framework 2012 (revised 2021);

- National Planning Practice Guidance: Conserving and Enhancing the Historic Environment 2016 (revised 2021);
- English Heritage guidance: 'Conservation Principles; policies and guidance for the sustainable management of the historic environment' (2008);
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 2; Managing significance in decision-taking in the historic environment' (2015a); and
- Historic England guidance: 'Historic Environment good practice advice in planning: Note 3: The Setting of Heritage Assets' (2015b).

4. ST EIA: ITS FORM, HISTORY AND SIGNIFICANCE

A Description of St Eia

- 4.1 St Eia, No. 5 Hugh Street, St Marys, was added, along with the surrounding terrace of eight houses, to the National List in December, 1992 (NHLE 1328825), in view of its historic and architectural interest. The listing description is given as follows:

Terrace of 8 houses including shop. c 1926 by Richardson and Gill for the Duchy of Cornwall. Coursed and dressed granite; flat concrete roof behind parapet. Double-depth plan, with single and double-fronted houses all originally provided with kitchen, parlour and scullery. Neo-Georgian style. 2 storeys; 24-window range to Hugh Street and 2-window return to Mumfords facing Garrison Lane. Each house has granite lintels and cills to one ground-floor tripartite sash with margin lights and banded 6/6-pane first-floor sashes. Keyed segmental arches over 6-panelled doors with fanlights. Mumfords has tripartite shop front on canted angle: articulated by 2 Doric half-columns to central half-glazed door with flanking sidelights and terminal Doric pilasters framing two 24-pane fixed shop windows; 6/6-pane sashes on canted corner above and to return. Whole terrace set on raised plinth with pilaster divisions between each house, plat band, cornice, parapet with coping and recessed stacks. Flat roofs chosen to resist Scilly windstorms. Included as a fine example of Richardson and Gill's work for the Duchy of Cornwall estate on Scilly. Interiors not inspected.



Fig. 5: View, looking south-east, of Nos. 1-8 Hugh Street, with front elevations (Historic England).

- 4.2 St Eia, No. 5 Hugh Street, comprises part of a granite-faced terrace of two-storey houses (Nos. 1-8), of 1926, and designed by Richardson and Gill for the Duchy of Cornwall Estate (Figs. 1

and 5). The houses have flat, concrete roofs, set behind a low parapet. No. 5 is of double-depth plan, and double-fronted, with a central, keyed segmental arch above a six-panelled part-glazed front doorway. There are two recessed, three-light sashes at the ground floor, with granite sills and lintels, and two identical paired sashes at the first floor (Figs. 1, 5 and 10). The terrace displays great unity of design, and is set on a raised plinth, with divisions between individual houses marked by shallow pilasters. Each house has an identical sill band at first-floor level, with a granite coping to parapets and recessed stacks.



Fig. 6: View, looking north-east, of the existing rear elevation of St Eia.

- 4.3 The rear elevation of the house is of similar design, but with rendered granite blockwork (Figs. 6 and 10). There is a three-light casement and two, single-light casements to the ground floor, comparable with the first-floor window openings of the front elevation. A deep return on the eastern side of this elevation contains a single-storey porch and boot room, with a monopitch glazed roof and a half-height supporting wall on the south-eastern, external side. A single-depth return on this elevation has a small two-pane sash window at first-floor level.
- 4.4 The end property of the terrace, Mumfords, is situated on a street corner, and its street frontage includes a tripartite shop front set at a canted angle (Fig. 7). Two Doric pilasters frame two 24-pane shop windows, with a timber-framed central doorway and a six-over-six sash at first-floor level, directly above.



Fig. 7: View, looking north-west, of Mumfords, at the south-eastern end of the terrace (Historic England).

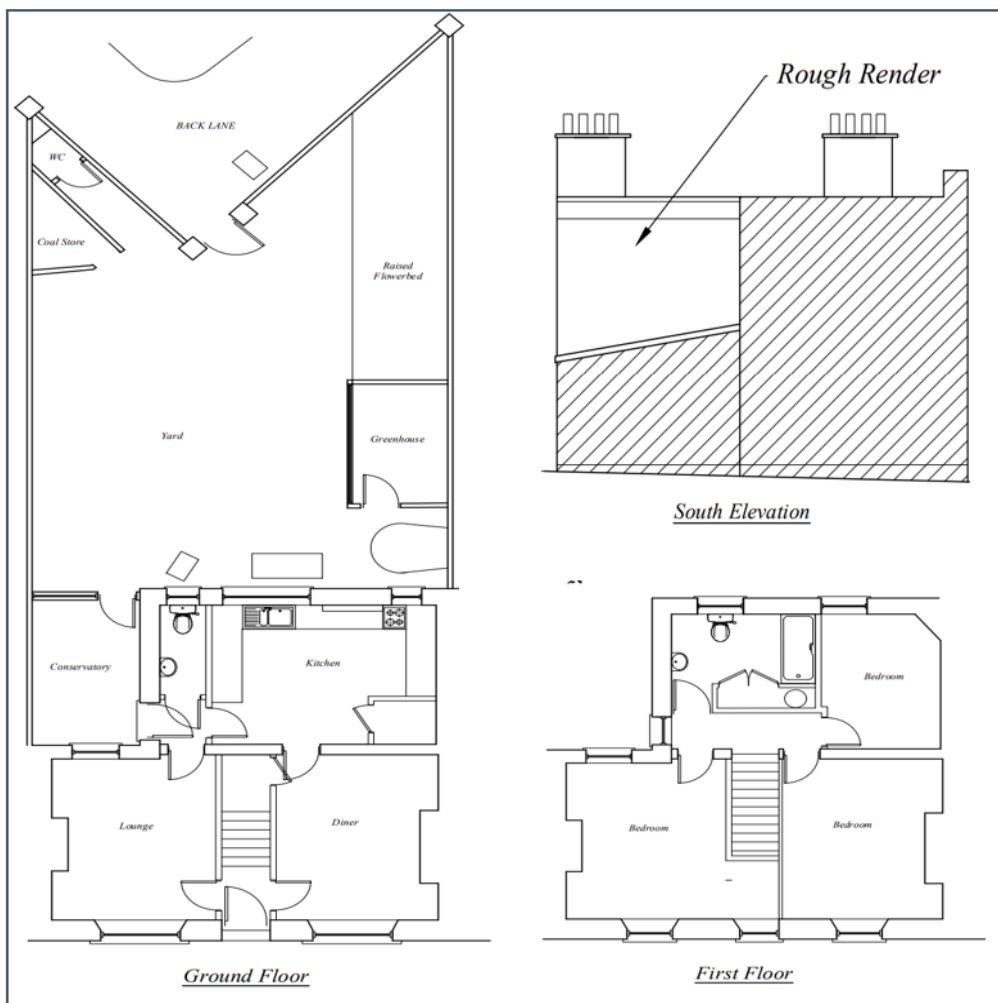


Fig. 8: Existing ground and first-floor plans of St Eia, with south elevation (Paul Osborne).

4.5 The house has a simple, double-depth plan, with a central ground-floor hallway and stairs, with front lounge and dining room opening off on either side (Fig. 8). The rear of the ground floor originally comprised a kitchen and pantry, although the original plan-form on this side has been altered by the addition of the glazed porch and boot room within the return on the eastern side of the ground floor. The first floor comprises three small bedrooms opening off a small landing, one of which has been subdivided at a later date, to provide a small bathroom. The internal detail and appointments of the house are plain with remarkably little historical detail, and therefore retain little heritage interest (Fig. 9, A-F). There have been a number of more recent fixtures and additions, although the basic plan-form of the house has survived.



Fig. 9 A-F: Internal ground and first-floor spaces and fabric within St Eia.

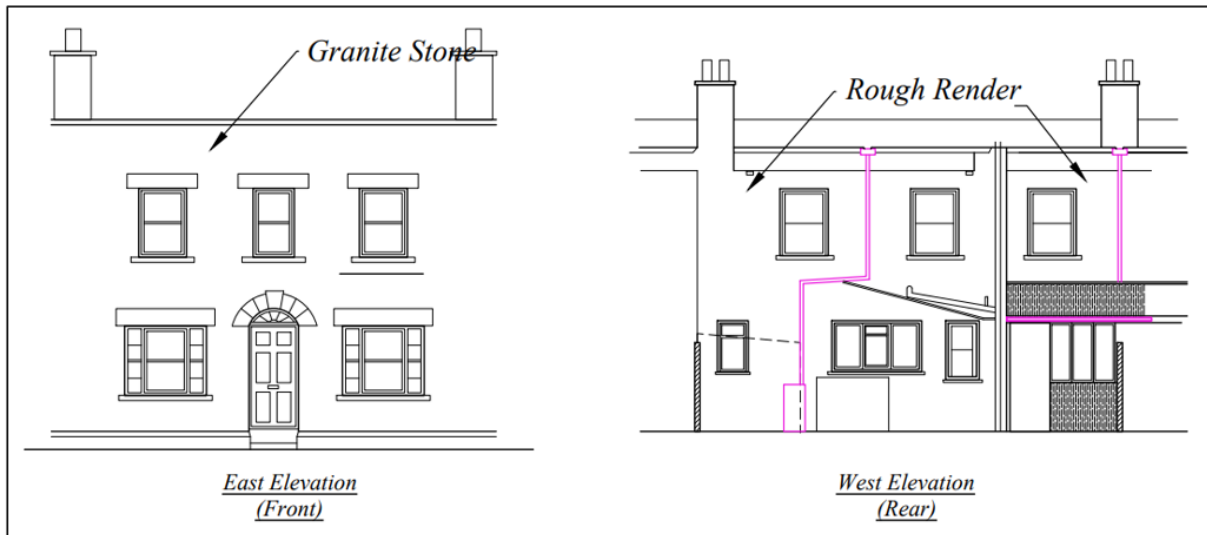


Fig. 10: Architect's drawings of the existing front and rear elevations of St Eia (Paul Osborne).

Historical Development

4.6 The terrace of 1-8 Hugh Street was, and remains, a striking modernist addition within a townscape which is of predominantly of eighteenth and early nineteenth-century character (Fig. 5). Historic Ordnance Survey mapping of 1908 depicts the street-plan before the construction of the terrace, with individual building plans and plots closely approximating to those of the 1926 scheme (Fig. 11). The layout of the demolished houses along this part of the street, some with elongated rear extensions and ancillary rear structures, suggests buildings of eighteenth-century date, some of which were presumably in a dilapidated condition before demolition.

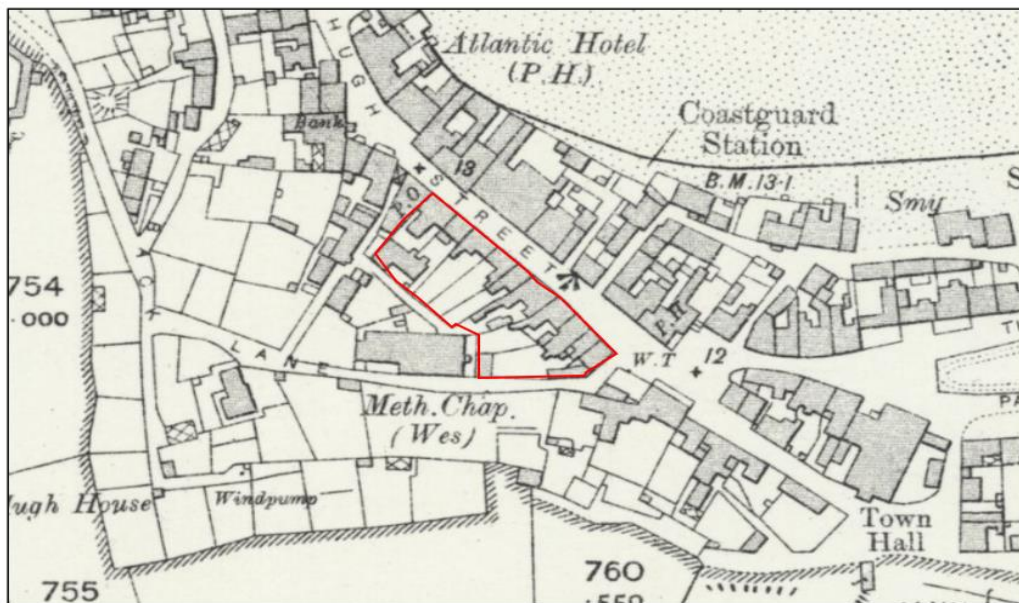


Fig. 11: Extract from Ordnance Survey England and Wales 25-inch series 1842-1952, published 1908 (National Library of Scotland).

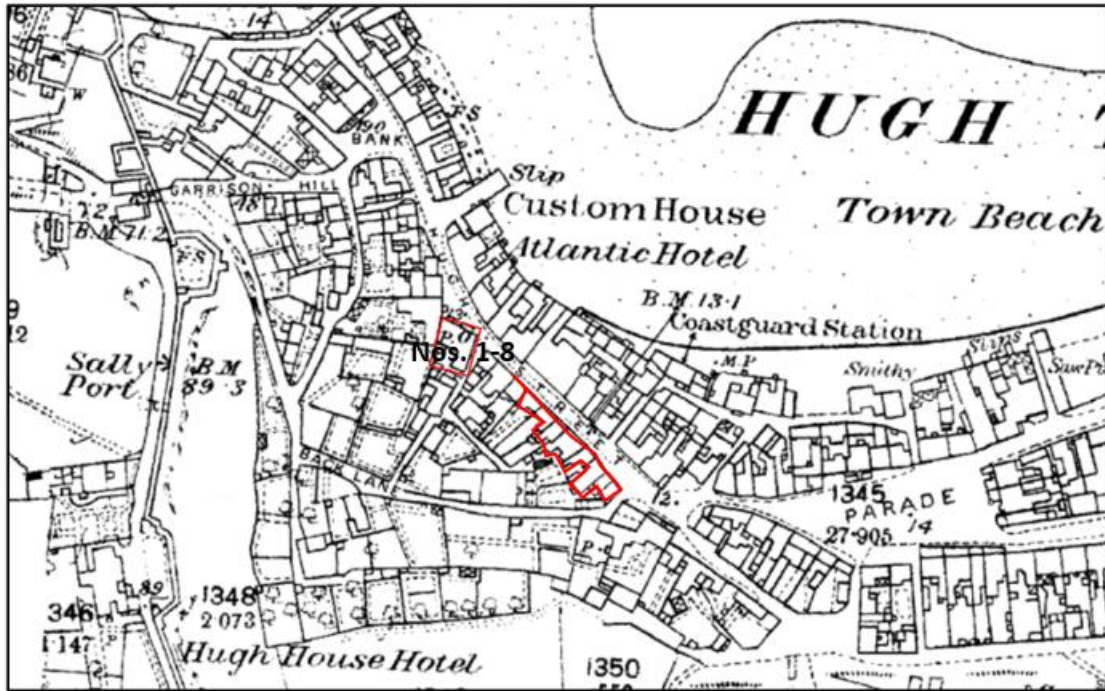


Fig. 12: Extract from Ordnance Survey 25-inch England and Wales series 1842-1952, published 1931 (Cornwall County Council).

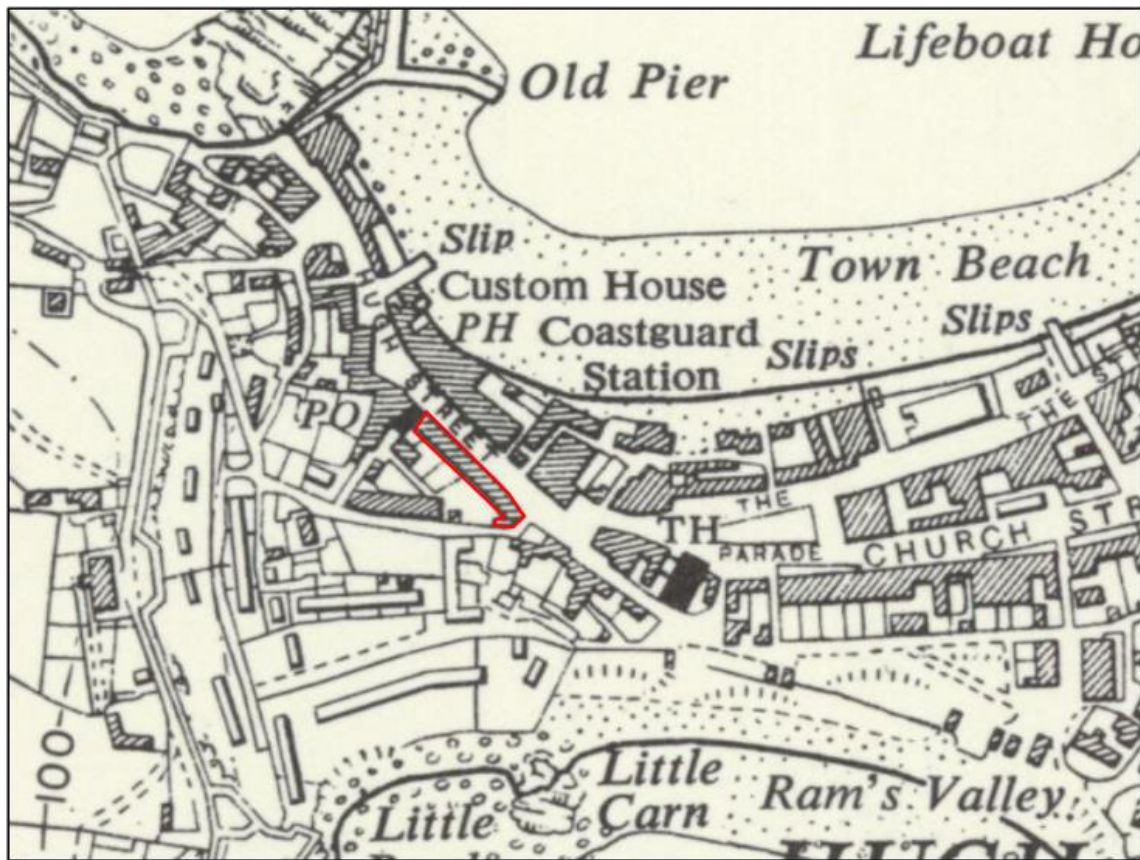


Fig. 13: Extract from the Ordnance Survey 1:10,000 series, published in 1960 (National Library of Scotland).

- 4.7 The layout of the terrace evidently involved some difficulties in accommodating the new dwellings and their rear plots within the existing street plan (Figs. 12 and 13). The rear wall of St Eia has a distinct V-shaped plan, due to the close proximity of the earlier Wesleyan Chapel, immediately to the south. The location of the dwelling at the southern, street-corner end of the terrace, 'Mumfords', has necessitated a departure from the remarkably uniform design of the other dwellings (Fig. 7).

The Significance of St Eia

- 4.8 The principal significance of St Eia resides in its historic fabric and built form, as a component dwelling within a planned terrace of eight houses of early twentieth-century date, which is integral to the later development of Hugh Town as a settlement. The significance of St Eia as a heritage asset is articulated using the complementary group of heritage assets described in the English Heritage (Historic England) guidance *Conservation Principles* (2008).

Historical Illustrative Heritage Values

- 4.9 St Eia is associated with historical illustrative heritage values of high importance, which relate to the construction of the terrace of traditional coursed granite block and lintels, which is representative of traditional island methods of construction and use of local materials. Significance attaches principally to the terrace as a whole, rather than to individual components, and most particularly to the architectural interest of its front, north elevation. It is also an important example of the historical role of the Duchy of Cornwall as a local landowner, and of the provision of accommodation for estate workers. The eight houses are also illustrative of the twentieth-century development of Hugh Town as a settlement, and of the survival of the historical street pattern.

Design Aesthetic Heritage Values

- 4.10 Although of an austere, modernist design, St Eia and its neighbouring houses are of pleasing and harmonious appearance, embodying simple but effective decorative features which enable the plain, coursed granite facades to be discretely enlivened. Considered to be one of series of fine designs by Richardson and Gill for the Duchy of Cornwall, the terrace adds architectural distinction to this streetscape, but in a manner which closely reflects local built character (Figs. 1, 5 and 14). The terrace comprises an important element within south-eastward views along Hugh Street, and this contribution to surrounding townscape also contributes to the

significance of the Grade II-listed terrace. Such design aesthetic values relate principally to the imposing scheme of the front elevation of the terrace (Figs. 5 and 7), and to a considerably more limited extent to the less coherent and architecturally less imposing rear. The interior spaces of St Eia are plain and lacking in detail and historic interest, and also make a limited contribution to the overall significance of the house (Fig. 9A-F). On this basis, St Eia, and its adjoining houses collectively comprise a heritage asset of high significance, as evidenced by their collective designation.



Fig. 14: A Postcard of c. 1930, looking south-east along Hugh Street, with the northern end of the terrace of Nos. 1-8 Hugh Street visible in the centre of the picture.

5. THE PROPOSED ALTERATIONS TO ST EIA, AND THEIR IMPACT

5.1 A number of internal and external alterations are proposed for the property, including:

- The addition of a new garage to the rear garden wall, with a new access gate;
- Creation of a new conservatory to the rear of the house;
- Provision of new conservatory access via existing double windows in the kitchen;
- Converting the existing rear porch/ boot room into a utility and shower room;
- Installing a new kitchen layout with the removal of a wall between kitchen and diner;
- Installation of a new bathroom lay-out, with new door positions;
- Completely re-wiring the property, entailing the removal of most of the ceilings - these are of Gyproc wall-board, of recent date;
- All existing doors and skirtings would be retained where walls are not affected;
- The rear external walls to be painted white;
- All existing windows to be retained, although some frames will be refurbished as they are in poor condition;
- The new kitchen-diner and conservatory floors to be laid with slate floor-tiles; and
- Existing floor boards in the first-floor front bedrooms, stairs and lounge to be exposed and varnished.

The addition of new garage to the rear garden wall.

5.2 The new garage would be constructed to the rear of the property, within the western internal angle of the canted stone boundary wall, which is assumed to be contemporary with the house (Figs. 15, 16, 20 and 24). Construction of the garage would entail new walling on the north-eastern and south-eastern sides of this space, with the necessary relocation, to a new position slightly to the right, of the existing rear access gate (Fig. 16). The garage would feature double wooden doors, of an appropriately simple design, to be set within the existing boundary wall. This would entail some loss of existing fabric, but would not result in substantial change to the overall appearance of the property within inward views from the south. Construction of the garage and refurbishment of the rear garden space would entail the removal of an existing small greenhouse and a coal-store (Figs. 8, 15 and 24). Both features are of modern date and of no significance, and their removal would enhance the general visual aspect of the property on this side. The proposed garage would have a flat GRP roof, and the reconfigured rear

pedestrian access to the property would be set between raised stone piers with plain copings, to match the surrounding wall-tops (Fig. 16). Internally, the rear wall of the garage would be rendered, and a rear doorway entrance to the garage would be fitted with flood-boards, as would the main garage doors and rear access door in the south wall.



Fig. 15 A and B: The existing greenhouse (left) and coal-store (right) to the rear of the property.

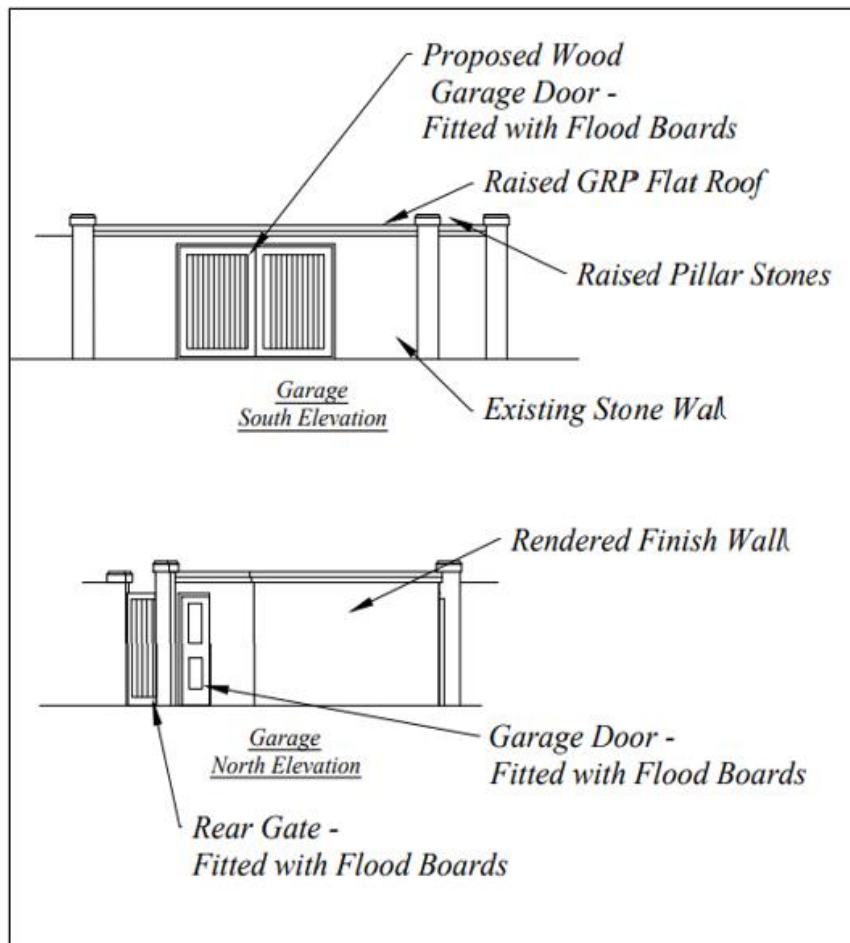


Fig. 16: Proposed changes to the rear boundary wall associated with the construction of the new garage (Paul Osborne).

The new Conservatory

5.3 It is proposed to construct a new conservatory at the rear of the house, measuring 4.8m by 3m in ground-plan (Figs. 17 and 20). This additional structure would require double-door access from the kitchen, and would incorporate glazed double-doors on the south side, to provide access to the rear garden. The conservatory would be of gabled form, and supported by a low, timber-framed wall with a rendered external finish. Timber-framed construction above this would feature half-height, top-opening glazed panels at the sides, with Upvc panels on the roof. Construction of the conservatory would entail few impacts to standing fabric on this side of the house, and would have a limited effect on the appearance of the rear elevation, which in its current condition is of limited visual amenity and makes comparatively little contribution to the overall appearance and significance of the building (Fig. 6).

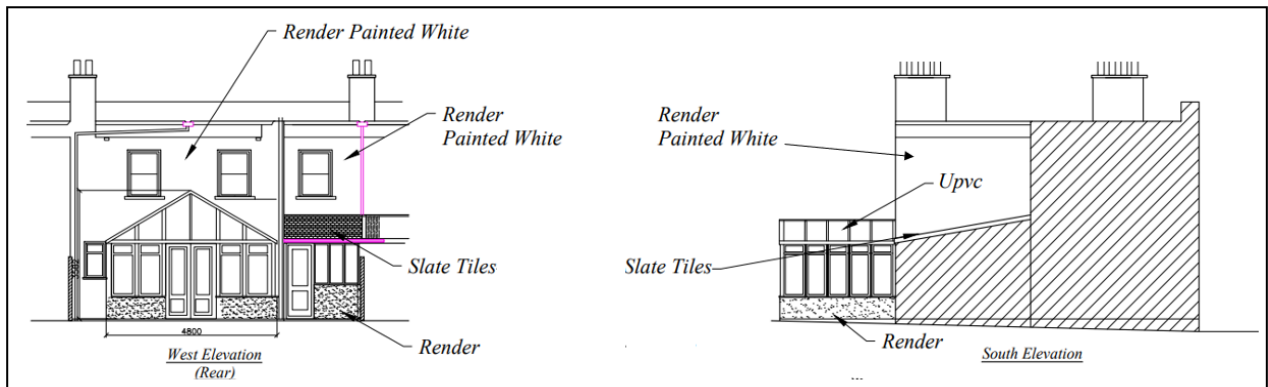


Fig. 17: Architect's drawings of the proposed rear and south elevations of St Eia (Paul Osborne).

The conversion of the rear porch/ boot room

5.4 The existing rear porch and boot room occupies a limited space immediately to the south-east of the kitchen, and is located within a part-glazed, single-storey structure within the deep return on this side of the house (Figs. 6, 8, 10 and 18). This is proposed to be converted to a more substantial utility and shower room, which would basically reproduce the monopitch form, scale and plan of the existing, but would feature a half-height supporting wall of timber-framed and render-finished construction at the rear elevation of the house, with a slate-tiled roof (Figs.17 and 20). The rear doorway would be retained, as would doorway access from the kitchen, albeit in a slightly different location (Figs. 17 and 22). Construction of the new utility and shower room would require a WC which is currently located on the south-eastern side of the kitchen to be relocated to the northern side of the utility room, thus enabling the eastern wall of the kitchen to move further in this direction (Figs. 20 and 22).



Fig. 18 A and B: The existing rear porch.

5.5 Construction of the new utility room would have little impact on standing fabric, and would replace the existing rear porch/boot room which is in poor repair and does not contribute positively to the historic character or significance of the house (Figs. 6 and 18). This feature is not part of the original plan-form, and is of limited significance. The altered relationship between the kitchen and the new utility room would entail little change to the historic plan-form of the house, although an existing doorway opening would be blocked and new doorway opening created within the eastern wall of the kitchen, which would represent a limited impact to standing fabric (Fig. 20). In addition, a window opening within the intervening wall between the rear porch/boot room and the front lounge would also be blocked (Fig. 20).



Fig. 19: The south-east wall of the existing kitchen, with doorway to the conservatory.

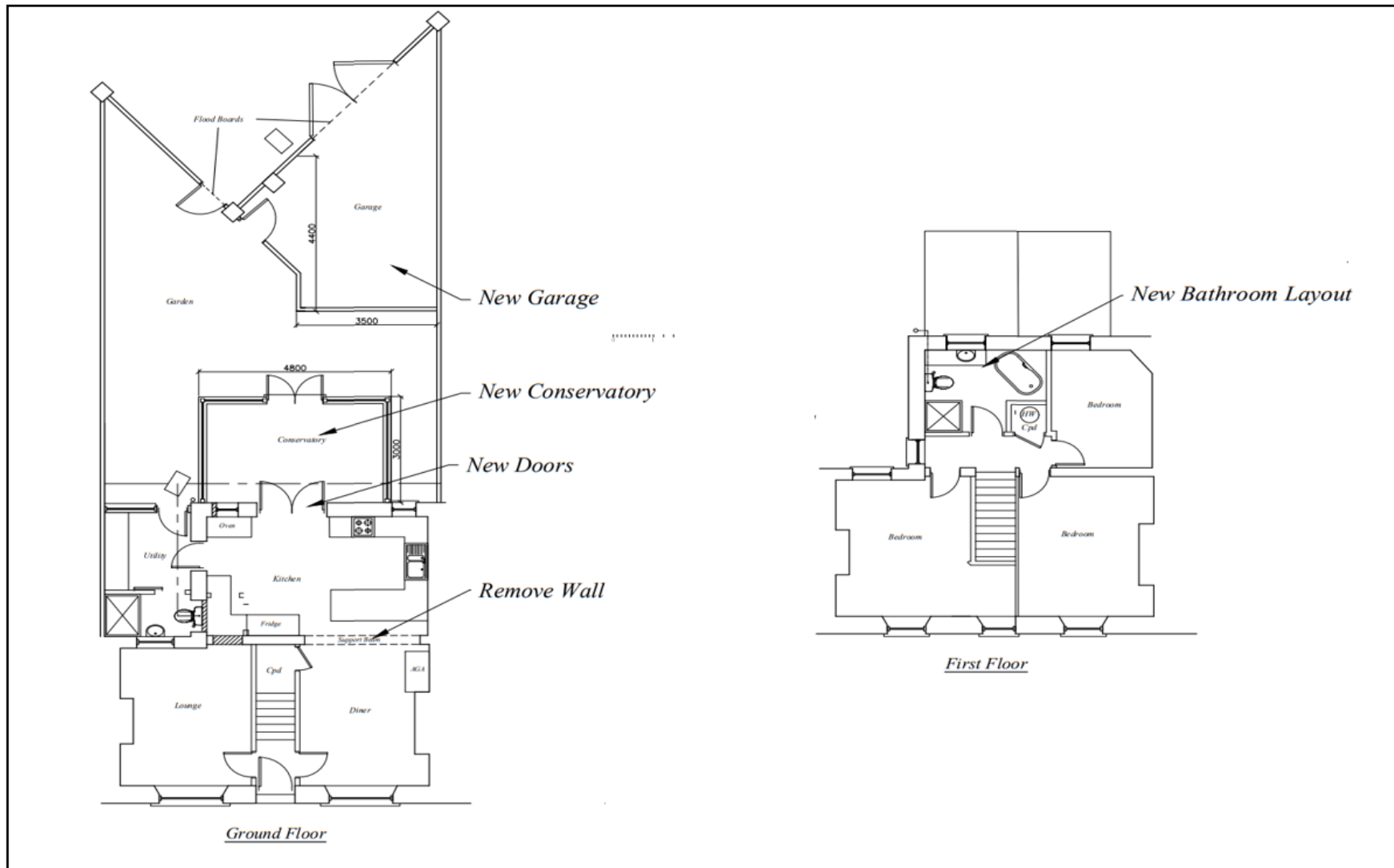


Fig. 20: Proposed ground-floor and first-floor plans of St Eia (Paul Osborne).

- 5.6 The existing kitchen units (Fig. 19) proposed for replacement are not original, and are thought to date from the 1960s. They are therefore of minimal heritage interest. It is probable that in its original form of 1926, the house did not have a specialised or fitted out kitchen space. The work-top shown in Figure 19 is known to date from only 1975.

Provision of rear access to the proposed new conservatory

- 5.7 The existing kitchen currently has no direct access to the rear garden of the house, as this is currently provided by the rear door of the porch/boot room, immediately to the right. The provision of double-door access from the kitchen to the proposed conservatory would entail the modification of an existing window opening on this side of the kitchen to create a wide doorway opening and enable the installation of the double doors (Figs, 20 and 21) . Impact to standing fabric would be limited by the use of an existing window opening, although some loss of fabric and change to the historic plan-form of the house would occur. Change to the rear elevation of the house would be limited, and would be partly concealed by the proposed conservatory itself. This proposed alteration would have a limited effect on the appearance of the rear elevation, which in its current condition is of limited visual amenity and makes comparatively little contribution to the overall appearance and significance of the building (Figs. 6 and 10).



Fig. 21: View, looking south-west through the rear kitchen window proposed to be modified.

The integration of the kitchen and diner

5.8 The kitchen and dining room are currently divided by an intervening wall, with no direct access between them. It is proposed to integrate the two spaces by removing a section of intervening wall of approximately 3m length (Fig. 20). Nibs would be retained on the eastern and western sides to provide a visual reference to this former aspect of plan-form. A steel support beam would be inserted above the removed section. This would represent the most substantial of the proposed changes to the existing plan-form of the house, and would entail some loss of historic fabric. It is understood that a number of comparable consented changes have been undertaken within other component dwellings of Nos.1-8 Hugh Street.



Fig. 22: View, looking south-west, of the existing ground-floor WC to the east of the kitchen.

The installation of a new bathroom layout

5.9 The proposed modernisation of the existing first-floor bathroom would include the installation of a new bath, WC and shower unit, which would require a reconfiguration of facilities within this confined space. An existing doorway access to the bathroom off the first-floor landing would be blocked and a new opening created midway along the northern wall of the bathroom (Fig. 20). This wall appears to be a later addition resulting from the subdivision of a bedroom space, and is not thought to comprise part of the original plan-form of the

house. It is therefore of limited significance. The installation of new bathroom facilities would not result in any additional impacts to historic fabric.

The re-wiring of the property

- 5.10 The re-wiring of the property will be essential to achieve compliance with building regulations and to ensure that electrical installations and appliances are brought up to modern standards. Re-wiring would result in relatively limited impact to interior spaces and fabric, and existing service runs should be reused where possible. (Fig. 9E) Existing ceilings are understood to be Gyproc-lined so that removal of this material should not result in adverse impacts. Re-wiring and associated works to facilitate this should be in accordance with current historic England guidance (Historic England 2018; 2021).

Painting of rear external walls

- 5.11 It is proposed that the rear external walls of the property be painted white, with an approved external masonry paint. This would enhance the appearance of the rear elevation of the property, which currently features unpainted, rough-rendered surfaces of weathered appearance. A white-painted exterior would be consistent with much local built character within the historic core of Hugh Town, and with the rear elevations of a number of adjacent properties within the Grade II-listed terrace (Fig. 23).



Fig. 23: View, looking north-west, of the rear elevations of adjoining houses of the terrace.

The refurbishment of windows

- 5.12 A number of windows are in poor condition, with decayed timber frames. Where necessary, these would be refurbished to preserve their existing historic pattern, so that the external scheme of fenestration is conserved wherever possible. This proposal would result in no adverse impact to the significance of the building, and would be consistent with the principles of long-term conservation.

The laying of slate floor-tiles

- 5.13 It is proposed to lay slate floor-tiles within the new kitchen-diner and the conservatory. The use of slate tiles would not be inconsistent with the historic character of the house, and would not entail impact to existing floor surfaces.

Treatment of existing floorboards

- 5.14 It is proposed to expose and treat existing floorboards within ground-floor and first-floor spaces. This would result in the revealing and conservation of aspects of historic fabric and would entail no adverse impact to their historic character and physical integrity.

Assessing the impacts of the proposed alterations to St Eia

- 5.15 External alterations and additions at the rear of St Eia would include the construction of a garage and the insertion of new doorway openings in the rear boundary wall. The new doorways would result in a limited degree of change to the external appearance of the property within inward views from the south (Fig. 16). Such views would also incorporate well-designed features, including wooden doors, which would be appropriate to the historic character of the house, and which would potentially enhance its wider appearance. The proposed garage would be flat-roofed, and would not result in any appreciable increase in massing within views from the south. Proposed changes to the rear would also entail the removal of an existing greenhouse and coal-store, which currently do not contribute positively to the appearance or significance of the house (Figs. 15 and 24).
- 5.16 The addition of the proposed new glazed conservatory on the rear elevation would partly obscure parts of the original rear face of the house, and result in some change to its external appearance on this side (Figs. 17 and 20). However, the proposed structure would be partly visually permeable and would be of simple, contemporary design. Inward views of the house

from the south would be partly obstructed by the existing intervening rear wall, so that the ground floor of the house would be at least partly screened in such views. The overall impact on the appearance of the house would therefore be very limited. Similarly, the reconstruction of the adjoining porch/boot room into a utility/shower room would have an equally limited effect on the external appearance of the house, and would be largely concealed within inward views.



Fig. 24: View, looking south-west from the rear garden of St Eia, with the existing greenhouse and coal-store, and the Grade II-listed Former Wesleyan Chapel beyond.

5.17 None of the proposed external changes or additions would affect the appearance of the north, street elevation of the house, from which its principal architectural interest and significance derives (Figs. 1 and 5). The proposed changes would affect only parts of the rear elevation and interior of the house, which make a considerably smaller contribution to its overall significance (Figs. 6, 10, 24 and 25). They would have an acceptably minor effect on the setting and historic character of the Grade II-listed former Wesleyan Methodist Chapel (NHLE 1141217), which is located close to the rear boundary wall of St Eia (Figs. 24 and 25). In many respects, the ameliorative nature of many proposed changes might potentially enhance the setting of this building, given the generally poor visual aspect of the rear of the house. Any changes to the rear of St Eia at ground-floor level would have very limited visibility from the Chapel because of the intervening wall.

5.18 In its current condition, St Eia has undergone few recent improvements and requires a number of internal alterations to rationalise room spaces and to meet the needs of modern family living. The modest proposals for internal alterations should therefore be considered within the context of a wider programme of repair and refurbishment, which will restore the fabric and historic character of the property, and secure its sustainable long-term use and significance. Any adverse impacts to internal historic fabric would be at least partly balanced by the heritage benefits arising from these proposals and the overall enhancement of the external appearance and character of the property.



Fig. 25: View looking south-east from the first-floor of St Eia, with the walled rear space and the Grade II-listed Former Wesleyan Chapel beyond.

5.19 The proposed alterations would include very few changes to the external form and character of the house, and would respect its basic plan-form and layout, which would remain intelligible. Such changes would principally affect those areas at the rear of the ground-floor, some of which have been subject to a degree of historical change, and therefore retain

relatively little heritage value. Elsewhere, proposed changes are sensitive, and designed to retain original fittings and fabric wherever possible. Limited interventions, and the removal of fabric, would be required to create new door openings, although these are considered to be essential to enable access and inter-connectivity between reconfigured room-spaces. The overall magnitude of impact associated with the proposed alterations is assessed as Minor, and the corresponding significance of impact as Slight (Tables 1 and 2). The resulting level of harm to the overall significance of St Eia would be within the lower range of less than substantial. However, it is argued that this low level of harm would be effectively balanced by the heritage benefits resulting from the proposed works, which would effectively conserve and enhance the significance of this building.

6. CONCLUSIONS

- 6.1 St Eia, No. 5 Hugh Street, is one of a terrace of eight houses located on the south side of Hugh Street, which was constructed in 1926, to a design by Richardson and Gill. The terrace is collectively listed at Grade II, in view of the architectural interest of its north, front elevation, which comprises a striking two-storey façade in coursed granite block construction, in a neo-Georgian style. The houses have flat concrete roofs, behind parapets, with pilaster divisions between individual properties, and a sill band above. There is a highly regular arrangement of sash windows on both floors, which contribute importantly to the quality of the overall scheme. Houses are double-depth plan, with both double and single-fronted examples within the terrace. St Eia and adjoining houses collectively retain important heritage values which relate to their quality of design and the historical role of the Duchy of Cornwall as a local employer.
- 6.2 The rear elevation of the house is of considerably less interest, with a rendered exterior and more irregular fenestration. A glazed porch/boot room structure with a monopitch roof has been constructed within a deep return on this side of the house. To the rear of the house is a walled garden or yard space containing a greenhouse and coal store, with a rear doorway providing access to the roadway on this side. This rear space is of generally poor visual aspect. The Grade II-listed Former Wesleyan Methodist Chapel is located a short distance to the south. Internally, the house has been subject to a number of alterations, but retains much of its original plan-form. Interior spaces are plain, with few fittings or detail, and retain comparatively little heritage interest.
- 6.3 A programme of modernisation and repair is proposed for St Eia, which would entail a number of internal and external alterations and additions. These would secure the future sustainable use of the house, and make it more suitable for modern family living. At the rear of the house, it is proposed to remove an existing greenhouse and construct a new, flat-roofed garage, which would require new openings in the rear wall. At the rear elevation of the house, it is proposed to remove the existing porch/boot room, and to construct a new utility and shower room, with altered doorway access from the adjoining kitchen, which would be slightly enlarged on its eastern side. A proposed part-glazed conservatory on the rear elevation would require the modification of an existing window to create a double-doorway opening from the

kitchen. The integration of the currently separate kitchen and dining room would entail the removal of a section of intervening wall, which would represent an impact to existing standing fabric and plan-form. In addition, the reconfiguration of the existing bathroom would require the alteration of a doorway opening within a section of wall of more recent date. Minor associated works would include the external painting of the rear elevation, the refurbishment of decayed window frames, the laying of slate floor-tiles and the exposure and treatment of existing floorboards.

- 6.4 The proposed new glazed conservatory on the rear elevation would partly obscure parts of the original rear face of the house, but would be partly visually permeable and of simple, contemporary design. Inward views of the house from the south would be partly obstructed by the existing intervening rear wall, so that the ground floor of the house would be at least partly screened in such views. The overall impact on the appearance of the rear elevation of the house would therefore be limited. Similarly, the reconstruction of the adjoining porch into a utility and shower room would be largely concealed within inward views. The insertion of new doorway openings within the south boundary wall would partly affect inward views from this direction, although any changes in the quality of such views would be mitigated by the appropriate design quality of new wooden doors. Cumulatively, the proposed external changes would enhance the rear space and setting of St Eia, which is currently of rather poor visual aspect, and detracts from the significance of the building and the setting of the adjacent Grade II-listed Former Wesleyan Chapel.
- 6.5 None of the proposed external changes or additions would affect the appearance of the north, street elevation of the house, from which its principal significance derives. Such changes would affect only parts of the rear elevation and the interior, which make a considerably smaller contribution to overall significance. They would have an acceptably small effect on the setting and historic character of the Grade II-listed former Wesleyan Methodist Chapel (NHLE 1141217), which is located immediately to the rear of St Eia., and on the settings of the adjoining buildings of the Grade II-listed terrace. Any changes to the rear of St Eia at ground-floor level would have limited visibility from the Chapel because of the intervening wall.
- 6.6 The proposed alterations would include few changes to the external form or the basic plan-form and layout of the house, which would remain intelligible. Such alterations would principally affect ground-floor areas to the rear, some of which have been subject to historical

change. Proposed changes have otherwise been sensitively designed, and would retain original fittings and fabric wherever possible. Limited interventions to create new door openings would be essential to enable access and inter-connectivity between reconfigured room-spaces. The resulting level of harm to the overall significance of St Eia would be within the lower range of less than substantial, although this low level of harm would be balanced by the heritage benefits resulting from the proposed works, which would effectively conserve and enhance the significance of this building. Consultation advice for the current application has considered that the proposed alterations would be unlikely to disturb significant fabric, or diminish the building's historic significance. In addition, the creation of the rear garage would entail negligible ground disturbance in an area of low archaeological potential. Accordingly, it has been advised that no archaeological or historic building recording would be required, and that no archaeological condition would be sought.

- 6.7 This Heritage Statement will support further applications for planning permission and Listed Building Consent, and includes a description of the building, and of its history and significance, together with an assessment of the potential impact of proposed changes. The Planning (Listed Building and Conservation Areas) Act 1990 requires that special regard be given to the desirability of preserving a listed building and any features of architectural or historic interest it possesses. This statutory approach is reflected in Policy OE7 of the Isles of Scilly Local Plan 2015-2030. Similarly, Paragraph 199 of the National Planning Policy Framework (NPPF) states that, when considering the impact of development on the significance of a listed building, great weight should be given to its conservation. On the basis of the assessment presented in this Heritage Statement, it is considered that the proposed changes to this Grade II listed building are wholly proportionate to its scale and character, and would result in an acceptably low level of harm to its significance. Such proposals are in accordance with the statutory requirements stated in Section 66 of the Planning Act, the National Planning Policy Framework and Policy OE7 of the Isles of Scilly Local Plan 2015-2030. It would also be consistent with supplementary planning documents, including the Isles of Scilly Design Guide (2006) and the Isles of Scilly Conservation Area Character Statement and Supplementary Planning Document (2015).

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