



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No: P/23/080/FUL **Date Application Registered:** 19th October 2023

Applicant: Mrs Emma Johnson
Ajax Flat
Man Of War
10 Lower Strand
Hugh Town
St Mary's
Isles Of Scilly
TR21 0PS

Agent: Mr Mike Bradbury
Studio,
4 Gabriel Street,
St.Ives,
TR26 2LU

Site address: Ajax Flat Man Of War 10 Lower Strand Hugh Town St Mary's
Proposal: Replacement of defective timber windows on rear elevation with new uPVC windows.

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

C2 The development hereby permitted shall be carried out in accordance with the approved details only including:

- Plan 1 Location and Block Plan, drawing number 2038-P03 dated Sept 2023
- Plan 2 Proposed Plans, drawing number 2038A-P02 rev A, dated Aug 2023
- Plan 3 Planning Statement, dated September 2023

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

C3 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of the islands.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 the National Planning Policy Framework

2021.

2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. If the proposal relates to a Listed Building, you will not be able to apply for a non-material amendment and a new application for a revised scheme will be required. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
4. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. The fee is current £43 for each request to discharge condition(s) where the planning permission relates to a householder application. The fee is payable for each individual request made to the Local Planning Authority. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 14th December 2023



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mrs Emma Johnson

Please sign and complete this certificate.

This is to certify that decision notice: P/23/080/FUL and the accompanying conditions have been read and understood by the applicant: Mrs Emma Johnson.

- I/we intend to commence the development as approved:** Replacement of defective timber windows on rear elevation with new uPVC windows at: Ajax Flat Man Of War 10 Lower Strand Hugh Town St Mary's **on:**
- ~~I am/we are aware of any conditions that need to be discharged before works commence.~~
- ~~I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.~~

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: **Contact Telephone Number:**
And/Or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

**THIS LETTER CONTAINS IMPORTANT INFORMATION
REGARDING YOUR PERMISSION – PLEASE READ
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £43 per application
- Other permissions - £145 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £43 for householder type applications and £293 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

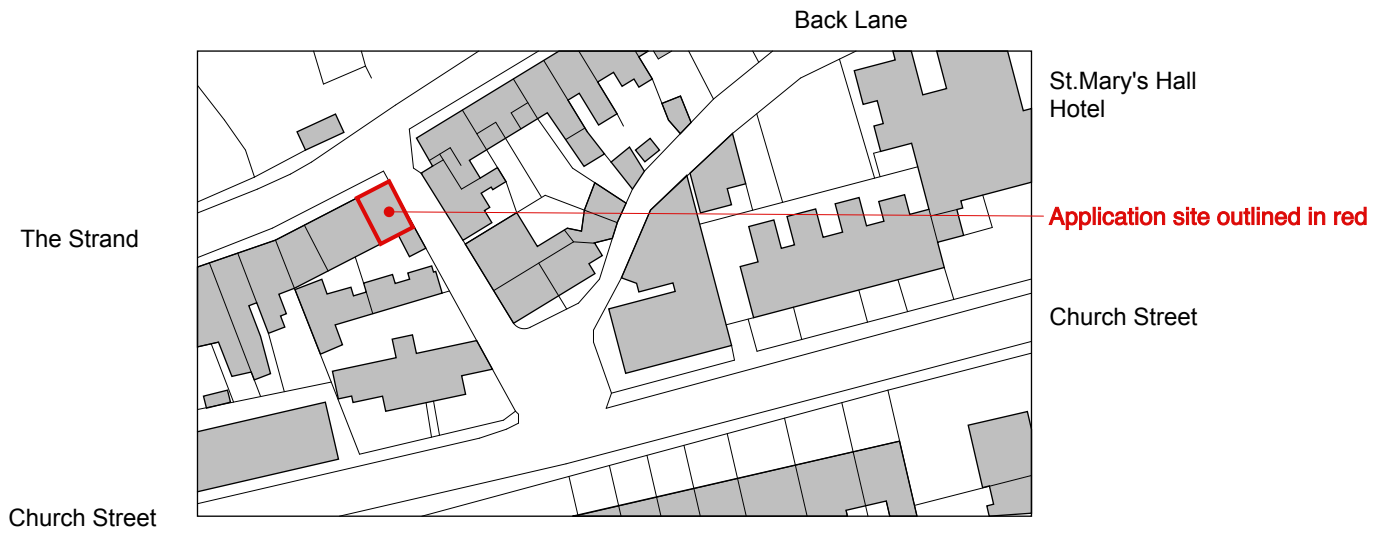
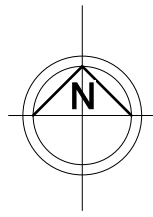
Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

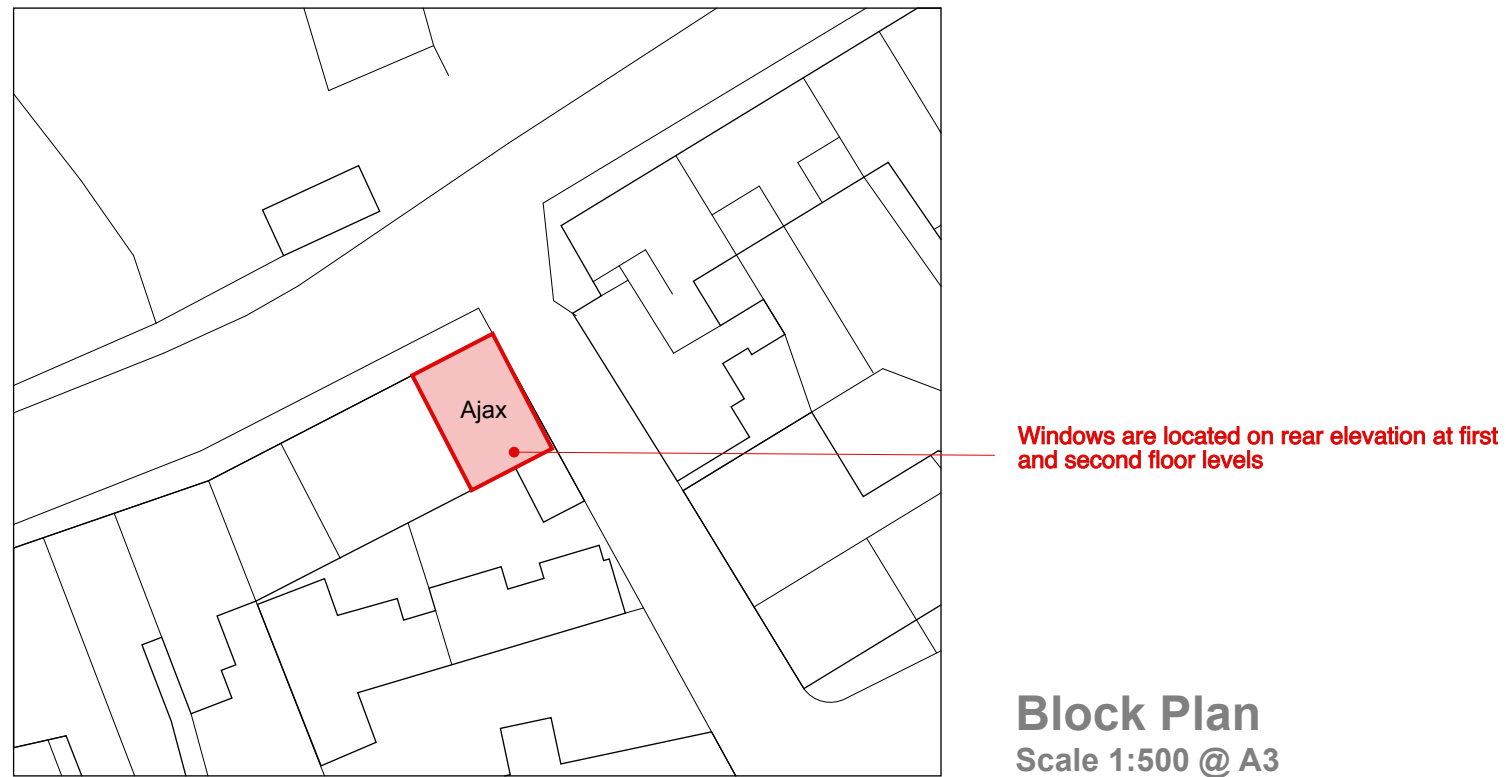
Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.



Location Plan
Scale 1:1250 @ A3



Block Plan
Scale 1:500 @ A3

Note: OS Map reproduced under 'Landmark'
Paper Map Copy Licence (PMCL) number
670690383.708409



Photos

Top: View from The Strand
Bottom: View from Wellcross

APPROVED
By Lisa Walton at 5:16 pm, Dec 14, 2023

RECEIVED
By A King at 8:59 am, Oct 25, 2023

NOTES

- 1 THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT LICENCE
- 2 ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR BEFORE COMMENCEMENT OF WORK AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT
- 3 NO RESPONSIBILITY CAN BE ACCEPTED FOR ERRORS ARISING ON SITE DUE TO UNAUTHORISED VARIATIONS FROM THE ARCHITECTS DRAWINGS.

AMENDMENTS

PLANNING

Studio St Ives
4 Gabriel Street
St Ives
TR26 2LU
01736 798427

**MIKE BRADBURY
DESIGN**

JOB

Alterations to Ajax
The Strand
Hugh Town
St. Mary's
Isles of Scilly for
Emma Johnson

TITLE

Location & Block Plan

DRNG. NO. 2038-P03

SCALE 1:625 @ A1
1:1250 @ A3

DATE Sept 2023

OFFICE USE / PRE-ISSUE

RECEIVED

By Liv Rickman at 9:17 am, Oct 19, 2023

APPROVED

By Lisa Walton at 5:17 pm, Dec 14, 2023

**Replacement of Windows at
Ajax
Lower Strand
Hugh Town
St.Mary's, Isles of Scilly, TR21 0PS
For
Emma Johnson**

PLANNING STATEMENT

September 2023

This statement supports a new planning application to remove defective timber windows on the rear elevation of Ajax on The Strand and replace them with low maintenance upvc windows. The report should be read in conjunction with application drawings numbers 2038A-P01 to P03 inclusive.

This report sets out the grounds for supporting this planning submission.



1. Existing Building

Ajax is a 2-storey holiday apartment on Lower Strand above Scilly Self Catering. It is marketed as a two-bedroom apartment sleeping 4 persons through the Scilly Self Catering website. As the details explain, the open plan living area has 'stunning, panoramic views right across the bay' where the sunsets can be watched. The end of terrace property is very robustly constructed from natural granite and has a fibre cement slate roof incorporating dormers front

and rear. The dormers are set within the roof and the ridges are lower than the main roof-line. On the back elevation, three windows are combined into one large dormer. Ajax appears to be one of three terraced properties on The Strand constructed at the same time, sharing similar architectural features – such as the ground floor bay windows on the front elevation.

The existing timber windows on the back elevation are unfortunately in a poor state of repair and are showing signs of rotting. Some windows are difficult to open and the hinges are failing. The external sills, in particular, are deteriorating. The windows are clearly at the end of their natural lifespan. Unfortunately, as the windows are at first and second floor levels, they are difficult to reach. Ladders are no longer an acceptable safe means accessing buildings so scaffold would need to be erected in Tom Chudleigh's Yard for timber repairs or re-staining. For this reason, it has not been possible to take close-up photos of the rear elevation windows so the images below are from the inside of the apartment.

The property is not listed but it is, nevertheless, in a prominent location in Hugh Town and is in the island protected AONB.



Above: Internal views of the first-floor rear windows

2. Proposals

The applicant is keen to maintain her building properly in the interests of visiting holidaymakers and the wider community. The neighbouring terraced building has replaced similar rear elevation windows with brown uPVC units, creating something of a precedent. The reason for the installation on the inaccessible rear elevation is clear. UPVC windows are durable, robust and long-lasting (up to 35 years). They are low maintenance and resistant to rot, corrosion and attack by wood boring insects. The more modern windows can be virtually indistinguishable from timber as the section sizes of frames and opening casements are very similar.

At Ajax, the proposal is to replace the two first floor timber windows and three second floor windows with brown uPVC units incorporating uPVC sills. The proportions of the new windows will exactly match the existing ones as the application drawings show. The timber windows will be carefully removed leaving the dormer construction intact and without affecting the first-floor openings. There are no plans to change the more prominent windows on the front elevation overlooking Holgate's Green and The Harbour.



Above: Close-up view of the upper floor timber windows from Tom Chudleigh's Yard. Note the mono-pitch ground floor building below the RH first floor window. Scaffold access to the windows above would clearly be complicated involving a flying scaffold construction from Wellcross to The Yard

3. Impact

The Ajax apartment is clearly visible on the front seaward elevation but less so on the rear where it is seen obliquely from the side street, Wellcross. As the photograph on the following page shows, the upper floor windows are high up within the roof structure, and the first-floor windows are set behind a granite yard wall. The most obvious feature of the building is probably the robust random rubble granite external walls that run seamlessly into the tall stone boundary wall. The south facing windows are relatively small with small glazed panes and a traditional vertical emphasis. The large roof dormer is clearly not an original feature of the building and has been added at some point. The pitched section of the dormer roof hides the flat roof behind.

From street level it is possible to see the poor condition of the existing windows and the discolouration of the staining if one was to scrutinise the building. Good quality uPVC windows with a consistent colour and finish would arguably be less noticeable and would not warrant a second glance. There would certainly be no detrimental visual impact on public vantage points. It is nevertheless important to get the detailing right and use high quality units with a guaranteed life-span. Windows will be double glazed and would incorporate thermal breaks in the framing.



Top: View from the Church Street end of Wellcross

Bottom: Front elevation. Note the identical three roof dormers and matching bay windows of Scilly Self Catering and the Bike Hire shop

4. Sustainability

Waste Management: The existing timber windows would be carefully removed, taking the sashes out first and then cutting out the frames. The glazed sealed units would be removed and taken to the Moorwell recycling centre where the glass would be crushed for re-use. The timber would be disposed of separately.

Long Life: The fact that uPVC does not rot, rust, blister or flake and is not affected by salt corrosion makes this product longer lasting than timber or aluminium alternatives. It will

therefore be many years before quality uPVC units will need to be replaced. The appearance of the windows will also be preserved.

Thermal Insulation: The U Value of uPVC windows will be in the region of 1.2Wm²K, complying with current Building Regulations. Casements will be tight fitting to avoid draughts. Poorly fitted windows and doors can account for around 20% of a property's heat loss so energy efficient new windows will reduce energy costs and create better internal living conditions. Condensation is not an issue with uPVC windows.

Sound Insulation: High levels of sound insulation can be achieved with uPVC windows. This may not be a major concern but Holgates Green at the front of Ajax does attract social gatherings especially during Gig week.

Recycling: When it does come to the end of the window's life span uPVC can be recycled up to 10 times. Although this form of recycling does not take place on Scilly at the moment, improved measures could be put in place in the future.

5. Summary

This is a modest planning application to replace tired timber windows on the back elevation of The Strand. There will be very little visual impact as a result of this application. The replacement uPVC units will be consistent with the windows in the neighbouring property – but using the latest manufacturing techniques and technologies to ensure that the best quality products are used. As the back of the building is so inaccessible, the specification of virtually maintenance free windows is the obvious way forward for this particular property.

Michael R Bradbury RIBA
Mike Bradbury Design
Studio St.Ives
4 Gabriel Street, St.Ives, TR26 2LU
Tel 01736 798427 / 07968 824045

September 2023

RECEIVED
By Lisa Walton at 9:19 am, Dec 01, 2023

APPROVED
By Lisa Walton at 5:17 pm, Dec 14, 2023

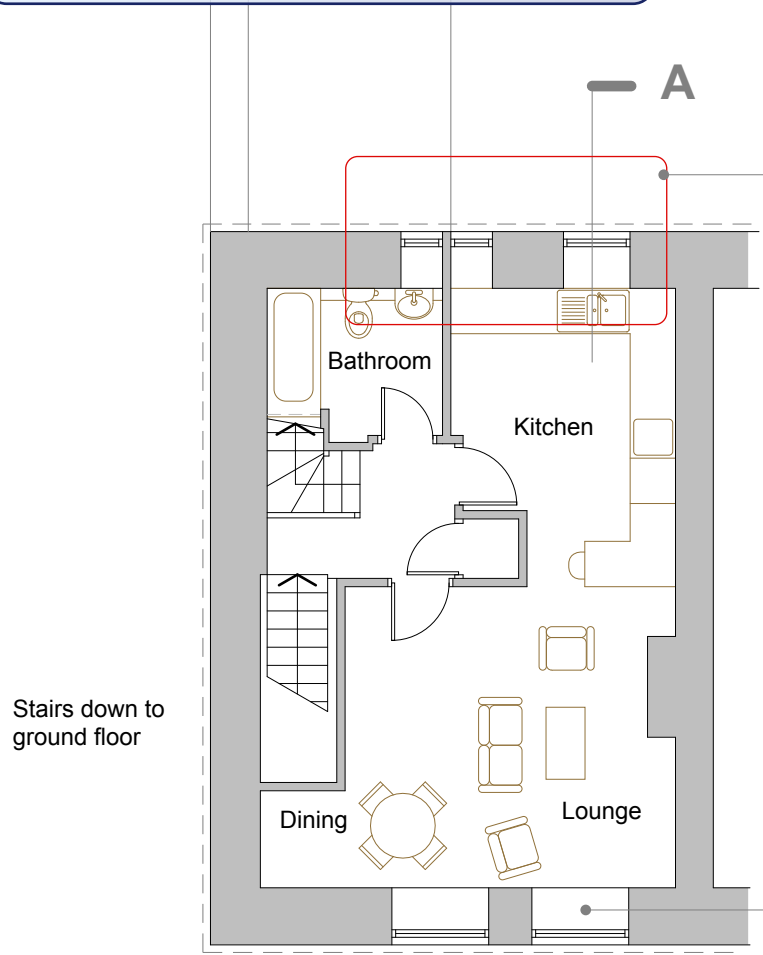


NOTES

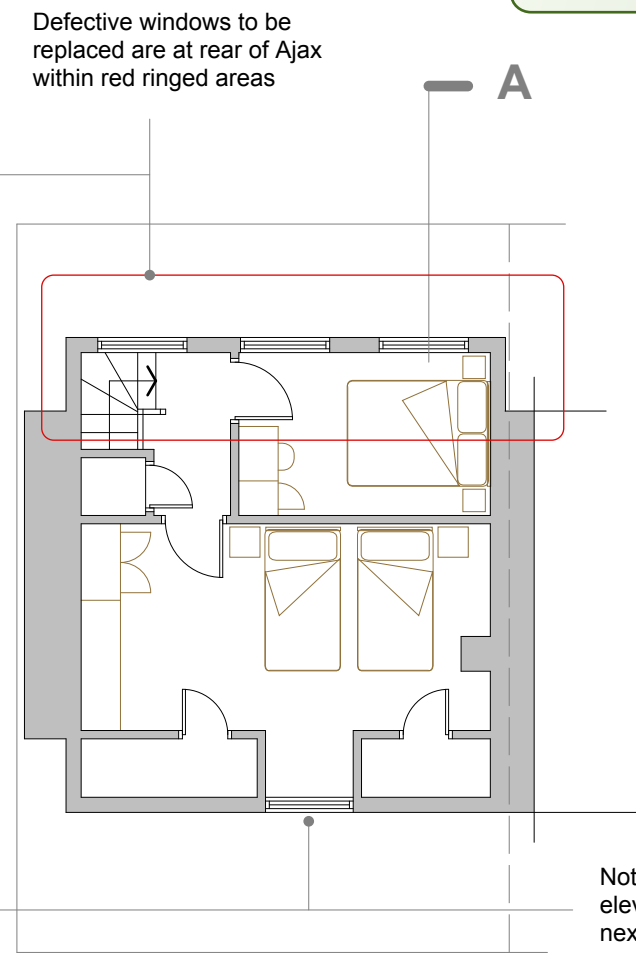
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AMENDMENTS

A Window details added
MRB 301123



First Floor



Second Floor

Defective windows to be replaced are at rear of Ajax within red ringed areas

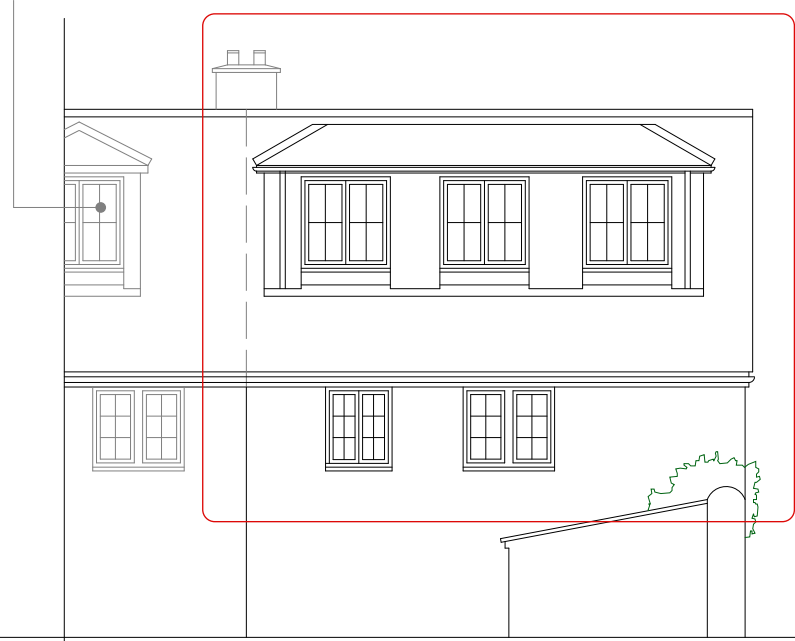
Note: Windows on front elevation facing The Strand are next excluded from this planning application

Window Details



Image of a brown uPVC window from the Rehau UK Ltd 70mm range installed in granite external walls similar to Ajax. Windows are available locally from C&R Plastics Ltd in Camborne

Brown uPVC windows in neighbouring property

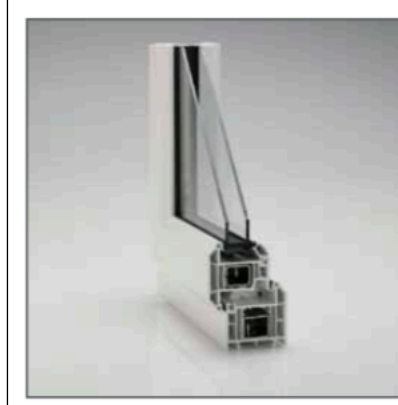


Part Rear Elevation

Replacement windows in brown upvc
Proportions to match existing style

Replacement windows in brown upvc
Proportions to match existing style

Section A-A



REHAU TOTAL70c is our original 70mm Chamfered window and door system but now with added multi-chambered profiles. This enables maximum thermal efficiency for windows without the need for more expensive glass, making them more cost effective and giving you even more savings on your energy bills. This system is available in French and casement windows, tilt & turn windows, horizontal pivot windows and bay and bow windows. Also, a choice of door styles such as residential, tilt/turn patio doors and French doors. Our chamfered system is simple yet elegant, helping to create beautiful contemporary frames for your home.

Typical section (note: illustration shows window in white not brown)

For further details of the Rehau Total 70 range refer to the Rehau website: www.rehau.com

PLANNING

Studio St.Ives
4 Gabriel Street, St.Ives TR26 2LU
01736 798427

MIKE BRADBURY DESIGN

Alterations to Ajax The Strand Hugh Town St.Mary's Isles of Scilly for Emma Johnson

Proposed Plans

DRNG. NO.	REVISION
2038A-P02	A

SCALE	DATE
1:50 @ A1 1:200 @ A3	Aug 2023

OFFICE USE / PRE-ISSUE