



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Town Hall, St Mary's TR21 0LW  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2015

### **PERMISSION FOR DEVELOPMENT**

<b>Application No:</b>	<b>P/23/063/HH</b>	<b>Date Application Registered:</b>	<b>16th August 2023</b>
<b>Applicant:</b>	<b>Mr And Mrs T Carr 4 Upper Lattimore Road St Albans Hertfordshire AL1 3TU</b>	<b>Agent:</b>	<b>Mr C Carr Chris Carr Architect Pear Tree Cottage, Duke Street, Sychdyn, CH7 6EJ</b>
<b>Site address:</b>	<b>Wingletang, The Parade Hugh Town St Mary's Isles Of Scilly</b>		
<b>Proposal:</b>	<b>Internal refurbishment with minor alterations, provision of new staircase and alterations to elevations to rear of property (Listed Building) (AMENDED PLANS)</b>		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**  
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The rooflights to the development hereby approved shall be of the 'conservation type', with a metal frame flush with the roof slope and a central vertical metal glazing bar.**  
Reason: To ensure that the rooflights are appropriate to the character and appearance of the building in accordance with Policy OE7 the Isles of Scilly Local Plan 2015-2030.

#### **PRE-USE CONDITION: Submission of Mortar/Render Specification**

- C3 Prior to their use on site, a detailed schedule of all mortar mixes, plaster and renders to be used shall be submitted to and approved in writing by the Local Planning Authority. Once the specification has been agreed the works shall take place in accordance with this specification.**  
Reason: To ensure that the details are appropriate to the architectural and historic character of the building of special architectural or historic interest.
- C4 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- Plan 1 Location Plan, drawing number: 20297 L (--) 01
  - Plan 2 Proposed Rear Elevation AMENDED, drawing number: 20297 L 15A

- Plan 3 Proposed Rear Elevation Demolitions AMENDED, drawing number: 20297 L 25A
- Plan 4 Proposed West Elevation AMENDED, drawing number: 20297 L 27A
- Plan 5 Proposed West Elevation Demolitions AMENDED, drawing number: 20297 L 17A
- Plan 6 Proposed Roof Plan, drawing number: 20297 L 24
- Plan 7 Proposed Roof Plan Demolitions, drawing number 20297 L 24
- Plan 8 Proposed Section AMENDED, drawing number 20297 L 26A
- Plan 9 Proposed Section Demolitions AMENDED, drawing number 20297 L 16A
- Plan 10 Proposed Ground Floor Plan AMENDED, drawing number 20297 L 21A
- Plan 11 Proposed Ground Floor Plan Demolitions AMENDED, drawing number 20297 L 11A
- Plan 12 Proposed First Floor Plan AMENDED, drawing number: 20297 L 22A
- Plan 13 Proposed First Floor Plan Demolitions AMENDED, drawing number 12A
- Plan 14 Proposed Second Floor Plan, drawing number 20297 L 23
- Plan 15 Proposed Second Floor Plan Demolitions, drawing number 20297 L 13
- Plan 16 Proposed East Elevation, drawing number 20297 L 28
- Heritage Impact Assessment, Richard K Morriss & Associates August 2023
- Design and Access Statement by C Carr Architect Aug 2023
- Preliminary Roost Assessment Ref: 23-7-3 Report Date 23/007/2023 by IOS Ecology

**These are stamped as APPROVED**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building and Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy 1 of the Isles of Scilly Local Plan 2005.

- C5 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of the islands.

**PRE-COMMENCEMENT CONDITION: Submission of Site Waste Management Plan**

- C6 Prior to the commencement of the development, hereby approved, a scheme including details of the disposal of all waste arising from the works shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted and agreed by the Local Planning Authority. This is to ensure adequate consideration is given to the minimisation of unnecessary waste generation, and adherence to the waste hierarchy, in accordance with the requirements of Policy SS2 (2) and Policy OE5 of the Isles of Scilly Local Plan 2015-2030.

- C7 The development hereby permitted relates to a single dwelling only. No consent has been sought or granted for any part of this property to be occupied as a separate dwelling. The property shall not be occupied as multiple units of residential accommodation. The owner or operator shall maintain a register of all occupants for each calendar year. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.**

Reason: To ensure that the development is occupied as single dwelling and for the avoidance of doubt.

**Further Information**

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework 2021.
2. **Non-Material Amendments:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed

amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here:

[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)

3. **Discharge of Conditions:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. As of 6<sup>th</sup> December 2023 the fee is £43 for each request to discharge condition(s) where the planning permission relates to a householder application. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied: [https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)
4. **Building Regulations:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk).
5. **Registering for appropriate Business Rates/Council Tax:** To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: [revenues@scilly.gov.uk](mailto:revenues@scilly.gov.uk).
6. **Party Wall:** As the proposed works affect the boundary with a neighbouring property, this decision does not convey any other form of consent or agreement that may be necessary in conjunction with these works and does not override or supersede any civil rights, which the neighbour may have. The attention of the applicant is drawn to the information contained in the Party Wall etc. Act 1996.
7. **Fire Safety:** The fire authority would remind the applicant a Building Regulations consultation with the local authority, or an Approved Inspector and the Fire Authority will be required for this development.
8. **Bats:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately, and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.

Signed: 

**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 5<sup>th</sup> December 2023



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW  
☎0300 1234 105  
✉planning@scilly.gov.uk

Dear Mr And Mrs T Carr

## Please sign and complete this certificate.

This is to certify that decision notice: P/23/063/HH and the accompanying conditions have been read and understood by the applicant: Mr And Mrs T Carr.

1. **I/we intend to commence the development as approved:** Internal refurbishment with minor alterations, provision of new staircase and alterations to elevations to rear of property (Listed Building) (AMENDED PLANS) at: Wingletang The Parade Hugh Town St Mary's Isles Of Scilly **on:** .....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

**Name:** ..... **Contact Telephone Number:** .....  
**And/Or Email:** .....

Print Name: .....

Signed: .....

Date: .....

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

### **PRE-USE CONDITION: Submission of Mortar/Render Specification**

C3 Prior to their use on site, a detailed schedule of all mortar mixes, plaster and renders to be used

shall be submitted to and approved in writing by the Local Planning Authority. Once the specification has been agreed the works shall take place in accordance with this specification.

**PRE-COMMENCEMENT CONDITION: Submission of Site Waste Management Plan**

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# COUNCIL OF THE ISLES OF SCILLY

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Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎ 01720 424455

✉ [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

**THIS LETTER CONTAINS IMPORTANT INFORMATION  
REGARDING YOUR PERMISSION – PLEASE READ  
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE  
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW  
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

**Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorised work carried out may have to be amended or removed from the site.

**Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £34 per application
- Other permissions - £116 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £34 for householder type applications and £234 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

## **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall Council  
Pydar House  
Pydar Street  
Truro  
Cornwall  
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

## **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

## **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.



**APPROVED**

*By Lisa Walton at 11:24 am, Dec 05, 2023*

**RECEIVED**

*By Liv Rickman at 4:05 pm, Aug 14, 2023*

20297

Wingletang, Church Street St. Marys, Isles of Scilly

## **Schedule of Works**

Refer to drawings 20297/ L 01-7 inclusive

### **THE EXTERIOR**

#### **Original House.**

The slated roof is generally in sound condition and work will be limited to securing any loose slates, re-fixing or replacing lead flashings, repointing as necessary at chimneys or ridge tiles and the clearing of gutters.

The existing dormers (two to the front and one to the rear) elevation are basically sound and work will be limited to repairing any damaged timbers and decorating.

The proposal is to replace the current Velux roof lights which have served their time. These are fitted on the rear section of the property. These will be replaced with new units the same size and to match the ones removed.

The wall to Church Street is faced with particularly fine ashlar stonework. No work or alteration is proposed although the pointing will be inspected and any damaged parts will be patch pointed only using lime mortar.

#### **Sash and case windows:**

a) There are five to the front (Church Street) elevation as well as to the two dormers and two to the rear (garden) elevation at first floor level as well as the dormer. These are original but are in need of attention. It is proposed to remove any rotted timber and splice in new, re-cord and free up the sashes replacing the parting beads only as necessary and inserting draught strips. The whole to be repainted on completion

b) The Dining Room widow to the rear (garden) elevation has been the subject of previous alteration with new sashes having been installed. It is proposed that the window be overhauled as those above to bring it back to the appearance of the others but also with the addition of super slim double glazing

c) The Owner's Bedroom to the rear (garden) elevation at ground floor level was presumably a sash or casement window but was some while ago removed and the opening altered to become a door.

This proposal is to revert the opening back to a window but to install a flush, high performance, double glazed uPVC window as described in other windows below.

The front door is to be refurbished and repainted to leave the same appearance and colour as existing. Draught stripping will be added

Render finish to walls is generally in good condition and treatment to these will be limited to any necessary patch repair and redecoration (to the same colour as existing) on completion.

### **Rear Extensions**

The rear extensions are all flat glass fibre roofed and, as all are sound and watertight, work will be limited to a detailed inspection with any patch repairs as necessary.

A small area of new roof is required adjacent to the new light well being formed. This will be a timber deck, insulated and finished in a single ply membrane to match the existing.

Windows are generally of older type uPVC. As well as the existing there are new window openings and alteration to existing windows proposed. It is therefore proposed that all of the existing windows are removed and the whole fitted with flush, high performance, double glazed uPVC windows configured as shown on the drawings. All of these that serve an upstairs bedroom will have openings to fully comply with current legislation requirements for fire escape.

A new Sliding / Folding door is proposed to new Dining Room in an opening enlarged from an existing window. It will be high performance double glazed uPVC bi fold doors will be installed to match the new windows. Colour and details will be to match the windows.

There is a limited area of new external wall. This will be built from a concrete foundation to the approval of the Building Inspector and consist of two leaves of concrete blockwork separated by a cavity with partial fill insulation. Exterior finish will be render to match existing.

A large number of services have been surface mounted on the rear walls with some partially concealed but for the main part there is a clutter. Every effort will be made to reroute all or most of these.

With the alterations to windows and services together with the area of new wall there will be much patching to the existing render. This will be finished to the same smooth texture and colour as the existing.

To suit the adjusted floor levels in the utility room (see later) the rear door will be repositioned at a lower level. The present wall cladding around the door is painted weatherboarding and this will simply be adjusted and patched to leave a finish matching the existing.

## **INTERNAL ALTERATIONS**

As argued in the Design and Access Statement the existing staircase has to be replaced on the grounds of health and safety.. This proposal details a new, much simplified staircase which has been arranged with the hallway opened up to give a simple upper floor circulation pattern and provide a safe means of access to all levels together with a safe means of escape. As the stair is the single access to three storeys the doors to the stairwell from habitable rooms will all be replaced with ½ Hr.F.R. leafs.

The remainder of the alterations to the first floor consist of the removal of the modern and poorly constructed stud walls and fairly recently added en-suites. These will be replaced with new bathroom accommodation. All new walls will be in insulated studwork with a plasterboard and skim finish.

On the ground floor, as well as the stairwell alterations, the proposal is to open up the rear modern construction area to provide a much-improved dining area with an open kitchen.

None of the original cornices (if there were any) now exist.

The new joinery such as skirtings and architraves will be machined to match any existing retained profiles in the front section of the property. Little if any of the original internal timber sections remain.

Floors:- The intention is to level the minor unevenness of the ground floor by reducing levels or screeding lower sections within the rear later additions of the property only, The first and second floors will just be checked over and made good where disturbed for services.

New light well:- This has been introduced at ground floor level with the intention of introducing light into the central area of the property. This will result in the removal of an area of roof at first floor level, stripping out a small area of floor, building a small new external wall and some making good. This work is confined to the newer rear extensions with none of the fabric of the original building being disturbed.

Second Floor – The stair case will be replaced to comply with current standards as argued in the D & A statement. All redundant boxings, shelves, storage tanks and the cylinder will be stripped out. There will be minor alterations to partitions as shown on the drawings and the new will be in insulated studwork as above. All other changes will be in line with the ground and first floors.

**Services:** The proposal is to fully re wire the property and replace all services. The existing oil fire boiler and wet heating system will be stripped out and will be replaced with the latest electrical powered radiators. All existing plumbing will be stripped out and replaced to minimise the extent of the poor and ugly external labyrinth of services.

Chris Carr: Architect  
August 2023

**RECEIVED**

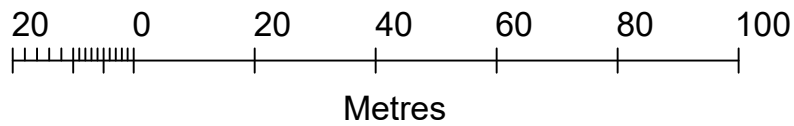
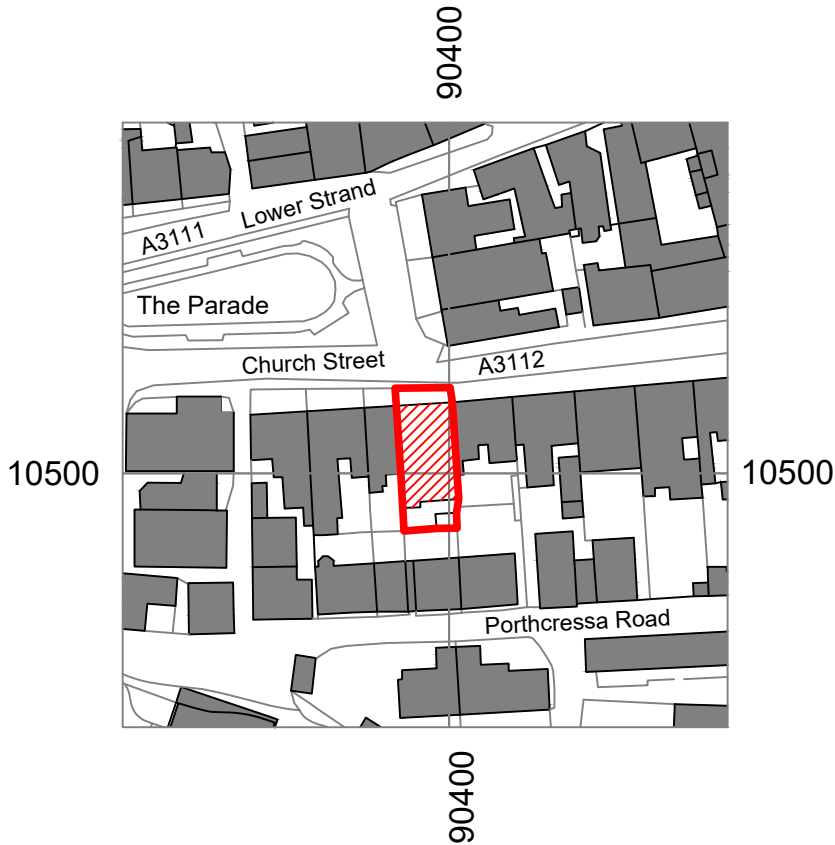
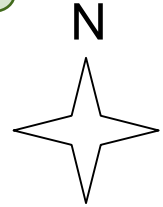
By Liv Rickman at 3:22 pm, Aug 14, 2023

**APPROVED**

By Lisa Walton at 11:25 am, Dec 05, 2023

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# Alterations to Wingletangs, St. Mary's for EGV Consulting Ltd Site Location Plan

Drawing no.

**20297 L (--) 01**

Scale: 1:1250 @ A4

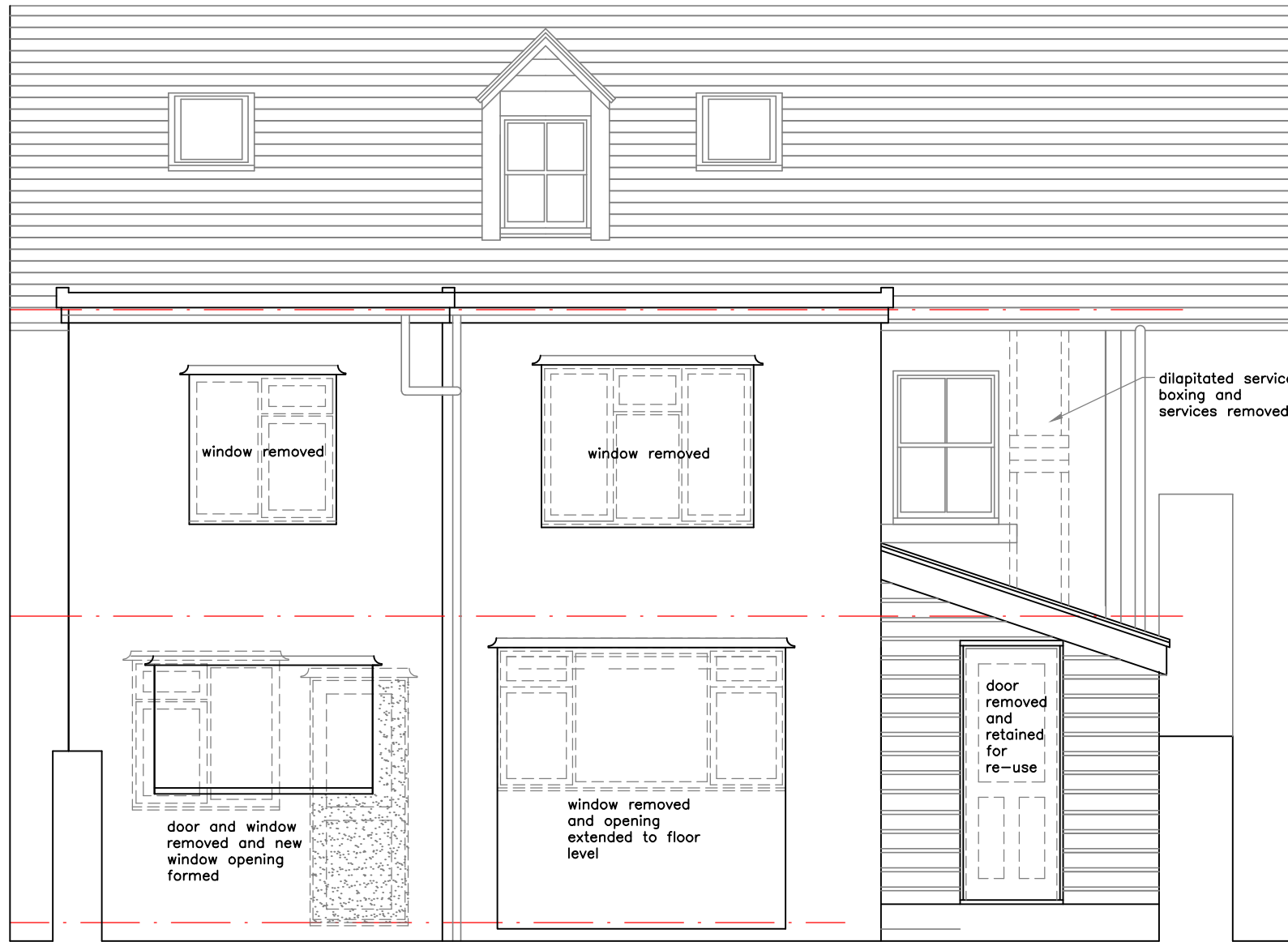
Date: 12 07 2023

**Chris Carr Architect**

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164 [chrisbcarr@sky.com](mailto:chrisbcarr@sky.com)

**APPROVED**

By Lisa Walton at 11:25 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Rear Elevation proposed demolitions

Drawing no.

20297 L 15A

Scale: 1:50 @ A3

Date: 11 04 2023

Chris Carr Architect

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164  
chrisbcarr@sky.com

**RECEIVED**

By Liv Rickman at 2:24 pm, Oct 31, 2023

Formerly L 04

**APPROVED**

By Lisa Walton at 11:25 am, Dec 05, 2023

Two new upper floor windows – uPVC double glazed flush casement windows – installed in unchanged openings



New uPVC double glazed flush casement window installed in altered opening

New double glazed uPVC double french windows with glazed side panels installed in extended opening

ex. external door repositioned to bring cill to floorlevel, timber cladding made good

**Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Rear Elevation as proposed**

Drawing no.

**20297 L 25A**

Scale: 1:50 @ A3

Date: 19 07 2023

**Chris Carr Architect**

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164

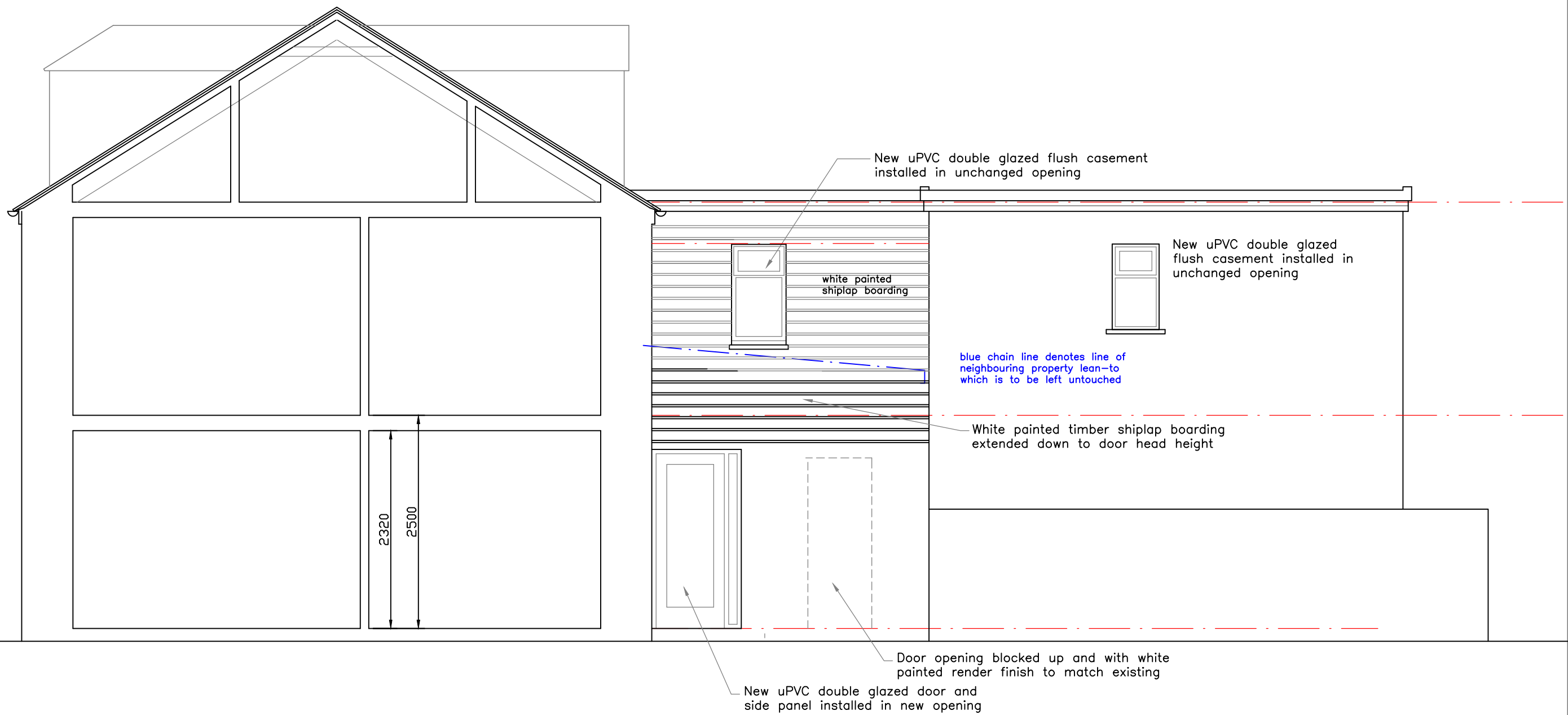
chrisbcarr@sky.com

**RECEIVED**

By Liv Rickman at 2:30 pm, Oct 31, 2023

Formerly L 04

**APPROVED**  
By Lisa Walton at 11:25 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
West Elevation as proposed

Drawing no.

20297 L 27A

Scale: 1:50 @ A3

Date: 19 07 2023

**Chris Carr Architect**

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164

chrisbcarr@sky.com

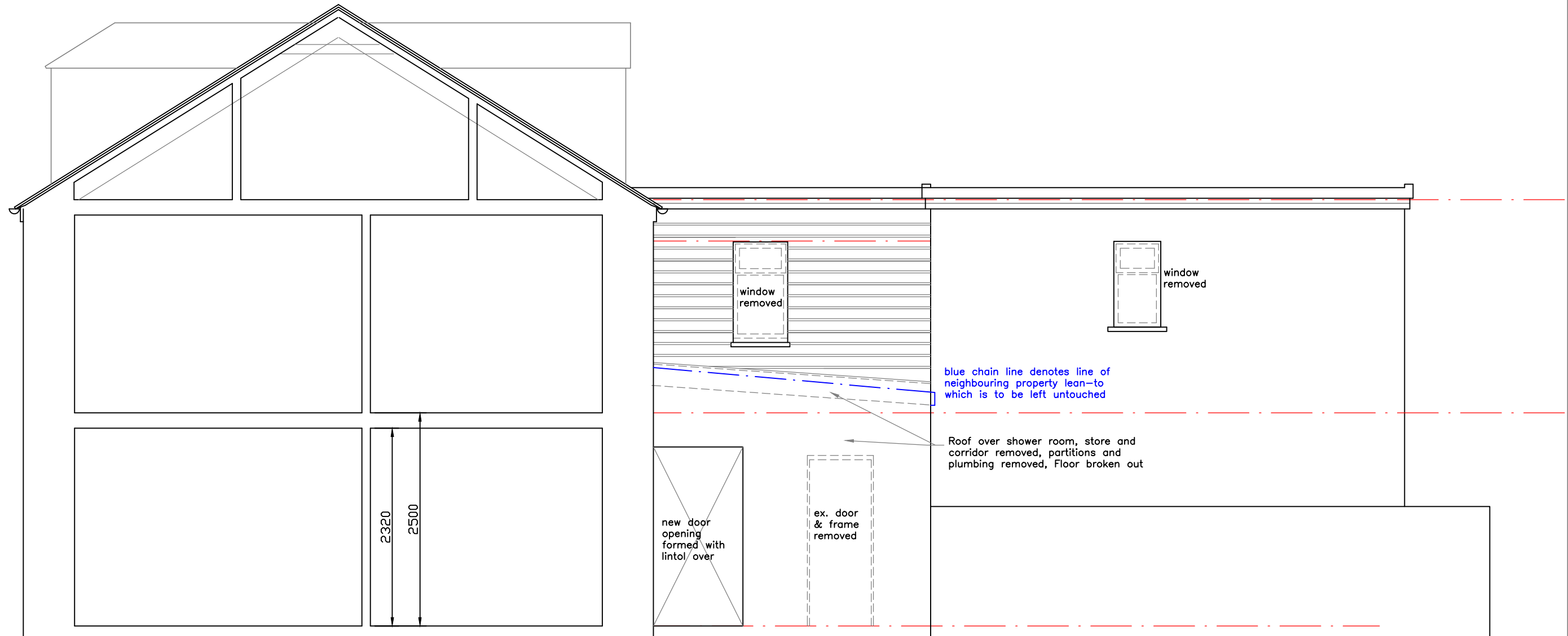
**RECEIVED**

By Liv Rickman at 2:30 pm, Oct 31, 2023



**APPROVED**

By Lisa Walton at 11:25 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
West elevation proposed demolitions

Drawing no.

20297 L 17A

Scale: 1:50 @ A3

Date: 01 08 2023

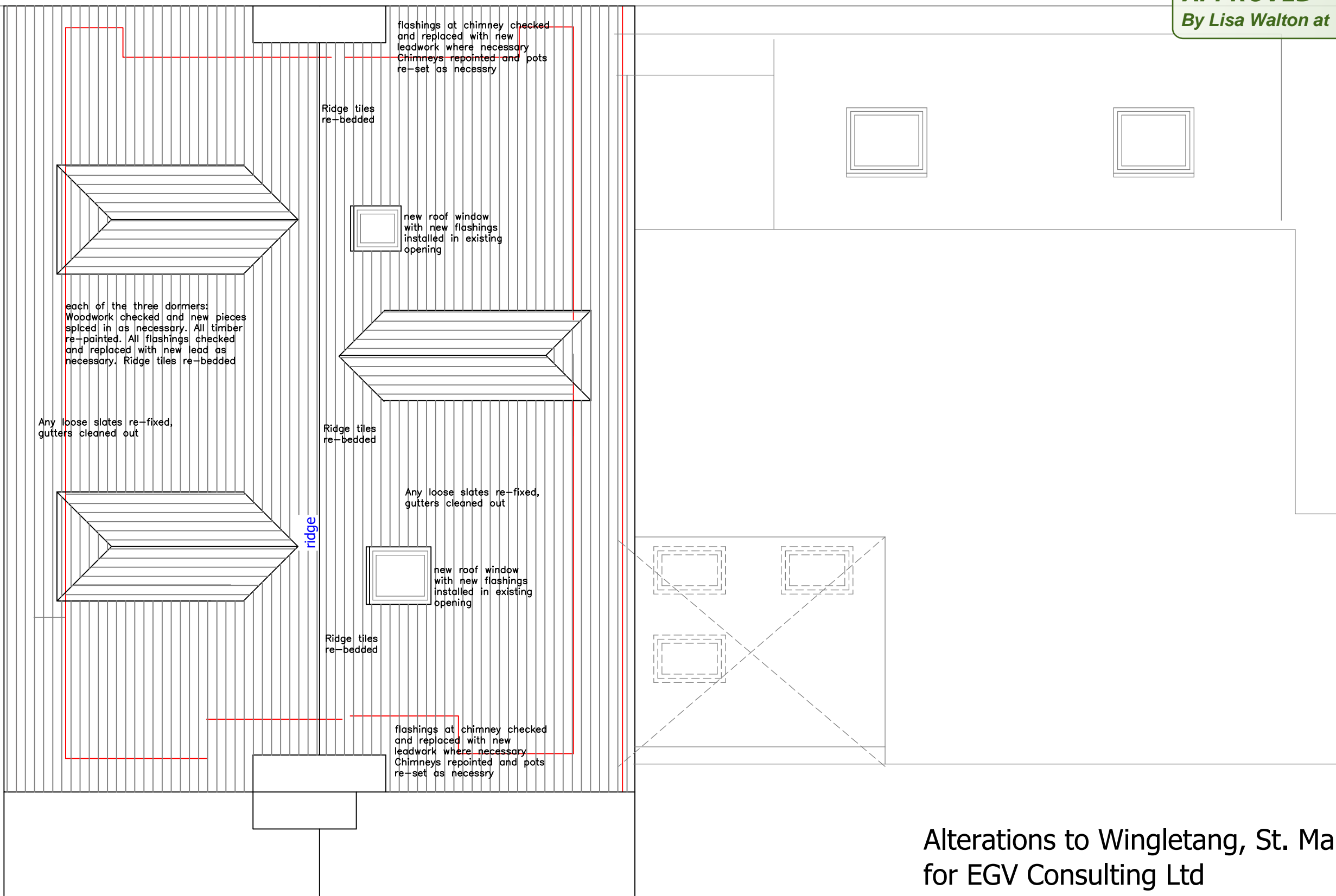
**Chris Carr Architect**

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164  
chrisbcarr@sky.com

**RECEIVED**

By Liv Rickman at 2:30 pm, Oct 31, 2023

**APPROVED**  
By Lisa Walton at 11:25 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Roof Plan as proposed

Drawing no.

20297 L 24

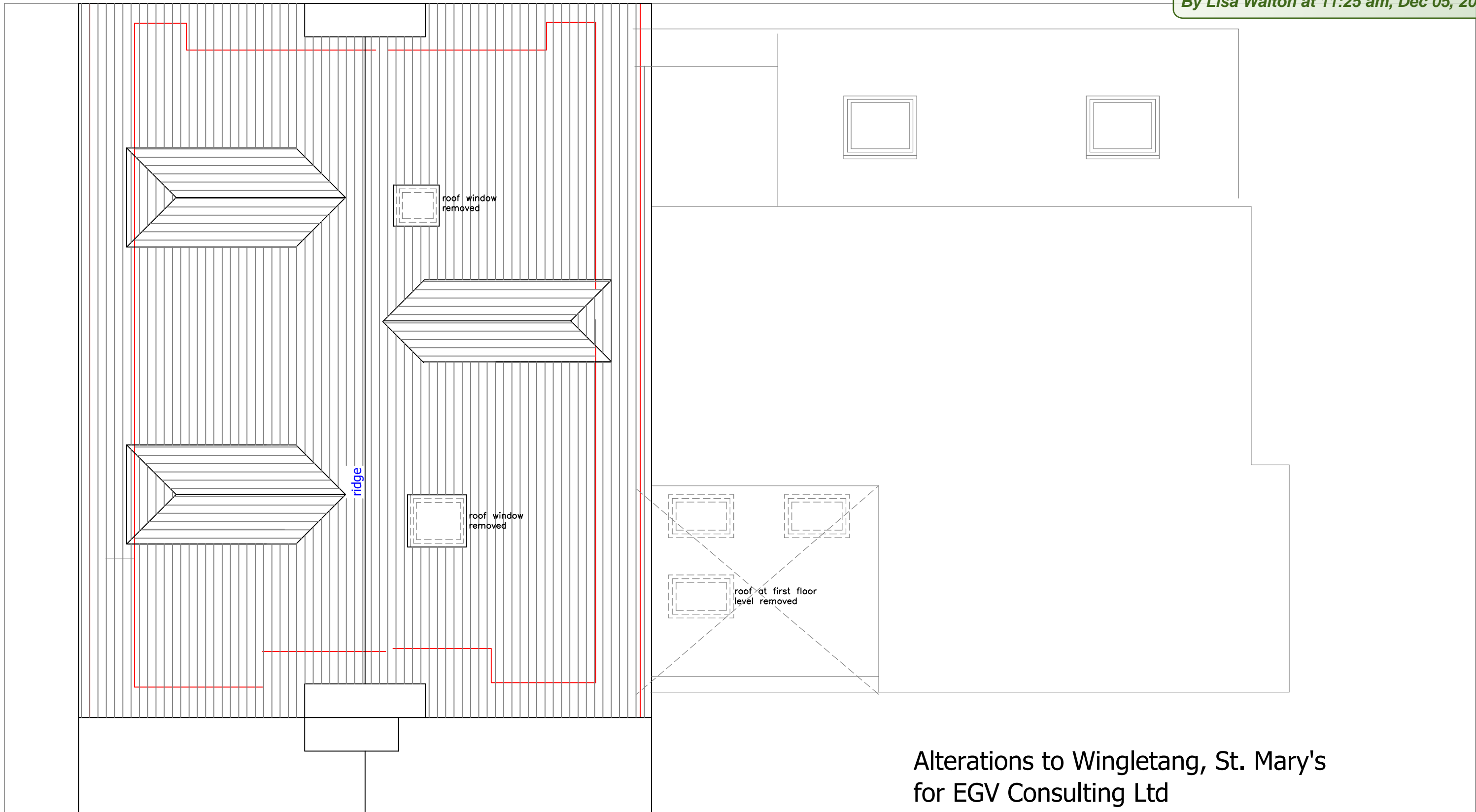
Scale: 1:50 @ A3

Date: 02 08 2023

**Chris Carr Architect**

Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
01352 758 164  
chrisbcarr@sky.com

**RECEIVED**  
By Liv Rickman at 3:28 pm, Aug 14, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Roof Plan proposed demolitions

Drawing no.

20297 L 14

Scale: 1:50 @ A3

Date: 01 08 2023

**Chris Carr Architect**

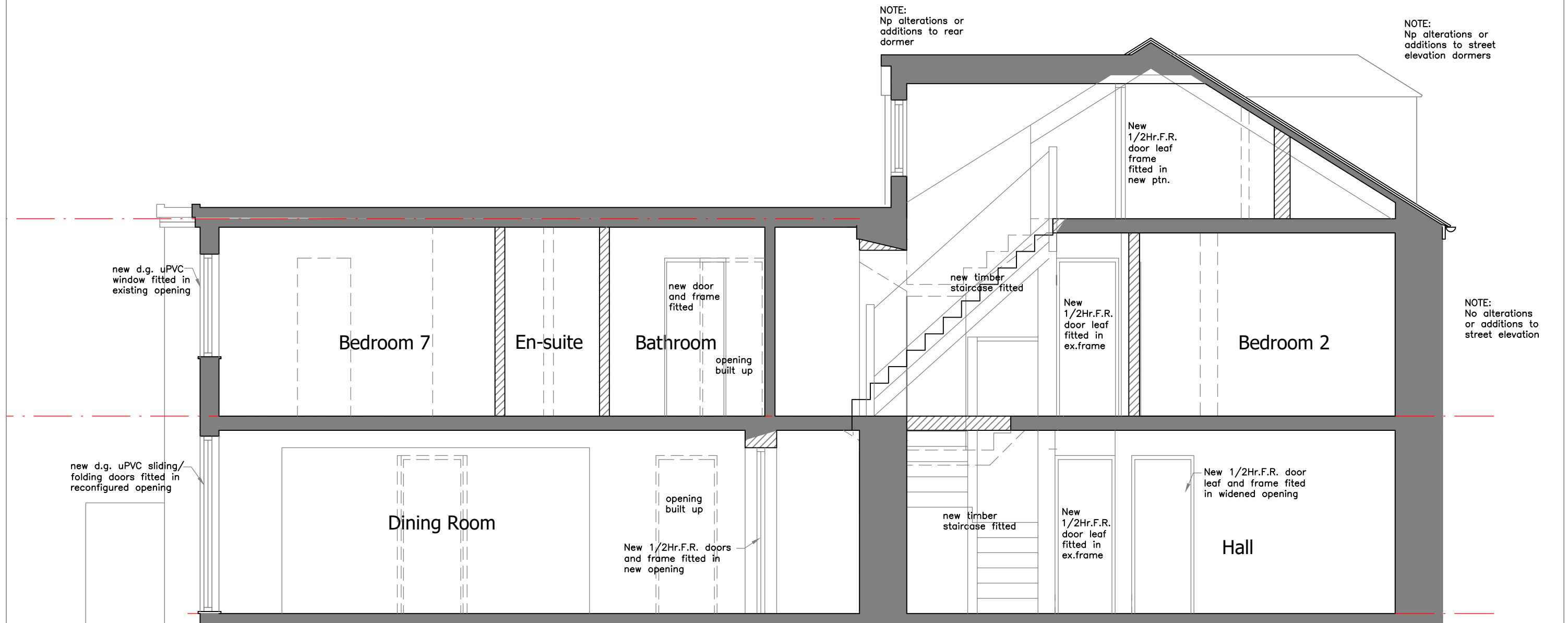
Pear Tree Cottage, Duke Street, Saughton, Mold, CH7 6EJ  
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chrisbcarr@sky.com

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By Liv Rickman at 3:46 pm, Aug 14, 2023

**APPROVED**

By Lisa Walton at 11:25 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Section thro stair as proposed

Drawing no.

20297 L 26A

Scale: 1:50 @ A3

Date: 03 08 2023

Chris Carr Architect

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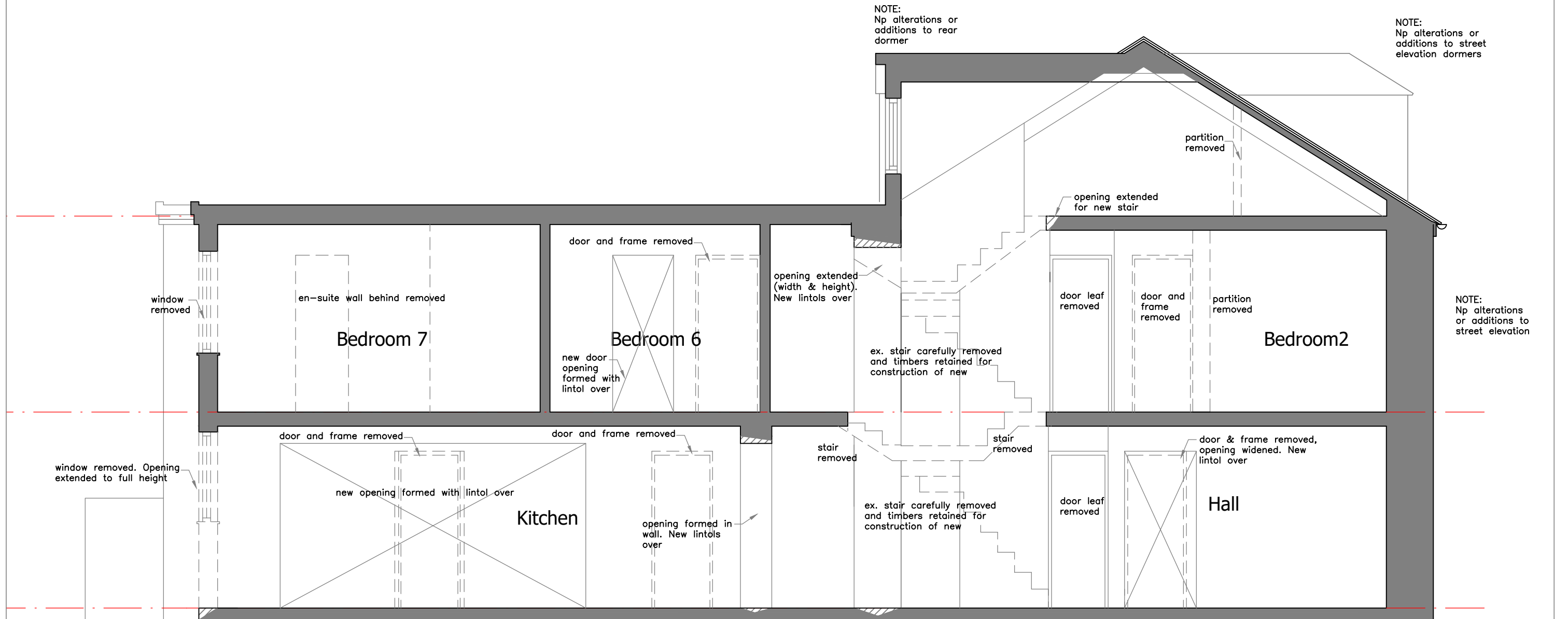
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By Lisa Walton at 11:26 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Section thro stair demolitions

Drawing no.

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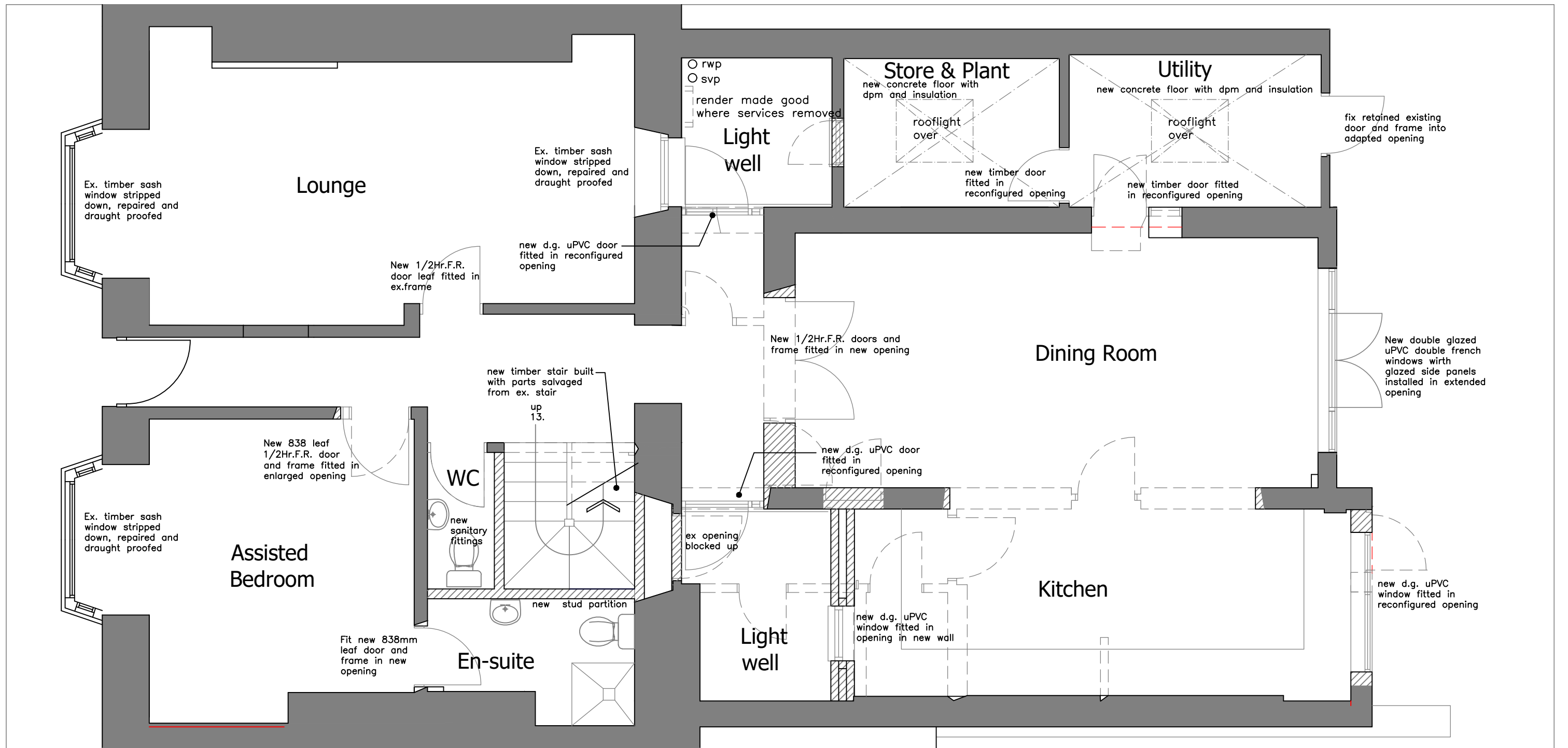
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Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Ground Floor Plan as proposed

Drawing no.

20297 L 21A

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Date: 18 07 2023

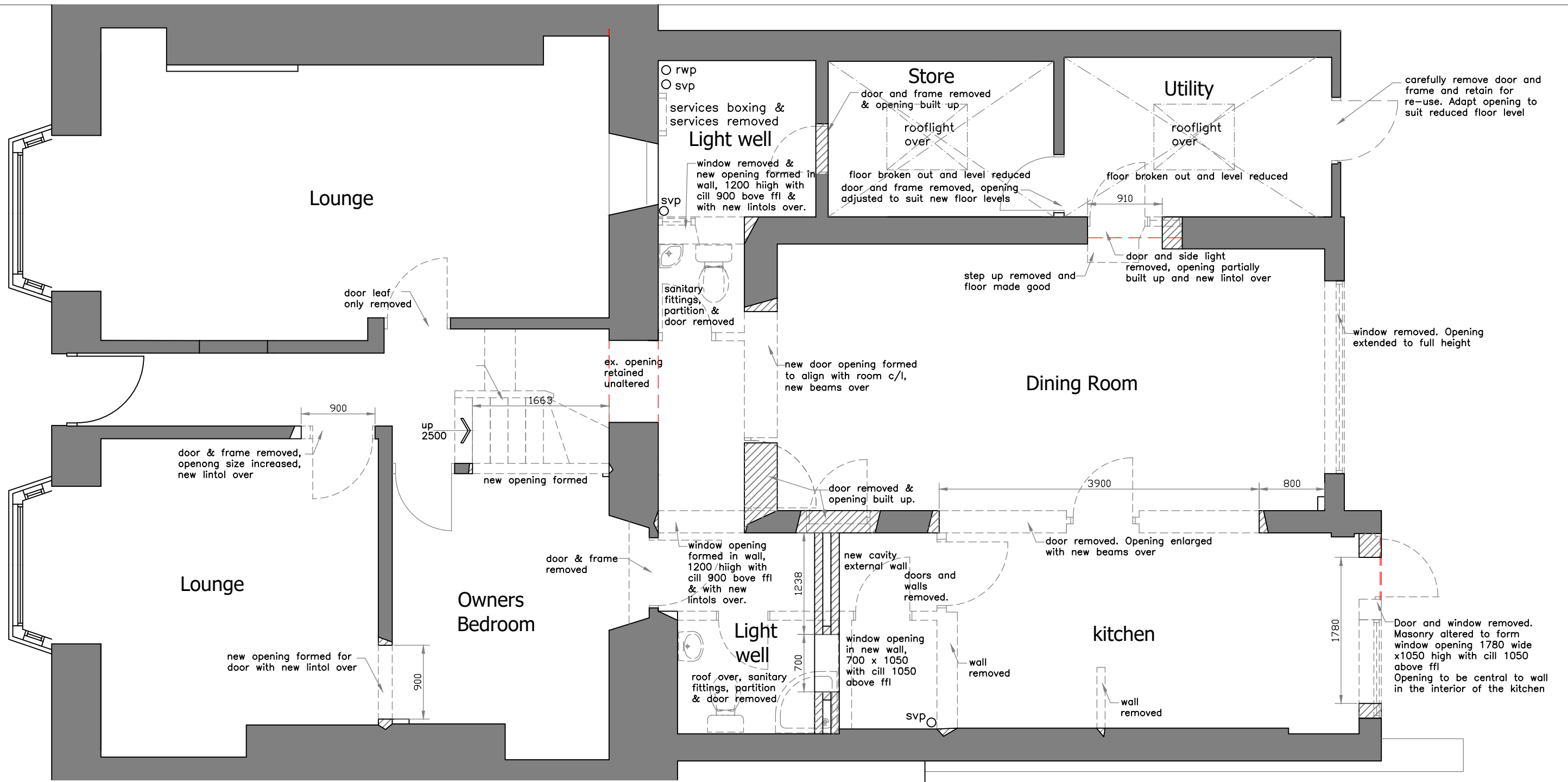
Chris Carr Architect

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By Lisa Walton at 11:26 am, Dec 05, 2023

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By Liv Rickman at 2:29 pm, Oct 31, 2023

Formerly L 01



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Ground Floor Plan proposed demolitions

Drawing no.

20297 L 11A

Scale: 1:50 @ A3

Date: 17 07 2023

Chris Carr Architect

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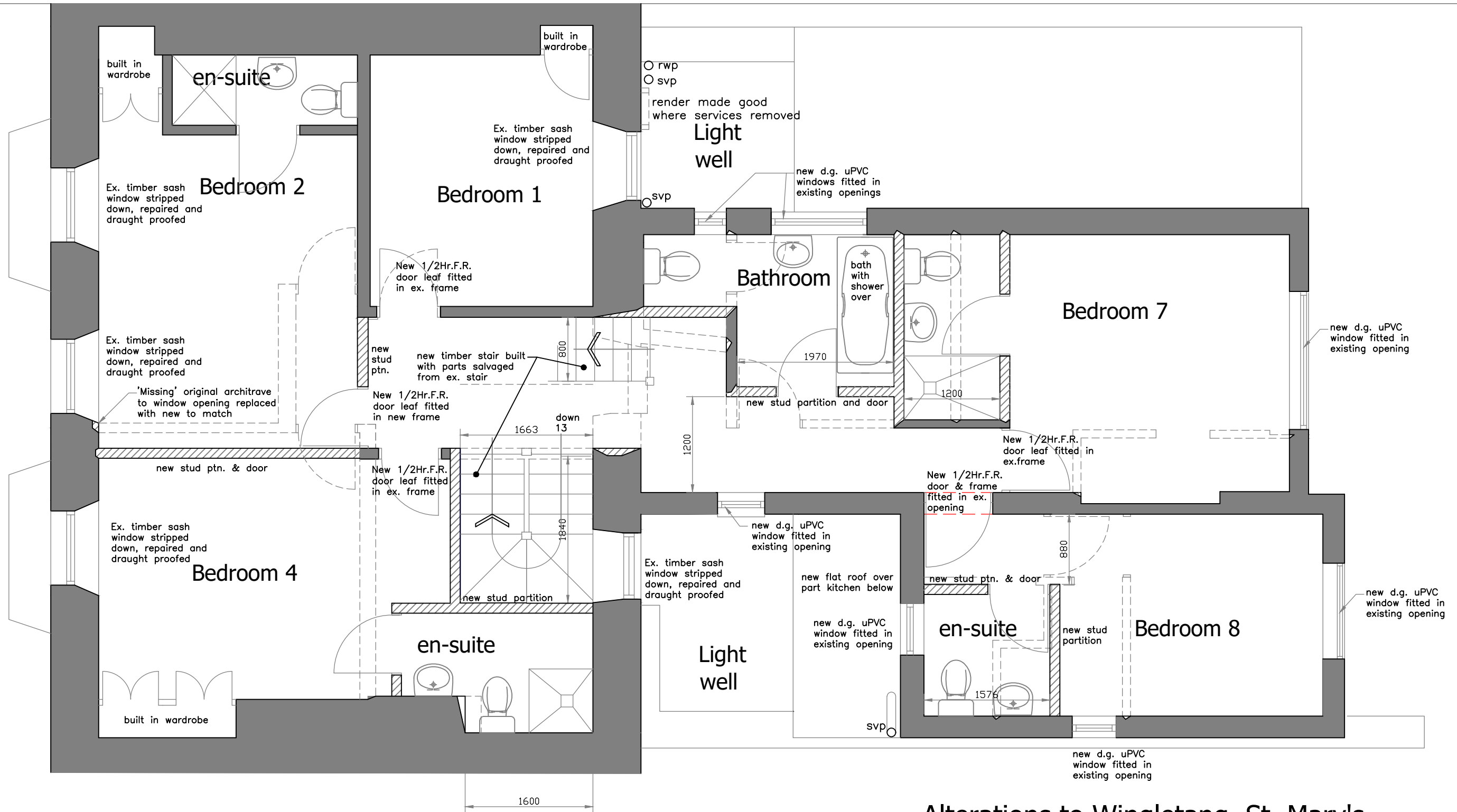
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Formerly L 01



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
First Floor Plan as proposed

Drawing no.

20297 L 22A

Scale: 1:50 @ A3

Date: 11 06 2023

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**APPROVED**

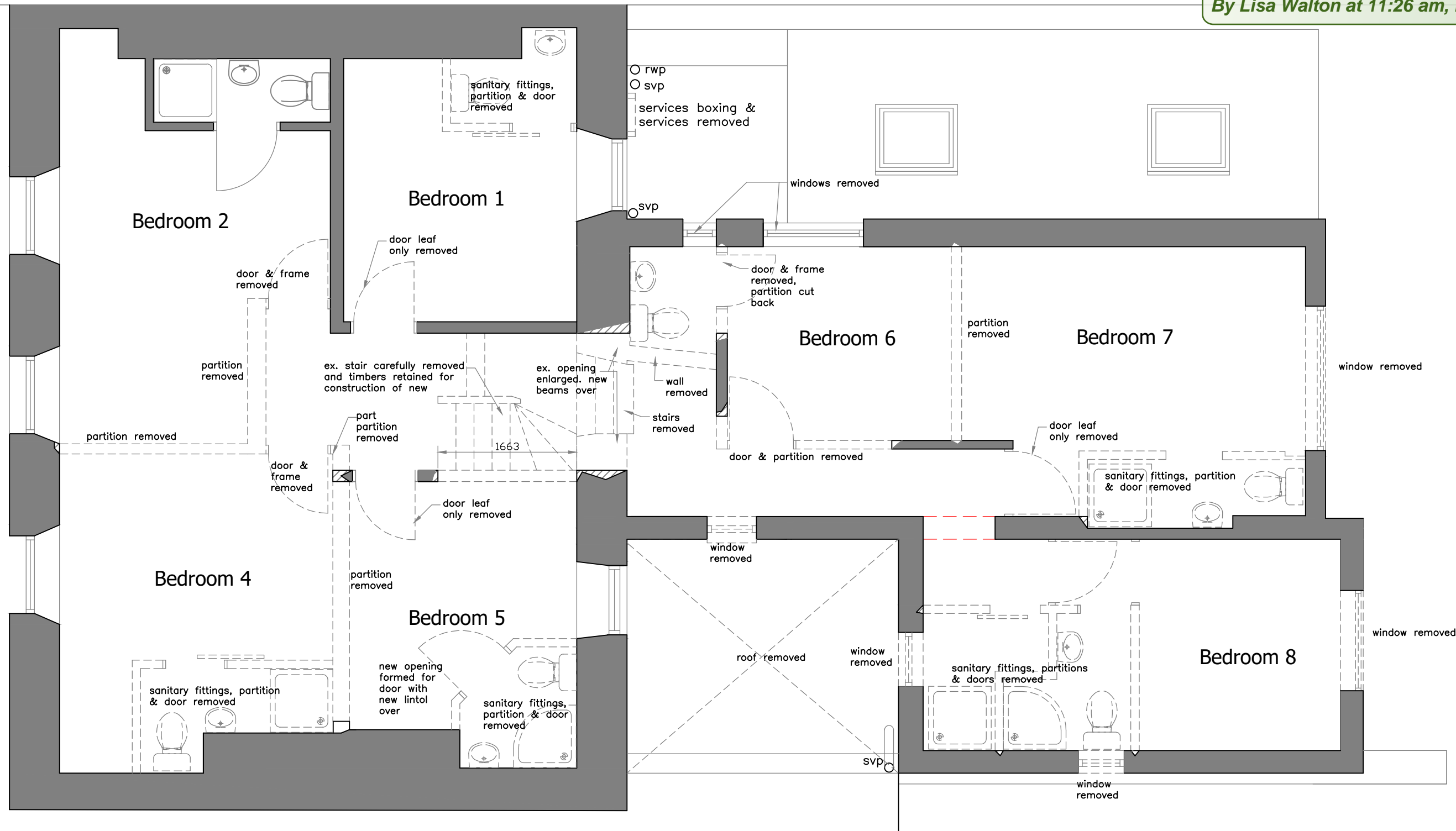
By Lisa Walton at 11:26 am, Dec 05, 2023

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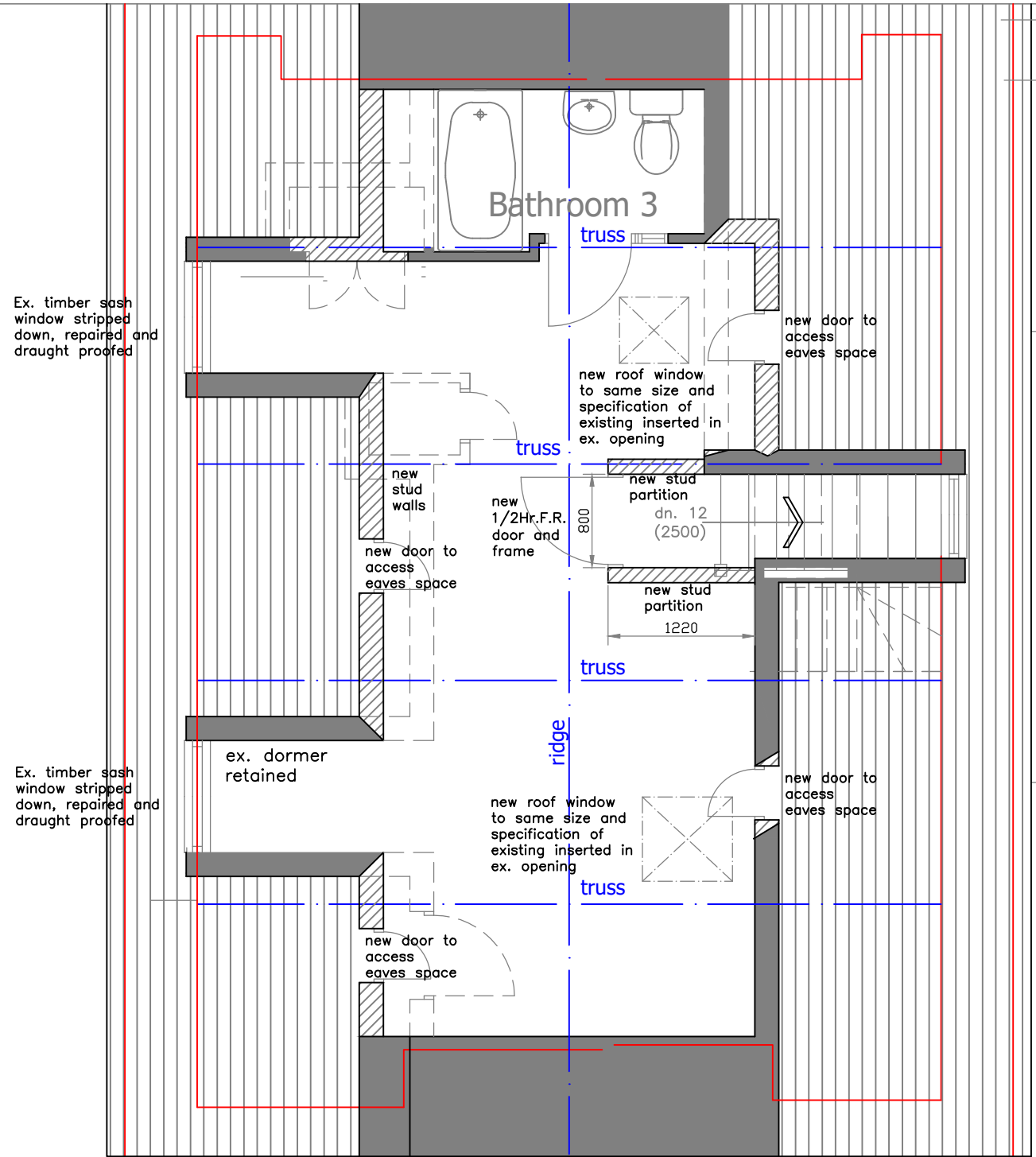
Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
First Floor Plan proposed demolitions

Drawing no. 20297 L 12A  
Scale: 1:50 @ A3  
Date: 17 07 2023

Chris Carr Architect

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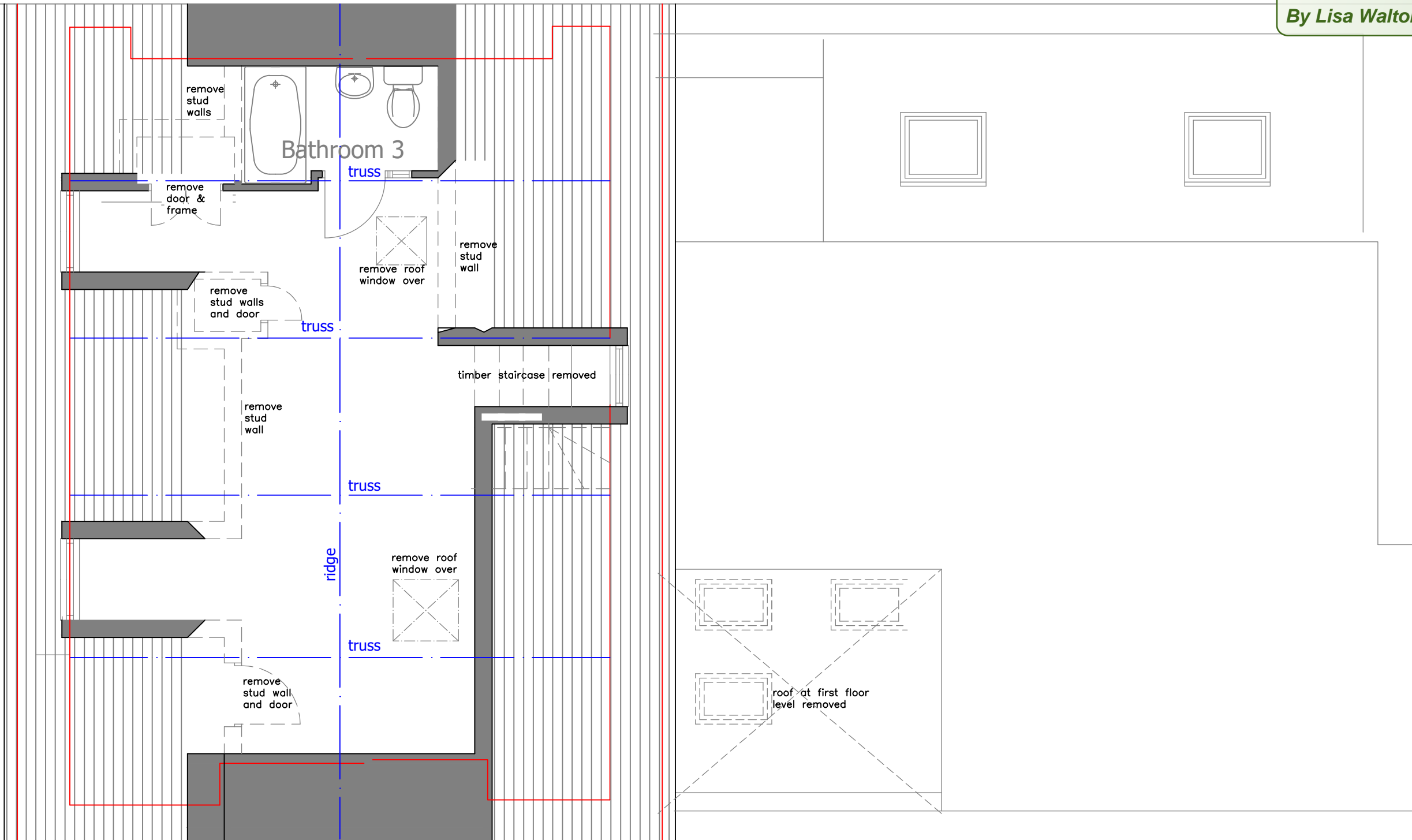


Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Second Floor Plan as proposed

Drawing no. **20297 L 23**  
Scale: 1:50 @ A3 Date: 20 07 2023  
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**APPROVED**  
By Lisa Walton at 11:26 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
Second Floor Plan proposed demolitions

Drawing no.

20297 L 13

Scale: 1:50 @ A3

Date: 20 07 2023

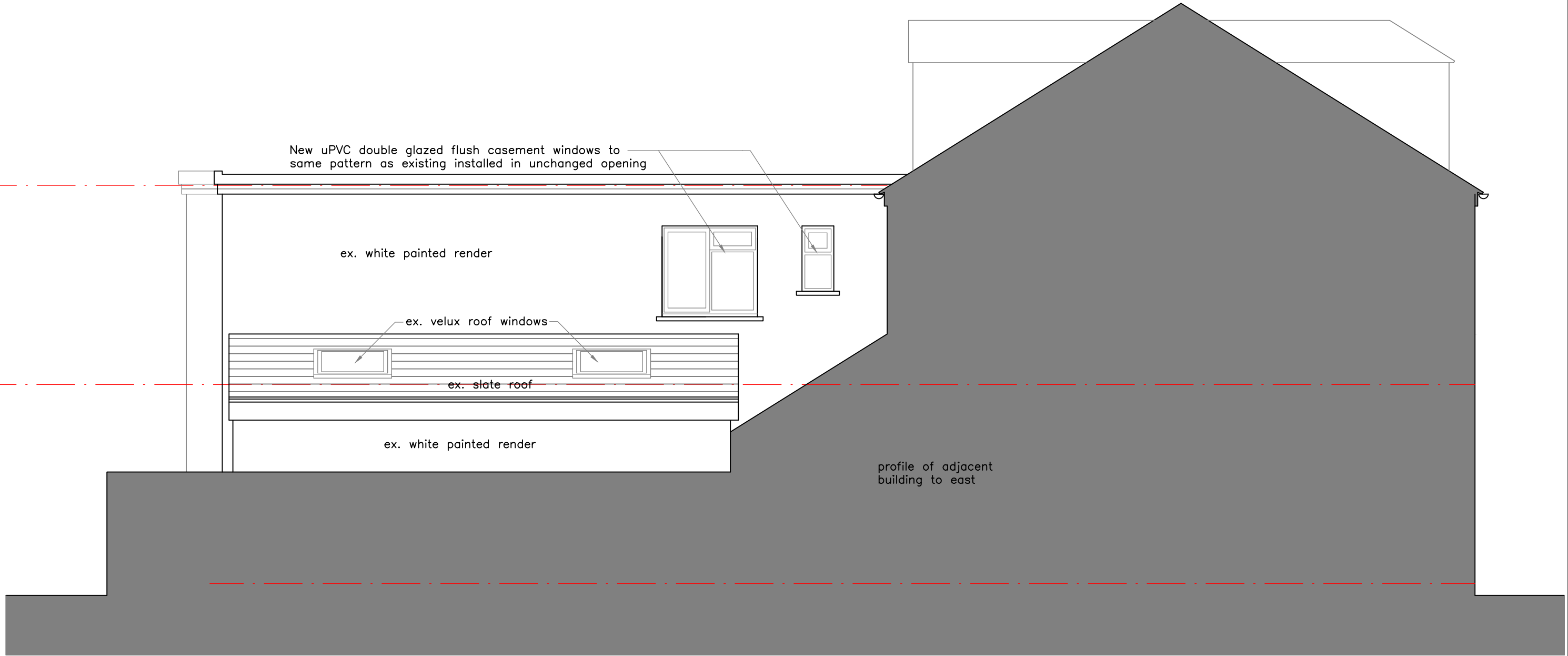
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**RECEIVED**  
By Liv Rickman at 3:47 pm, Aug 14, 2023

Formerly L 03

**APPROVED**  
By Lisa Walton at 11:26 am, Dec 05, 2023



Alterations to Wingletang, St. Mary's  
for EGV Consulting Ltd  
East Elevation as proposed

Drawing no.

20297 L 28

Scale: 1:50 @ A3

Date: 12 09 2023

**Chris Carr Architect**

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**RECEIVED**  
By Liv Rickman at 10:38 am, Sep 14, 2023

**APPROVED**

By Lisa Walton at 11:27 am, Dec 05, 2023

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By Liv Rickman at 4:05 pm, Aug 14, 2023

20297

Wingletang, Church Street St. Marys, Isles of Scilly

## **Design and Access Statement**

**A site location plan** is included which shows Wingletang as a mid terrace building facing on to Church Street. There is also a right of access along a narrow strip leading from Porthcressa Road.

It is a listed terrace house, the front part facing Church Street being the original building (which is the interest of the listing) and with later additions to the rear.

It is classified as a residence and no change of use is proposed.

**A Heritage Impact Statement** is included in the submission which describes the history, listing and features of the building.

The Applicant wishes to carry out primarily essential repair, maintenance and upgrading together with a small amount of alteration in a manner which causes minimum disruption to the essential features of the building. These are described in detail in the included **Schedule of Work**.

It is important to stress that no alteration whatsoever is planned for the exterior of the original building fronting Church Street. Work will be confined to any essential repairs woodwork, slating or flashings without in any way altering the appearance of the building.

There are two areas of significant alteration namely:

- The staircase.

The existing staircase has been the subject of much alteration and adjustment throughout its life with a very unfortunate outcome. The goings and rises and thus the pitch vary wildly – for example the riser height ranges all the way from 100 to 240mm. It is truly, to use the colloquial phrase, ‘a disaster waiting to happen’, and in fact the owner has already had a bad fall on the lower section. It is impossible to fix or adjust the existing staircase and for this reason on the grounds of health and safety it has be replaced. This proposal details a new much simplified staircase which has been arranged with the hallway opened up to give a simple upper floor circulation pattern and provide a safe means of access to all levels together with a safe means of escape.

- A new light well.

This has been introduced at ground floor level with the intention of introducing light into the central area of the property and to remove the tunnel effect and claustrophobic feeling in the surrounding area. The work involves the removal of an area of the more recent flat roof and alterations to rear extension walls and floor. It has no effect on the front (original) part of the house.

The remainder of the works are essentially removal of poor later additions or upgrading of facilities. No existing valuable features such as original sash windows, skirtings or architraves will be lost and as to the latter, all new architraves and skirtings will replicate the originals. There are no cornices in the building and it is unknown if there ever were any.

None of the fabric of the original building is disturbed.

**A Bat Survey** has been carried out and is included.

### **Sustainable design measures.**

Energy efficiency has been given much consideration. The present servicing relies on an oil fired boiler and with a distribution network of pipes and wires so much adapted and extended that it appears to be almost 'Heath Robinson'. The oil fired heating system will be replaced with modern efficient electric radiators. All of the plumbing will be replaced with a simplified system with good thermal insulation. This will remove the pipework which, in places, is surface mounted externally. The whole property will be re-wired with all fittings being low voltage. Draught proofing and increased thermal insulation particularly to windows has been included. With all of these measures the building will demand much less energy and rely on electricity rather than fossil fuels

### **Inclusivity and Access**

There are also improved inclusivity and access facilities. Where before there was none we now propose a ground floor (entrance level) fully accessible bedroom and en-suite which will allow disabled persons to be fully included in all aspects of family life.

### **Flood Risk Assessment**

Reference has been made to **GOV.UK Flood Map for Planning**. The initial executive summary concluded that the site was within flood zone 3. However, when we zoomed in to the map it was clear that the line for flood zone 3 merely touched the edge of the site with the vast majority of the site being in flood zone 1. It is logical that if the zone 3 flood merely touches the edge of the site then it will not be of such a height as the floodwater could possibly enter the building. We therefore

request that the Application is regarded as being in zone 1 and that no flood risk assessment is required.

Chris Carr: Architect  
August 2023

**RECEIVED**

*By A King at 3:38 pm, Aug 25, 2023*

**Wingletang  
The Parade  
Hugh Town  
St. Mary's  
Isles of Scilly  
Cornwall**  
NGR: SV 90392 10508

**A  
Heritage Impact Assessment**

**Text**

Richard K Morriss *MA(Hons) MSocSc*

**Assistant**

L J Morriss *BSc (Hons)*  
D Salt

**APPROVED**

*By Lisa Walton at 11:27 am, Dec 05, 2023*

August 2023  
**Mercian Heritage Series 2163**



**Wingletang  
The Parade  
Hugh Town  
St. Mary's  
Isles of Scilly  
Cornwall**  
NGR: SV 90392 10508

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**Wingletang  
The Parade  
Hugh Town  
St. Mary's  
Isles of Scilly  
Cornwall**  
NGR: SV 90392 10508

*Summary*

*Proposals are being developed to refurbish and make some improvements to Wingletang, a property in a terrace on the south side of the Parade in Hugh Town, on St. Mary's in the Scilly Isles. The building is Grade II listed, adjacent to other heritage assets, and within a designated conservation area. In order to inform the decision-making process, this report was commissioned to provide a better understanding of the history, development and significance of the site and to provide a heritage impact assessment of the proposals on the listed building, the outbuilding, and any adjacent heritage assets - under the guidelines of the National Planning Policy Framework (NPPF). It is not concerned with other planning matters. It concludes that the proposals are well-considered and proportionate and that whilst there would be a minor degree of change there would be no harm – either substantial or less than substantial – to the building, adjacent heritage assets, or the conservation area. Overall there would be, instead, a general enhancement. Therefore neither Sections 66 or 72 of the 1990 Planning Act nor Paragraphs 201-3 of the NPPF will be engaged.*

## **1. Introduction**

Proposals are being developed to refurbish and make improvements to Wingletang, a property on the south side of the Parade in the middle of Hugh Town, on St. Mary's in the Scilly Isles. The property is Grade II listed and is adjacent to other listed buildings and within the extensive conservation area. Consequently, this Consultancy was commissioned to produce a heritage impact assessment of the proposals under the guidance set out in the National Planning Policy Framework. The remit does not extend to any other planning matters.

### **1.1 Report Format**

The report format is quite simple. After this brief introduction, there are short sections on the requirements of NPPF (Section 2) and Heritage Impact Assessments (Section 3). These are followed by an outline of the setting and history of the site (Section 4) and an outline description of the building (Section 5). Section 6 is a discussion of the findings. Section 7 outlines the proposals and Section 8 is the heritage impact assessment. Section 9 is a short conclusion and Section 10 is a list of the references used in the report.

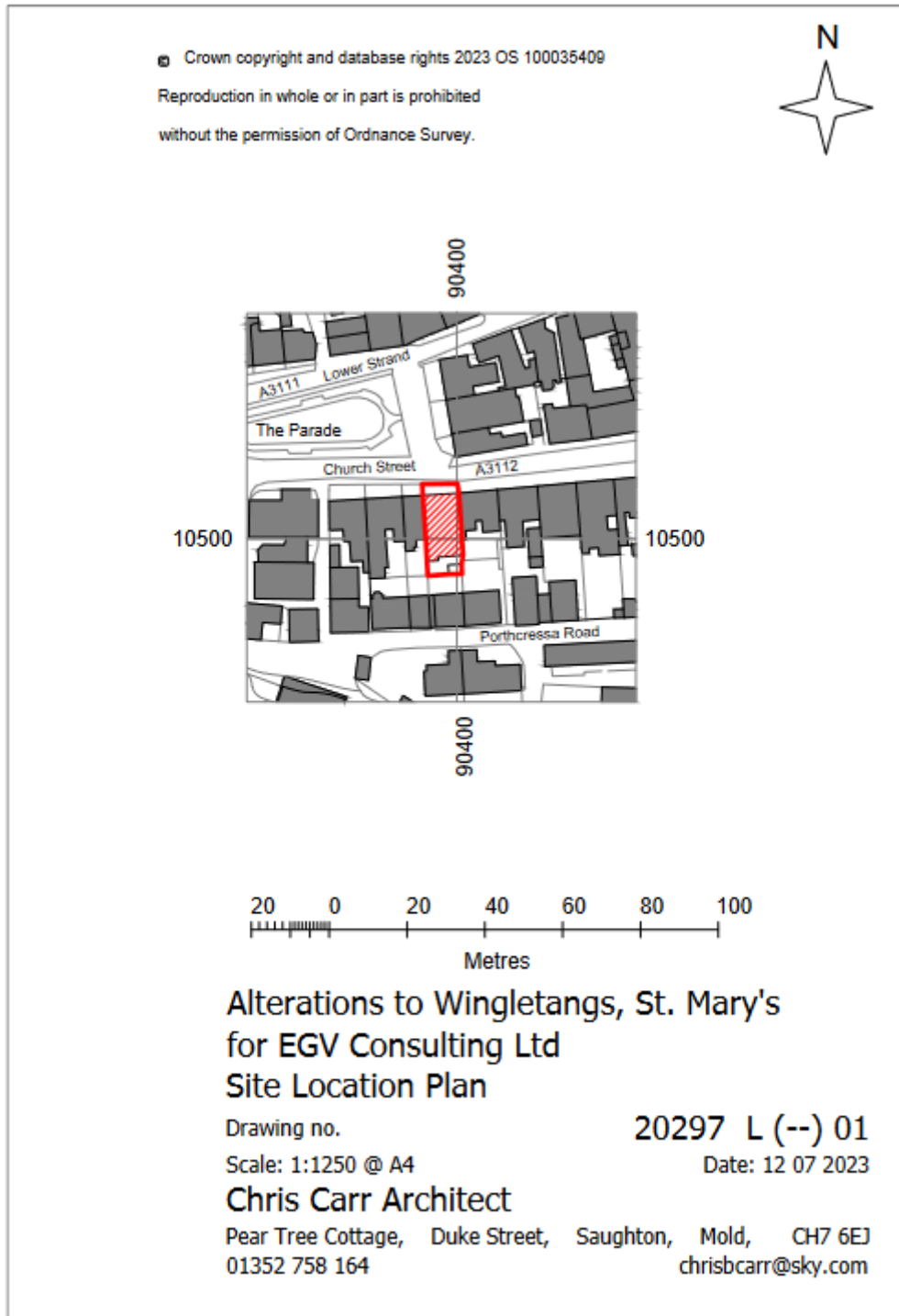


Fig.1: Location plan.  
(Ordnance Survey Open Data).



## 2. National Planning Policy Framework Guidelines

### 2.1 The National Planning Policy Framework

Planning law relating to listed buildings and conservation areas is set out in the Planning (Listed Buildings and Conservation Areas) Act 1990. Section 66 of the Act deals with the responsibilities of local planning authorities – the decision makers - when dealing with planning applications that could impact on heritage assets and states that:

*‘In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses’.*<sup>1</sup>

Section 72 of the same Act states that, in relation to conservation areas:

*‘with respect to any buildings or other land in a conservation area, of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area’.*<sup>2</sup>

Government guidelines regarding the listed buildings and conservation areas legislation in the 1990 Planning Act changed twice in two years, resulting in the introduction of a new *précis* of planning guidance published in March 2012 – the *National Planning Policy Framework* (NPPF) – which replaced all other separate *Planning Policy Guidelines* and *Planning Policy Statements*.<sup>3</sup> A revised version was published in July 2018, another in February 2019 and yet another in July 2021<sup>4</sup>. The glossary of the NPPF described ‘heritage assets’:

*‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).’*

The main relevant paragraph in the NPPF states that local planning authorities should require applicants:

*‘...to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposals on their significance’.*<sup>5</sup>

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<sup>1</sup> Planning (Listed Buildings and Conservation Areas) Act 1990 c.9 section 66 (1), 41

<sup>2</sup> *Ibid.* section 72

<sup>3</sup> Department for Communities & Local Government, 2012, *National Planning Policy Framework*.

<sup>4</sup> Ministry of Housing, Communities & Local Government, 2021, *National Planning Policy Framework*.

<sup>5</sup> *Op. cit.*, para. 189

### 3. Heritage Impact Assessments

#### 3.1 General Introduction

The purpose of a heritage impact assessment (HIA) is to meet the relevant guidance given in the NPPF. This outlines the need to inform the planning decisions when considering proposals that have the potential to have some impact on the character or setting of a heritage asset. It is not concerned with other planning issues.

The nature of the heritage assets and the potential impact upon them through development are both very varied. The heritage assets include both designated heritage assets – such as listed buildings, scheduled ancient monuments and conservation area – and non-designated heritage assets, a rather uncomfortable and sometimes subjective category that includes locally listed buildings, field systems, buried archaeological remains and views.

The degree of impact a development could have on such assets is variable and can sometimes be positive rather than negative. The wide range of possible impacts can include loss of historic fabric, loss of historic character, damage to historic setting, and damage to significant views.

Under the requirements of the NPPF and of other useful relevant guidance, such as English Heritage's *Conservation Principles* and *Informed Conservation*, and recent material from the newly formed Historic England, the process of heritage impact assessments can be summarised as involving three parts:

1. understanding the heritage values and significance of the designated and non-designated heritage assets involved and their settings;
2. understanding the nature and extent of the proposed developments;
3. making an objective judgement on the impact that the proposals outlined in Part 2 may have on the information outlined in Part 1.<sup>6</sup>

#### 3.2 Definition of Setting

Setting, as a concept, was clearly defined in PPS5 and was then restated in the NPPF which describe it as:

*'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'*

---

<sup>6</sup> English Heritage, 2008, *Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment*; Clark, K, 2001, *Informed Conservation*

The latest version of the Historic England guidance on what constitutes setting is virtually identical to the former English Heritage guidance:

*'Setting is not itself a heritage asset, nor a heritage designation, although land comprising a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset or to the ability to appreciate that significance.'*<sup>7</sup>

The new Historic England guidance also re-states the earlier guidance that setting is not confined entirely to visible elements and views but includes other aspects including environmental considerations and historical relationships between assets:

*'The extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust and vibration from other land uses in the vicinity, and by our understanding of the historic relationship between places. For example, buildings that are in close proximity but are not visible from each other may have a historic or aesthetic connection that amplifies the experience of the significance of each. The contribution that setting makes to the significance of the heritage asset does not depend on there being public rights or an ability to access or experience that setting. This will vary over time and according to circumstance.'*<sup>8</sup>

In terms of the setting of heritage assets the approach is the same but the latest Historic England guidance - *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning 3 (GPA3)* of 2017 - suggests a five-step approach.<sup>9</sup>

The steps are:

- Step 1: identify which heritage assets and their settings are affected;
- Step 2: assess whether, how and to what degree these settings make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;
- Step 3: assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
- Step 4: explore the way to maximise enhancement and avoid or minimise harm;
- Step 5: make and document the decision and monitor outcomes.

---

<sup>7</sup> Historic England, 2017, *The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning: 3 (2<sup>nd</sup> ed.)*, para.9

<sup>8</sup> *Op.cit.*, Part 1, reiterating guidance in the PPG of the NPPF.

<sup>9</sup> *Op.cit.*, para.19

### 3.3 Definition of Significance

The glossary of the *Planning Practice Guidance* (PPG) to the NPPF defines significance as:

*‘The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting’.*

These are further explained as:

- **Archaeological interest:** *as defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.”*
- **Architectural and artistic interest:** *These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.*
- **Historic interest:** *An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.*

The PPG also states that:

*‘Local planning authorities may identify non-designated heritage assets. These are buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions but which are not formally designated heritage assets. In some areas, local authorities identify some non-designated heritage assets as ‘locally listed’.*<sup>10</sup>

but cautions that:

*‘A substantial majority of buildings have little or no heritage significance and thus do not constitute heritage assets. Only a minority have enough heritage interest for their significance to be a material consideration in the planning process’.*<sup>11</sup>

---

<sup>10</sup> Planning Practice Guidance, 2014, paragraph 39

<sup>11</sup> *Ibid.*

### 3.4 Definition of Harm

Current guidance by Historic England is that ‘change’ does not equate to ‘harm’. The NPPF and its accompanying PPG effectively distinguish between two degrees of harm to heritage assets – *substantial* and *less than substantial*. Paragraph 201 of the revised NPPF states that:

*‘Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*

- a) the nature of the heritage asset prevents all reasonable use of the site; and*
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and*
- d) the harm or loss is outweighed by the benefit of bringing the site back into use’.*<sup>12</sup>

Paragraph 202 of the revised NPPF states that:

*‘Where a development proposal would lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposals including, where appropriate, securing its optimum viable use’.*

Recent High Court rulings have emphasised the primacy of the 1990 Planning Act – and the fact that it is up to the decision makers in the planning system to ‘*have special regard to the desirability of preserving the [listed] building or its setting*’. As stated by HH Judge David Cooke in a judgment of 22 September 2015 regarding impact on the setting of a listed building:

*‘It is still plainly the case that it is for the decision taker to assess the nature and degree of harm caused, and in the case of harm to setting rather than directly to a listed building itself, the degree to which the impact on the setting affects the reasons why it is listed.’*

The judgment was endorsed by Lord Justice Lewison at the Court of Appeal, who stated that:

*‘It is also clear as a matter both of law and planning policy that harm (if it exists) is to be measured against both the scale of the harm and the significance of the heritage asset. Although the statutory duty requires special regard to be paid to the desirability of not harming the setting of a listed building, that cannot mean that any harm, however minor, would necessarily require planning permission to be refused’.*<sup>13</sup>

<sup>12</sup> Ministry of Housing, Communities & Local Government, *op. cit.*, para.201

<sup>13</sup> Court of Appeal (PALMER and HEREFORDSHIRE COUNCIL & ANR) in 2016 (Case No: C1/2015/3383)



## 4. Setting & Outline History

### 4.1 Hugh Town

Hugh Town on St. Mary's is the *de facto* capital of the Scilly Isles, an archipelago of many islands off the south-western extremity of Cornwall. There is evidence of settlement of the islands in prehistoric times and some evidence of contact with early classical civilisations prior to the conquest of most of the rest of Britain by the Romans in the 1<sup>st</sup> century CE.

Writing in the early-16<sup>th</sup> century, probably in the 1530's, the occasionally eccentric antiquary John Leland noted that St. Mary's was the largest of the Scilly Isles and that '*in it is a poore town and a neatly strong pile; but the roves [roofs] of the buildings in it be sore defaced and worn*'. He was presumably describing the original main settlement on the island, now the small village of Old Town on its south-eastern coast with the remnants of an ancient chapel.

Towards the end of the century, and after the establishment of Star Castle on the Heugh on the western side of St. Mary's as part of improved defences in light of Spanish aggression, a new settlement developed on the low spit of land between the main island and the new fortress which became Hugh Town. Initially serving the needs of the new garrison it became, and remains, the only town in the Islands. According to one writer at the end of the 18<sup>th</sup> century:

*'Heugh Town is the capital of this island.....it is situated upon the low land of the isthmus, which joins the main part of the island to the high land of the garrison above the town.....The town consists of one long street, and two cross ones, of strong stone-built houses, where are shopkeepers, innkeepers and all sorts of trades-people required in the islands'*.<sup>14</sup>

The 'town' was still, however, small and fairly insignificant and seemed to be in danger of decline after the main garrison left the islands after the threat of the Napoleonic Wars was over. Then, in 1834, the Crown lands on Scilly were leased by Augustus Smith who seemed to have a better attitude to the sub-tenants and encouraged growth. By the end of the decade the quay at Hugh Town had been extended and a new church had been built at the east end. The improvements were noted by visitors, including, for example, the Rev. North who wrote:

*'The houses in Hugh Street are very old, and many of them certainly wear a somewhat forlorn and dreary aspect; but as the visitor advances towards the Church and sees those more recently built on the Parade and in Buzza Street, towards Porcrass, he will be impressed with a widely different feeling. He will find himself surrounded by houses with every token of cheerfulness and comfort.....'*<sup>15</sup>

According to *The Galaxy* magazine in 1868 there was on St. Mary's '*....a flourishing city consisting of one street and about two hundred houses, known to the Scillyian world as Hugh Town*'.

---

<sup>14</sup> Troutbeck, J, 1796, *A Survey of the Ancient and Present State of the Scilly Islands*'

<sup>15</sup> North, I W, 1850, *A Week in the Isles of Scilly*, 50

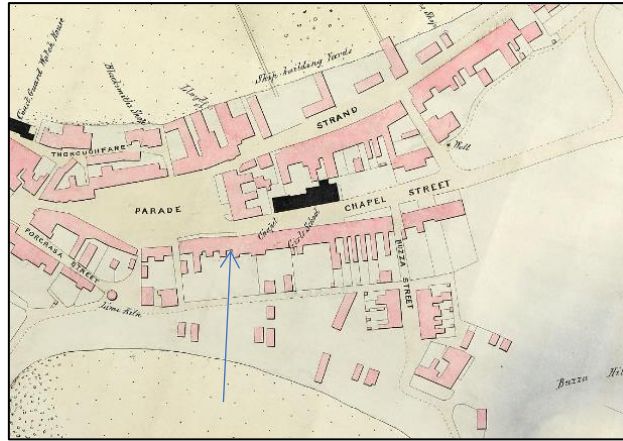


Fig.2: Extract from the 1862 plan of Hugh Town for the Hydrographic Office (site arrowed).



Fig.3: Extract from the 1906 revision of the Ordnance Survey 1:2500 map.



Pl.1: Mid-20<sup>th</sup> century aerial view of Hugh Town from the south.

## 4.2 Wingletang

Wingletang lies on the south side of the Parade and at its eastern end, close to where this side becomes a part of Church Street (the A3112). The archaeological evidence of the façade and the clear vertical construction breaks between it and its neighbours to either side show that it was not built as part of a planned terrace but was one of several properties built to maximise the available widths of their plots – becoming parts of an *ad hoc* terrace in the process.

This area was part of the early-19<sup>th</sup> extension eastwards of the core of Hugh Town, with the new church at its eastern extremity. This was one of the ‘*houses with every token of cheerfulness and comfort...*’ mentioned by the Rev. North in 1850.

It was presumably built in the second quarter of the century; a continuous row of houses – which must include Wingletang - is shown on the south side of the Parade and Church Street on the 1862 map of the town (*see* Fig.2).

The origin or date of the present name of the house name is unclear, but it may have been taken from Wingletang Down, now a Site of Special Scientific Interest (SSSI) on the south side of the nearby isle of St. Agnes. Little specific is known of the history of the house or its occupants, and identifying specific properties from the census returns is very difficult.

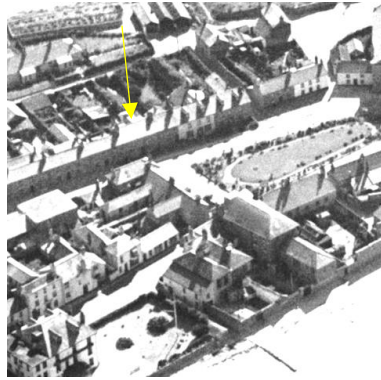
The 1<sup>st</sup> editions of the 6” Ordnance Survey map are of little use in understanding the development of the property. The 1:2500 mapping is more detailed and the 1906 revision shows a virtually square front range with a rear extension (*see* Fig.3).

Photographs of the late-1930’s, and particularly a series of aerial views of Hugh Town taken in 1938 reproduced in the Britainfromabove © project, show that at that time there were no dormers on the front, or north, slope of the roof and that there was a quite different dormer to the present one on the rear slope (*see* Pls.2-3).

They also show that there was a single-storey flat-roofed extension to the rear, centrally located, along with other outbuildings occupying virtually all of the rear garden area. At this stage all three of the rear windows on the first floor was still in use.

A later aerial view from the south, probably of the mid-1960’s, shows that the same dormer was in place, but that the attached extension seems to have been rebuilt as a two-storey range, still with a flat roof; this may be the core of the existing central section of the outbuildings (*see* Pl.4).

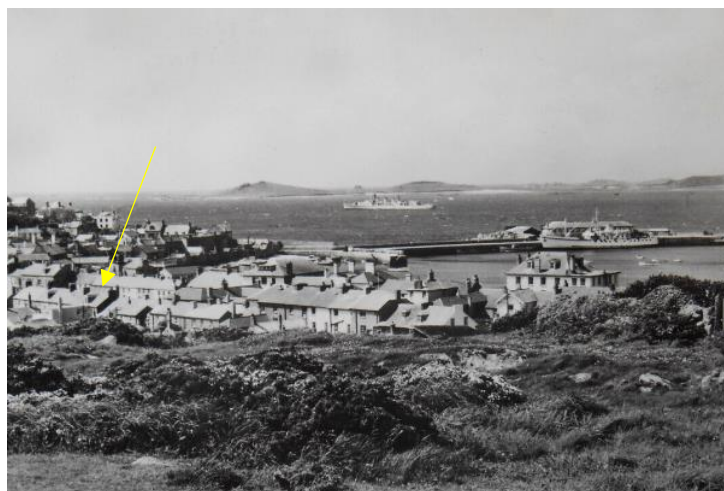
It is not clear exactly when the two mid-20<sup>th</sup> century dormers were added to the front roof slope, but these were presumably associated with changes identifiable in the present attic space that led to its incorporation into the overall domestic accommodation.



Pl.2: Extract from a rather poor quality 1938 aerial view of Hugh Town from the north-east. Nevertheless it is clear that Wingletang (arrowed) has no front dormers at this date.



Pl.3: 1938 aerial view of Hugh Town from the south-east; Wingletang, arrowed, now has a rear dormer and a single-storey flat-roofed extension with more buildings in the grounds.



Pl.4: View of Hugh Town from the south-east in the mid-1960's.<sup>16</sup> By this time Wingletang (arrowed) has a two-storey flat-roofed rear extension.

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<sup>16</sup> The date range can be inferred from the inclusion in the background of what appears to be HMS Manxman, a WW2 minelayer but as rebuilt in this form as a support vessel between 1963 and 1969.



Pl.5: The Parade, looking east; Wingletang is arrowed.



Pl.6: Wingletang from the north-east, in context.

## **5. Description**

The structural evidence and the available photographic and map evidence indicate that the property was originally a two-storey single-pile structure built parallel to the street and that the present southern half is of much later date – though also the result of a somewhat *ad hoc* development.

### **5.1 The Original House**

#### **5.1.1 The Exterior**

##### **5.1.1.01 The Front, or North, Elevation**

Set back slightly behind a narrow forecourt with a low stone wall topped with railings of uncertain date, the front elevation is the only original elevation still external; the side ends were always abutted by other buildings and the original rear elevation is now largely hidden externally by the later outbuildings to the south.

The front elevation is faced in well-wrought and well-coursed granite blocks, probably as close to an ashlar finish that this stone is capable of. The course heights are even and the coursing continues to the ends of the elevation - at which points there are clear vertical construction breaks between the property and its neighbours. The property was thus quite independent to the adjacent properties despite being superficially part of a long terrace to the street.

The symmetrical façade is of two storeys and three bays; the central doorway has a semi-circular head of worked granite voussoirs with the merest hint of a central keystone. The door is of six panels, the upper two tiers now glazed; its date is uncertain. Above the doorway is a semi-circular fanlight with ‘bat’s wing’ pattern glazing.

To either side are broad but shallow bay windows with canted sides; these have projecting stone sills. Their cornices do not exactly match, indicating a degree of alteration or repair. Each has horned balanced sashes – of 5x2 pattern in the main windows and 1x2 in the returns. It is unclear if these bays are original.

The three first-floor windows have flat and flush lintels coursed into the facing masonry and projecting stone sills. They contain almost flush balanced sashes of 3x2 pattern set in timber surrounds; those in the centre and to the left are un-horned, but the sashes of the right-hand one are horned and thus probably replacements. The horned sashes of that window are similar to the balanced sashes in the pair of dormer gables in the front roof slope – though these are of 4x2 pattern. The dormers have stone tiled cheeks and hipped roofs and are known not to have existed before the mid-20<sup>th</sup> century.

##### **5.1.1.02 The Gable Ends**

As noted above the building abutted others to either side so that the gable ends were never external. They are both topped by brick-built ridge chimneys.



Pl.7: The front, or north, elevation of Wingletang.



Pl.8: The attic of Wingletang, showing altered trusses.

### **5.1.1.03 The Rear, or South, Elevation**

Most of the rear elevation is abutted by the much later additions on this side of the house, but there is sufficient evidence in the fabric and in old photographs to show that this was originally a three-bay elevation with a central doorway on the ground floor. This survives, stripped out, and provides the main access between the original and later elements of the property.

The eastern windows on the ground and first-floor survive, although altered; on the west side the ground-floor window has been converted into a connecting doorway into the rear wing but its splayed reveal demonstrates that it was originally a window opening. The window opening on the first-floor above survives, in an altered fashion. On this elevation there is a central dormer lighting the attic level; this may be the reworking of the dormer shown on aerial photographs of 1938.

### **5.1.2 The Roof**

The roof is plain gabled and covered in Delabole slate. Structurally it is of five bays with altered trusses. The trusses originally consisted of principal rafters with scissored top junctions supporting butt purlins. Given the relatively shallow pitch of the roof it is assumed that the trusses originally had collars.

However, the present collars set just below the apex are not original and are bolted in place on one face of the principals. Additionally, several purlins have been cut through to make room for the dormers. It is assumed that these changes were made when the attic floor was fully incorporated into the domestic accommodation of the property – probably in the mid-20<sup>th</sup> century.

### **5.1.3 The Interior**

#### **5.1.3.01 The Ground Floor**

The interior accommodation was presumably just on the ground and first floor levels and has been altered. The central entrance hall and the location of the stairs to the rear of it are probably primary.

The only decorative feature is the arched opening through the thin spine wall between the entrance hall and stair halls and the doorcase – but not the glazed door – from the hall into the front west room or lounge. The ceiling cove, papered ceiling and papered dado all look modern.

It appears that there were originally front and rear rooms on either side of this central core. The present dining room to the east of the hallway now stretches from the front wall to the original rear wall – and a window looking into the modern lightwell. However, its size is the result on the intervening section of the spine wall being removed, leaving a down-stand in the ceiling.





Pl.9: The entrance hall, looking south to the stairs.



Pl.10: The dining room, looking south.

This room is accessed through another modern glazed door from the stair hall but there is surviving evidence for the blocked doorway from the hallway into the original front room. That opening is covered in modern match-boarding incorporating shelving and similar match-boarding is used on the slightly projecting chimney breast (with no fireplace or chimneypiece) on the east side and in the reveal of the northern bay window.

The western front room is lit by the second bay in the street front, its reveal treated with the same modern match-boarding as that used in the dining room. The plain sections of skirting and the dado rail in this room could be primary but there are no other features of note and the décor is mainly modern; there are no indications of any primary cornice. Projecting from the west wall the chimney-breast has been stripped back to the bare worked granite blocks and there is no chimney-piece.

The heavily modernised western rear room is no longer accessed off the stair hall but has become part of the owner's apartment – most of which is within the modern rear extension. Access between the room and the rest of the apartment is through a doorway formed from the original rear window. The room has no fixtures or features of note.



Pl.11: The western front room on the ground-floor.

### 5.1.3.02 The Stairs

The stairs within the Original House are probably in their primary location and the basic carcass of the treads and risers up to the first-floor could be original. However, they have been much altered.

The match-boarding beneath the solid string of the first flight and the infill beneath that flight to the rear are not original – and nor is the odd horizontal match-boarding of the west side of the stair hall or the clumsy skirting on the wall side of the stairs. The basal columnar timber newel could be original, as could parts of the moulded hand-rail – but the balusters clearly are not. These are round and irregularly spaced and are probably quite modern – possibly associated with the necessary changes made to the stairs as a whole once the rear extensions had been raised to a full two storeys in the mid-20<sup>th</sup> century.

The first flight leads to a quarter landing from which steps of differing risings and goings lead to the first-floor of the Original Range and – through a doorway created out of the original landing window – into the Extensions. All of this work is clearly of the 20<sup>th</sup> century, including the partial boxing in of the original first-floor landing and the continuation of the stairs up to the present attic level.



Pl.12: The base of the main stairs; note odd balusters and boxing.

### 5.1.3.03 The First Floor

The stairs would have led up originally to a first-floor landing, presumably with a short section of balustrade – but all of that was altered when the additional boxed flight of stairs up to the attic floor was created in the mid-20<sup>th</sup> century. The rest of the original layout of the first floor has been altered and some of the partitions at this level appear to be of plaster-board on stud, indicating significant changes. At present there are two rooms to the front – of different sizes – and two to the rear, flanking the stairs; all have modern *en suites* formed by plaster-boarded partitions.

The rear rooms are accessed off the landing and are lit by windows in the rear wall looking into light-wells. Neither have any fixtures or features of note but it is evident that both were once heated – as there are projecting chimney breasts from the gable ends. The two modernised front rooms are presently accessed off a small central lobby reached through a doorway off the landing. However, the walls of the lobby, the western section of the spine wall, and the dividing wall between the two front rooms all seem to be of plasterboard on stud.

The eastern front room is slightly larger than the other – being lit by two, instead of three, windows in the façade. Its eastern window has a full-height reveal with primary plainly moulded architrave; the other does not. The window to the western room also has a full-height reveal with architrave. This could imply that there were originally two heated front bedrooms – each lit by the windows with the full architraves – with an unheated closet with plainer window in between them.



Pl.13: The eastern front first-floor bedroom; note architrave only to the right-hand window.

### **5.1.3.04 The Attic**

The stairs up to the attics are evidently quite modern, as is the present arrangement of the attic and the manner in which they are lit by dormer gables in the front and rear roof slopes. Apart from a single bathroom at the eastern end, the attic level is a single open space – made possible as living space by the changes to the original trusses and the introduction of the dormers. There are no fixtures or features of note at this level.

### **5.2 The Rear Extensions**

The Rear Extensions date to the mid-20<sup>th</sup> century, with later alterations. They consist of a main two-storey central section abutting the rear wall of the Original House; this is rendered sand painted under a flat roof with modern uPVC casement windows.

To the west is another two-storey block of similar detailing; this projects slightly further to the south of the main section but, at its northern end, has a single storey portion, also flat-roofed, abutting the rear of the Original House to create a light-well at first-floor level. To the east of the central main range is a probably later single-storey range under a lean-to roof; this is faced in plastic or timber horizontal match-boarding and there is a gap between its northern end and the rear elevation of the Original House to create another light-well.

The interiors of these extensions are all modern and the partitions within them mostly of plaster-board on stud – apart from those walls formed by the original outline of the central section, which appears to have predated the rest. There are no fixtures or features of note.



Pl.14: The southern elevations of the Rear Extensions.

## **6. Discussion & Heritage Statement**

Wingletang is a much altered and extended property in the heart of Hugh Town, and has been considered to be of sufficient heritage value to warrant a Grade II listing. It appears to have originally been built in the second quarter of the 19<sup>th</sup> century and although of a completely separate build, formed part of an irregular terrace of properties along the south side of the Parade and Church Street.

It would originally been of two storeys and two rooms deep with a three-bay elevation to both front and rear elevations. The front elevation is faced with presumably locally quarried granite, extremely well worked and carefully coursed and almost achieving the quality of ashlar so difficult to reach in such an unyielding material. In this respect, whilst of similar size to its neighbours, its masonry was superior.

In terms of status it was probably just over the threshold for a lower middle class of the period in the Islands and, in terms of its date, represents part of the improvements and growth of Hugh Town following Augustus Smith leasing the Crown lands on St. Mary's.

Alterations and extensions to the rear had begun by the 1930's, initially with a single-storey flat-roofed extension. That had been raised by the 1960's and other additions were subsequently made and the attic level colonised as part of the domestic accommodation. It is also the case that the southern ends of the grounds of the property were, like those of its neighbours, lost to new development of the small parallel lane created between these properties and the beach to the south.

Evidently the house has been further modernised in the fairly recent past and as a result of this long period of cumulative change there are now very few fixtures or fittings of note within the building and the character of the original rear elevation had been obscured and lost. The façade to the street, however, except for the mid-20<sup>th</sup> century dormers in the roof, remains almost intact.

It is suggested that, in heritage terms, it is that façade that retains most of the intrinsic architectural and historical value of the building – along with the forecourt wall and railings. It represents a good exemplar of the type of terraced town house property in Hugh Town of its date and respects its immediate neighbouring properties – most of which appear to be of a broadly similar date.

This façade, in its scale, massing and material palette, makes a very positive contribution to the character of the all-pervading conservation area and of the significance of the settings of its neighbours.

The basic carcass and roof of the Original House is also important historically because of the date of the house but little of the surviving fixtures or fittings of the interior have a great deal of merit and the basic plan form has been altered. There are a few surviving primary moulded architraves to doorways or window reveals, some fragments of original skirting board, a decorative plastered arch between hall and stairs, and some sections of original balustrade to the stairs. Otherwise there is little surviving – no primary doors, no cornices (if any existed), no chimneypieces, etc. Consequently the interior is rather disappointing in heritage terms.

## **7. The Proposals**

Proposals have been developed to repair and refurbish the property as well as for improvements the interior – and in particular to the staircase. This has, as outlined above, been subjected to change to its fabric and to its overall design and character, especially when extended up from the first-floor to the attics in the mid-late 20<sup>th</sup> century. As a result of those changes it now has variable height risers and goings – the former varying from between 100 to 240mm and clearly contrary to building regulations. A better and simpler stair is proposed with associated changes to the access arrangements.

The only major external changes – and difficult if not impossible to see from the public domain – is the creation of larger glazed openings with integral glazed doors in the south gable ends of the two two-storey flat-roofed sections of the Rear Extensions and in the removal of the northern part of the single-storey portion of the western part of the Rear Extensions abutting the Original House in order to create a full light-well. Associated with this the present ground-floor access from the Original House into this section will be restored back into a window – as it was originally – and the adjacent flank of the central section of the Rear Extensions will be glazed and fitted with a doorway.

As part of the proposed new stair the present adapted openings between the Original House and the Rear Extensions will be slightly widened. On the ground-floor the present doorway from the hallway into the front western room will be slightly widened as part of the creation of an assisted bedroom facility; in addition a new doorway will be inserted between this room through the spine wall into an *en suite* formed in the western part of the rear room – separated from a WC by an inserted partition.

On the first-floor in the Original House the modern *en suites* will be removed. A new *en suite* will be formed between the two front rooms – in the possible location of an original close (*see above*) – with new partitions and serve the eastern room. The western room will be served by a new *en suite* in the western part of the adjacent rear room – with a new door needed through the spine wall. A small section of original rear wall will be removed to allow for a doorway between the south-eastern bedroom and a new *en suite* in the Rear Extensions. The attics will be refurbished and all other changes are within the Rear Extensions.

## **8. Heritage Impact Assessment**

### **8.1 Impact on the Listed Building**

Wingletang is a Grade II listed building. As noted above (in Section 6) its main significance is considered to be historical and architectural but confined to the Original House and, especially, to the principal façade. That façade is of intrinsic architectural merit and an important contributor to the character of the conservation area and the settings of adjacent heritage assets. The rear elevations are dominated by the Rear Extensions, which are of no architectural merit or historical significance. The interior of the Original Range has limited heritage value, with few fixtures or fittings of note surviving and a much-altered plan form.

The proposals will result in no change or harm to the principal elevation of the property or to its external scale and massing and the internal changes for the Original House are relatively minor and to an already altered layout.

Whilst there will be a degree of change to the interior, such change is not considered to equate to harm – substantial or less than substantial – due to the already altered nature of the interior and the absence of significant fixtures or fittings.

Superficially it may seem that the loss of the stairs and their replacement could result in a degree of less than substantial harm because of the loss of fabric and an historic feature of the listed building – but as outlined above, little of the stair is original and the whole design has been much altered to create access up to the attics. Even the one section of partly original balustrade is only partly original and has been significantly altered.

Overall it is considered that the remnants of the stair are of insufficient heritage value to warrant retention given the inherent danger of the stair access as a whole. Even should any harm be inferred there is a clear benefit in providing a safer stair that meets building regulations and enhances the optimum viable use of the building as a dwelling; enhancing that use in turn helps to ensure the long-term future of the listed building.

Other proposed changes to the interior of the older Original House are considered to be relatively minor in their impact and can be seen as part of the continuous changes made to the interior over the past century or so. None of the changes to the interior or exterior of the Rear Extensions are considered to result in any harm to the character or significance of the listed building.

### **8.2 Impact on Adjacent Heritage Assets**

There are many listed buildings close to Wingletang and others that could be considered as non-designated heritage assets. However, as is clear from the proposals, there will be no changes, other refurbishment, to the public elevations of the building and therefore no change to its relationship with these adjacent heritage assets. There will therefore be no change to the significance of the settings of these assets and consequently, no harm could ensue – substantial or less than substantial. Consequently, neither Section 66 of the 1990 Planning Act nor Sections 201-203 of the National Planning Policy Framework would be engaged.



### **8.3 Impact on the Conservation Area**

Uniquely, all of the Scilly Isles are a designated conservation area. Wingletang's façade makes a positive contribution to the character and significance of the conservation area – but will not be changes as a result of these proposals. None of the other changes to the exterior of the Rear Extensions will be visible from the public domain.

Given these facts it is clear that the proposals will result in no change, or harm, to the character or significance of the conservation area and that therefore Section 72 of the 1990 Planning Act would not be engaged.

### **8.4 Archaeological Issues**

All of the proposals are for the standing buildings will no need of any significant groundworks. Therefore it is considered that there would be no archaeological implications as a result of these proposals.

## **9. Conclusions**

For the reasons outlined above it is considered that the proposals for Wingletang are well-designed and proportionate and will result in no harm to the character, setting or significance of the building, or to adjacent designated or non-designated heritage assets, or to the conservation area. Overall it is considered that, instead, the proposals would result in a general enhancement of the listed building and its existing optimum viable use – helping to ensure its long-term future.

In the recent past, planning guidance has recognised that change to historic buildings and their settings is part of their history and that buildings are not and should not be fossilised. The prospect of change, even to listed buildings, is anticipated in the government's *National Planning Policy Framework*, but was more clearly expressed in earlier guidance from 1996, *Planning Policy Guideline No.15* (PPG 15).

That document stated – in relation to listed buildings that:

*'Many listed buildings can sustain some degree of sensitive alteration or extension to accommodate continuing or new uses. Indeed, cumulative changes reflecting the history of use and ownership are themselves an aspect of the special interest of some buildings, and the merit of some new alterations or additions, especially where they are generated within a secure and committed long-term ownership, should not be discounted.'*

This echoes the statement in the pioneering 2008 document, *Conservation Principles: Policies and Guidance for the Sustainable Management of the Historic Environment* that: *'Change in the historic environment is inevitable, caused by natural processes, the wear and tear of use, and people's responses to social, economic and technological change'*.

Furthermore, conservation areas are not designed to stifle development but to guide development so that it does not impact adversely on the area's special character. This is echoed in the foreword to the current Historic England guidance which states that:

*'Change is inevitable. This guidance sets out ways to manage change in a way that conserves and enhances historic areas through conservation area designation, appraisal and management'.<sup>17</sup>*

The guidance of the revised National Planning Policy Framework also states that:

*'Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably'.*

That change to conservation areas does not equate to harm in law was also made clear in one of the key High Court judgements related to conservation areas by Lord Bridge, related to developments within conservation areas, *South Lakeland District Council vs. Secretary of State for the Environment*.

He stated that whilst all developments within a conservation area *'must give a high priority to the objective of preserving or enhancing the character or appearance of the area'*, where a development would not have any adverse impact and met other planning requirements:

*'.... One may ask rhetorically what possible planning reason there can be for refusing to allow it. All building development must involve change and if the objective of Section 277(8) [of the 1971 Planning Act, substantially the same as Section 72(1) of the 1990 Act] were to inhibit any building development in a conservation area which was not either a development by way of reinstatement or restoration on the one hand ('positive preservation') or a development which positively enhanced the character or appearance of the area on the other hand, it would surely have been expressed in very different language...'.<sup>18</sup>*

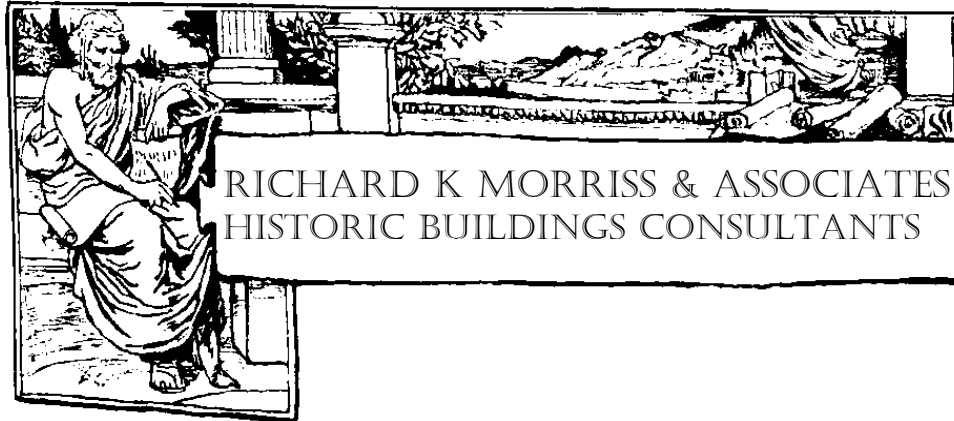
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<sup>17</sup> EH

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## *The Consultancy*

*Richard K Morriss founded this Consultancy in 1995 after previously working for English Heritage and the Ironbridge Institute of the University of Birmingham and spending eight years as Assistant Director of the Hereford Archaeology Unit. Although Shropshire-based the Consultancy works throughout the UK on a wide variety of historic buildings for clients that include the National Trust, the Landmark Trust, English Heritage, the Crown Estates, owners, architects, local authorities, planning consultants and developers. It specialises in the archaeological and architectural analysis of historic buildings of all periods and planning advice related to them. It also undertakes heritage impact assessments and broader area appraisals and Conservation Management Plans.*

*Richard Morriss is a former Member of the Institute of Field Archaeologists and of the Association of Diocesan and Cathedral Archaeologists, currently archaeological advisor to four cathedrals and author of many academic papers and of 20 books, mainly on architecture and archaeology, including *The Archaeology of Buildings* (Tempus 2000), *The Archaeology of Railways* (Tempus 1999); *Roads: Archaeology & Architecture* (Tempus 2006) and ten in the *Buildings of series: Bath, Chester, Ludlow, Salisbury, Shrewsbury, Stratford-upon-Avon, Warwick, Winchester, Windsor, Worcester* (Sutton 1993-1994). The latest work is an Historic England funded monograph on the *Houses of Hereford* (Oxbow 2018).*

*He was a member of the project teams responsible for the restoration of Astley Castle, Warwickshire, winner of the 2013 RIBA Stirling Prize; the restoration of the Old Market House, Shrewsbury, winner of a 2004 RIBA Conservation Award; and Llwyn Celyn, Monmouthshire, winner of the RICS Conservation Project of the Year 2019. He has also been involved in several projects that have won, or been short-listed for, other awards including those of the Georgian Group for Mostyn House, Denbigh; St. Helen's House, Derby; Radbourne Hall, Derbyshire and Cusgarne Manor, Cornwall.*



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**RECEIVED**

By Liv Rickman at 3:52 pm, Aug 14, 2023

**APPROVED**

By Lisa Walton at 11:27 am, Dec 05, 2023

## PRELIMINARY ROOST ASSESSMENT (PRA)

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### WINGLETANG, ST MARY'S, ISLES OF SCILLY



*Client: EGV Consultancy Ltd*

*Our reference: 23-7-3*

*Planning reference: Report produced in advance of submission*

*Report date: 23<sup>rd</sup> July 2023*

*Author: James Faulconbridge BSc (Hons), MRes, MCIEEM*

*Contact: ios.ecology@gmail.com*

## Executive Summary

### Bats - Results and Findings

The preliminary roost assessment (PRA) survey concluded that there was **negligible bat roosting potential** in relation to the structures to be impacted by the proposed works. This assessment relates solely to those aspects of the structure within the scope of the survey – it does not represent a comprehensive assessment of the property.

Whilst a negligible potential is concluded, it is noted that there is a small chance of opportunistic/transient use of individual discreet features. This potential is not sufficient to justify further surveys or significant constraints to works, but should be taken into account in accordance with the precautionary principle.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines 3rd edition<sup>1</sup>

### Bats - Further Survey Requirements

No further surveys are recommended – the PRA conclusion does not require further survey information with regards to bats in order to inform a planning application.

### Bats - Recommendations

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations, especially if the condition of structural features were to change. A specific methodology is provided in Appendix 2.

### Nesting Birds - Results and Findings

The survey did not identify any suitable nesting habitat for breeding birds associated with the elements of the structure under assessment.

### Nesting Birds - Recommendations

If the applicant wishes to provide biodiversity enhancement, nest boxes could be erected either on the dwelling or within the residential garden. Guidance on suitable specifications is provided.

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<sup>1</sup> Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3<sup>rd</sup> edn). The Bat Conservation Trust, London.

# PRELIMINARY ROOST ASSESSMENT (PRA)

<b>Planning Authority:</b> Isles of Scilly	<b>Location:</b> SV 90392 10507	<b>Planning Application ref:</b> Report produced in advance of application
<b>Planning application address:</b> Wingletang, Church Street, Hugh Town, St Marys		
<b>Proposed development:</b> The proposed works were identified in plans provided by the project's architect Chris Carr. The proposals include: <ol style="list-style-type: none"><li>1) Removal and reinstatement of top-floor walls closer to the eaves to extend the living space;</li><li>2) Like-for-like replacement of existing roof lights;</li><li>3) Replacement of windows and doors in the southern aspect of the flat-roof component of the property, including both like-for-like replacements and changes in layout;</li></ol> For clarity and brevity, this report focusses on those aspects of the property which would be directly or indirectly impacted by the above proposals only. It does not represent a comprehensive assessment of the property as a whole, much of which would not be affected by the proposals.		
<b>Building references:</b> The building comprises two distinct elements: <ul style="list-style-type: none"><li>• Main pitched-roof property;</li><li>• Flat-roof extension.</li></ul> These structural elements are identified in the plans provided in Appendix 1.		
<b>Name and licence number of bat-workers carrying out survey:</b> James Faulconbridge (2015-12724-CLS-CLS)		
<b>Preliminary Roost Assessment date:</b> The visual inspection was undertaken on 19 <sup>th</sup> July 2023 in accordance with relevant Best Practice methodology <sup>2</sup> .		
<b>Local and Landscape Setting:</b> The property is a mid-terrace Bed & Breakfast located on Church Street in Hugh Town. The road runs to the north of the property with a small garden to the south with further residential buildings beyond. The immediate eastern and western aspects are bounded by further properties within the terrace.  The central location of the property within Hugh Town means that the dominant local land use is built environment. This is predominantly residential with small-scale commercial businesses		

<sup>2</sup> Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3<sup>rd</sup> edn). The Bat Conservation Trust, London.

also represented. This densely built environment extends around 300m to the west and around 500m to the east. Some of these adjacent properties have associated areas of garden or green space, but the centre of Hugh Town is relatively densely developed. The location of the building is within the narrowest part of Hugh Town with Town Beach and Porthcressa lying 75m to the north and 50m to the south respectively.

The closest areas of green space are the Parade Gardens 10m to the north-west; and the grassed area adjacent to Porthcressa Beach lying to the south-west. Both of these areas are dominated by close-mown amenity grassland with ornamental planting, reflecting their popularity with visitors and fundamentally municipal function. The closest areas of semi-natural habitat are associated with the Garrison approximately 250m to the west; and the land around Buzza Tower approximately 250m to the south-east.

### **Building Description**

There are two distinct structural elements which comprise the Wingletang Bed & Breakfast. Due to their varying styles of construction, these are considered independently in the following description and are identified in the map provided in Appendix 1.

#### *Main pitched-roof Building*

The main building is a granite-block mid-terrace property with residential accommodation built into the dormer roof. The only proposals affecting this portion of the property relate to the replacement of existing roof-lights like-for-like and the removal and reinstatement of internal top-floor walls towards the eaves. The following description therefore focusses on the top floor and roof of the property.

Internally, the majority of the top floor is converted to residential accommodation. There are very minor sealed voids above the ceiling at the apex in places, though these would be too small to allow internal flight by bats. There is eaves storage built into the dormer roof. These voids are accessed by multiple hatches as several physically separated voids are created by the intervening stairways and dormer windows. The voids are well-insulated throughout including insulation between rafters with other minor gaps filled. There is rudimentary under-boardings of the ceilings within these voids using plasterboard sheets. Whilst the voids are not part of the regular residential accommodation, they are carpeted and used for regular storage of various items indicating routine access. No evidence of bats or other species (such as rodents) were identified within these voids and there appeared little or no scope for bats to access these spaces.

The roof itself is wet-laid scantle tiles and appeared to be in excellent condition, especially around the existing roof-light windows which are to be replaced. The flashing around these windows was tightly sealed and no potential features for use by bats could be identified in these locations. There are occasional examples of missing mortar beneath tiles, though these appear largely superficial.

#### *Flat-roof extension*

A two-storey flat-roof extension is present on the southern aspect of the property. This is rendered white and both the structure and finish appears to be in good condition.

The windows and doors on the southern aspect are uPVC and well-fitted within their frames – no gaps around frames or sills could be identified. There is a lean-to on the eastern edge of the extension which has an access door. This component of the structure is timber-clad but the cladding is tightly fitted with no gaps noted.

#### *Proximate structural features not directly affected by proposals*

The fascia running along the eaves of the flat-roof building and the lean-to have minor gaps in places – these gaps were inspected with a torch and binoculars but no evidence of bats was



noted. They could however theoretically provide roosting opportunities for bats.

### **Survey Limitations**

There were no significant limitations to access or survey inspection which might affect the evidence base or subsequent conclusions of this survey.

### **Assessment of Potential for use by Roosting Bats**

No evidence of current or historic use by bats was identified during the survey and an overall **negligible potential** was determined; however it is noted that there is a small residual risk of opportunistic/transient use of the proximate structural features noted.

This assessment relates only to the aspects of the property subject to survey with regards to the proposals under consideration.

### **Recommendations and Justification (Bats):**

No further surveys are recommended – the conclusion of **negligible potential** relating to the structural elements impacted by the works does not require any further information with regards to bats in order to inform a planning application.

It is not recommended that any Planning Conditions are required with regards to bats in relation to the proposed works.

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. The potential for individual common pipistrelle bats to make use of minor features associated with adjacent structural elements of the building means that these features must not be impacted during works. This would require due care to avoid disturbance or accidental damage. Recommendations to ensure legislative compliance are provided in Appendix 2.

### **Assessment of Potential for use by Nesting Birds**

No suitable habitat for use by nesting birds was identified associated with the structural features which would be directly or indirectly impacted by the proposals.

### **Recommendations and Justification (Nesting Birds):**

There is no requirement to mitigate for loss of nesting habitat for breeding birds; however if the applicant wished to provide biodiversity enhancement measures, this could be achieved through the erection of bird boxes on the residential property or within the garden.

House sparrows nest communally and nest boxes could accommodate this, either through the installation of a single purpose-built nest box comprising several individual chambers with separate entrances, or the installation of 3+ nest boxes in close proximity. Nest boxes suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin also have a high likelihood of occupation.

Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of predation from cats.

Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB:

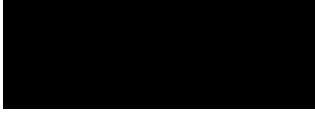
**Sparrows:** <https://www.rspb.org.uk/get-involved/activities/give-nature-a-home-in-your-garden/garden-activities/createasparrowstreet/>

**Other Species:** <https://www.rspb.org.uk/fun-and-learning/for-families/family-wild->

challenge/activities/build-a-birdbox/

**Signed by bat worker(s):**

**Date:** 23<sup>rd</sup> July 2023



APPENDIX 1  
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LOCATION PLAN AND PHOTOGRAPHS



**Map 01** – Illustrating the location of the property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



**Map 02** – Showing the main pitched roof mid-terrace property (red wash) with the flat-roof extension to the rear (blue wash). Please note boundaries are indicative and illustrative only.



**Photograph 1:** Showing the tight fitting of the existing rooflight windows and adjacent wet-laid scantle tiles.



**Photograph 2:** Showing the top floor of the property with some minor apex voids (as indicated) but with the ceiling built to the ridge beam in others.



**Photograph 3:** Showing an example of the eaves storage space, as viewed from the residential accommodation.



**Photograph 4:** Showing the typical interior of one of the eaves storage spaces.



**Photograph 5:** Showing the southern aspect of the property – the tightly fitted uPVC windows and doors are visible.



**Photograph 6:** Showing the access door in the lean-to component – the fascia above is indicated.



**Photograph 7:** Showing an example of the gaps behind the fascia on the southern aspect of the flat-roof component.

## APPENDIX 2

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### PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that the works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

#### **Relevant Legislation regarding Bats**

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

- (a) *To impair their ability -*
- *to survive, to breed or reproduce, or to rear or nurture their young; or*
  - *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*
- (b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the building:**

The area of the structure to be directly impacted by the proposals would not support roosting bats; however adjacent structural features do provide low potential and these are considered below.

Construction activities including scaffolding have potential to obstruct, disturb or damage adjacent structures if not planned appropriately. Contractors should therefore be aware of **where bats could occur in structures adjacent to the works site.**

There is low potential for individual bats to use transient roosting opportunities behind the fascia which runs along the eaves of the flat-roof extension and the associated lean-to.

The proposed works can approach, but must not impact upon or obstruct, these features in order for the assessment and working methodology outlined in this report to be valid.

Care should be taken during works to ensure that these structures are not disturbed, obstructed, or damaged. This involves careful design of scaffolding installation and may include a contractor briefing to ensure that those working on the project understand the requirement. Other measures such as a temporary sign, tape or physical barrier should be installed if deemed necessary.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.