



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No: P/23/107/COU **Date Application Registered:** 21st December 2023

Applicant: Miss Keri Lock
2 Branksea Close,
Church Road,
St Mary's,
Isles of Scilly,
TR21 0ND

Site address: Shed Trench Lane Old Town St Mary's Isles of Scilly
Proposal: Change of use from a storage shed to a dog grooming salon

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- Plan 1 Location Plan, dated 21st December 2023
 - Plan 2 Block Plan, drawing number TQRQM23240144621175, dated 4th January 2024
 - Plan 3 Floor Plan, drawing number 01, dated 21/06/2023
 - Plan 4 Front/Rear Elevation, drawing number 02, dated 21/06/2023
 - Plan 5 Side Elevation, drawing number 03, dated 21/06/2023
 - Plan 6 Roof Plan, drawing number 04, dated 21/06/2023
 - Plan 7 Site Waste Management Plan
 - Plan 8 Flood Risk Assessment, dated 17th December 2023
 - Appendix 1 of the Preliminary Roost Assessment, Ref: 23-5-1 Dated 21/06/2023 (Precautionary method of Works)
- Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).
- C3 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**
Reason: In the interests of protecting the residential amenities of the islands.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2023.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here:
https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. This planning permission has been granted on the basis that the development relates strictly to the conversion of the building(s) as shown on the approved planning application drawings forming part of this permission. Any works of rebuild or new build other than as detailed on the approved planning application drawings and any departure from these drawings will require separate planning permission and the Local Planning Authority should be notified at once in the event in works being required or having taken place outside the scope of this planning permission as such works could have the effect of invalidating the planning permission. This planning permission does not grant or imply any form of building control approval for which separate notification will be required under the Building Regulations.
4. Registering for appropriate Business Rates/Council Tax: To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: revenues@scilly.gov.uk.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 4th March 2024



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Miss Keri Lock

Please sign and complete this certificate.

This is to certify that decision notice: P/23/107/COU and the accompanying conditions have been read and understood by the applicant: Miss Keri Lock.

1. **I/we intend to commence the development as approved:** Change of use from a storage shed to a dog grooming salon at: Shed Trench Lane Old Town St Mary's Isles of Scilly
on:
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name: _____ **Contact Telephone Number:** _____
And/Or Email: _____

Print Name: _____

Signed: _____

Date: _____

Please sign and return to the **above address** as soon as possible.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Town Hall, St Mary's, Isles of Scilly, TR21 0LW

☎01720 424455

✉planning@scilly.gov.uk

**THIS LETTER CONTAINS IMPORTANT INFORMATION
REGARDING YOUR PERMISSION – PLEASE READ
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorized work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £43 per application
- Other permissions - £145 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £43 for householder type applications and £293 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000.

Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall Council
Pydar House
Pydar Street
Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online: <https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

Location Plan

Site Address: Easting: 91326 Northing: 10329

Date Produced: 21-Dec-2023

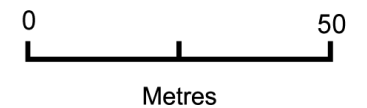
RECEIVED
By Liv Rickman at 9:35 am, Dec 21, 2023

Scale: 1:1250 @A4

APPROVED
By Lisa Walton at 5:13 pm, Mar 04, 2024



Planning Portal Reference: PP-12170819v1



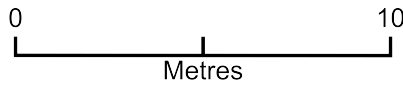
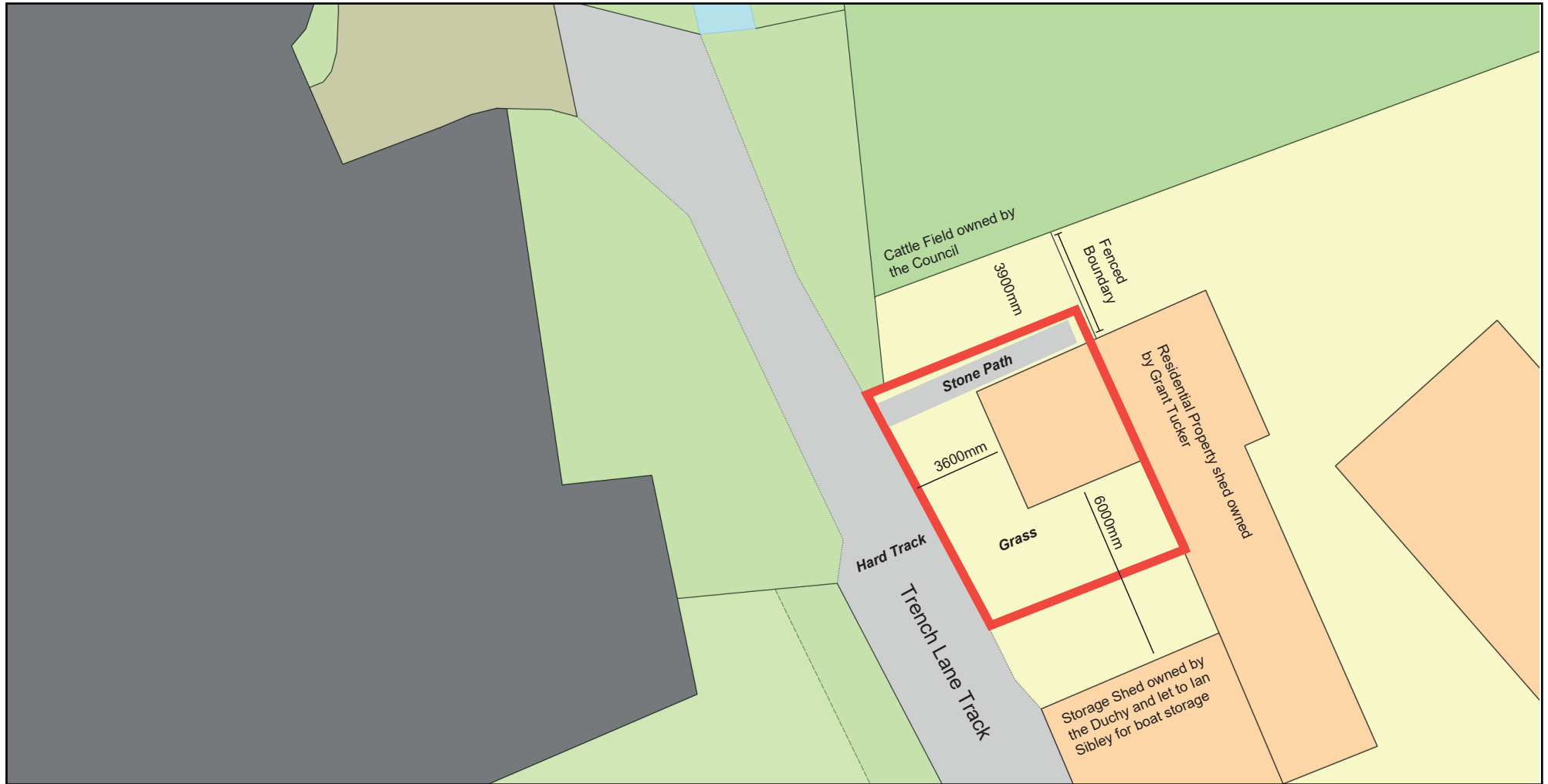
APPROVED

By Lisa Walton at 5:13 pm, Mar 04, 2024

Trench Lane TR21 OPA Grooming Salon

RECEIVED

By A King at 4:34 pm, Jan 04, 2024



Plan Produced for: Keri Lock

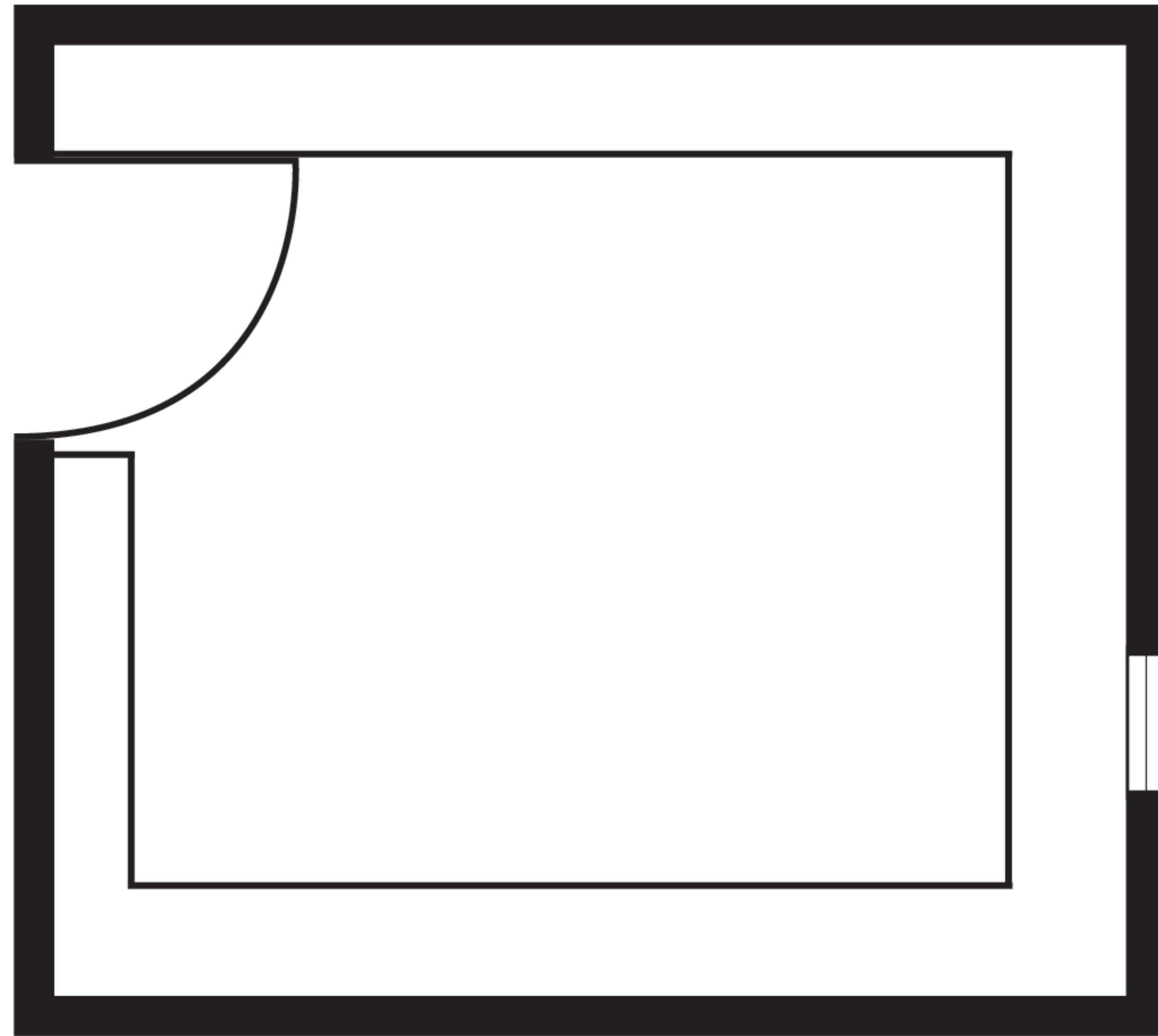
Date Produced: 28 Aug 2023

Plan Reference Number: TQRQM23240144621175

Scale: 1:200 @ A4

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EXISTING



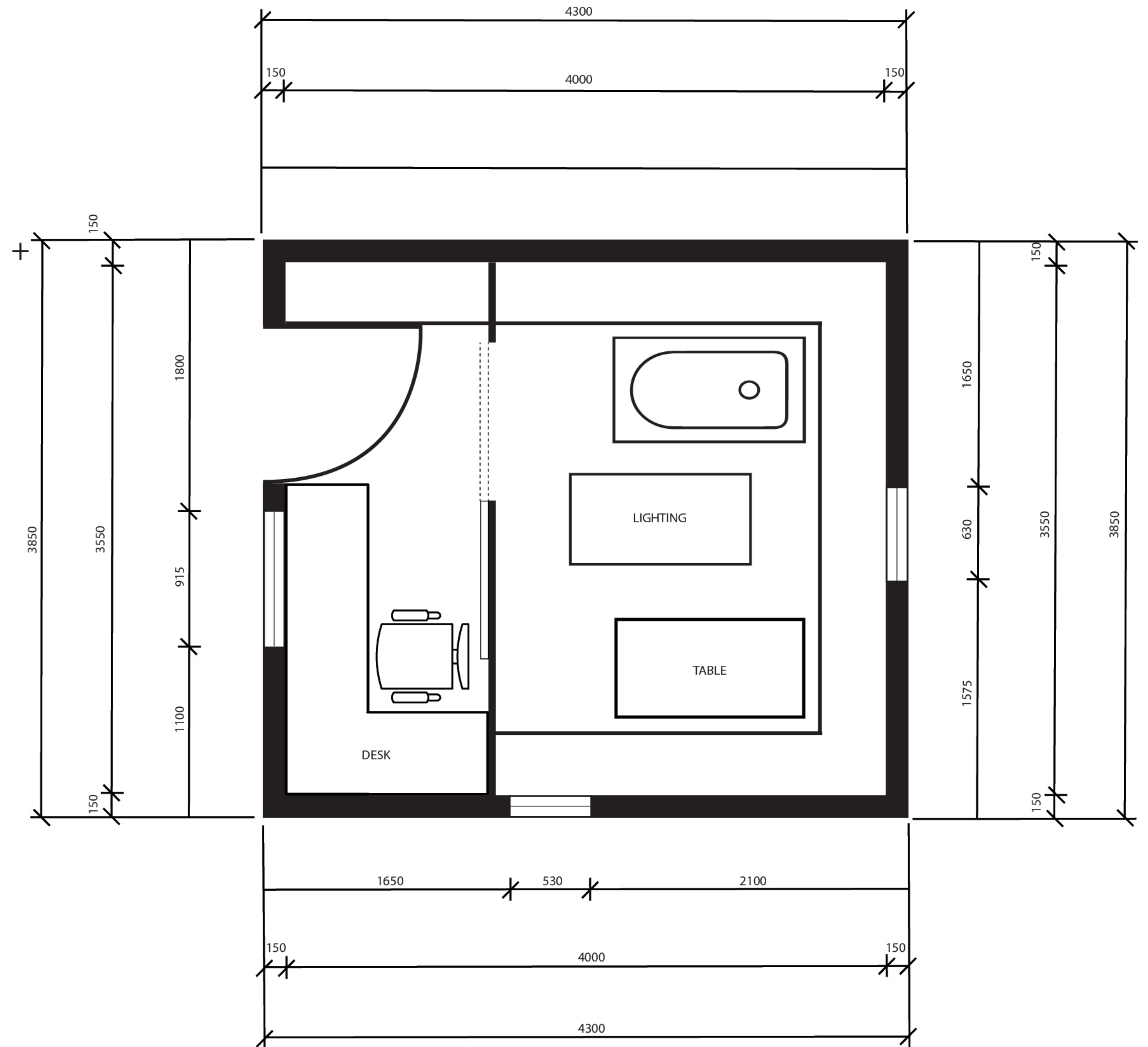
APPROVED

By Lisa Walton at 5:14 pm, Mar 04, 2024

RECEIVED

By Liv Rickman at 10:07 am, Dec 21, 2023

PROPOSED



FLOOR PLAN

DOG GROOMING SALON

SCALE 1:50

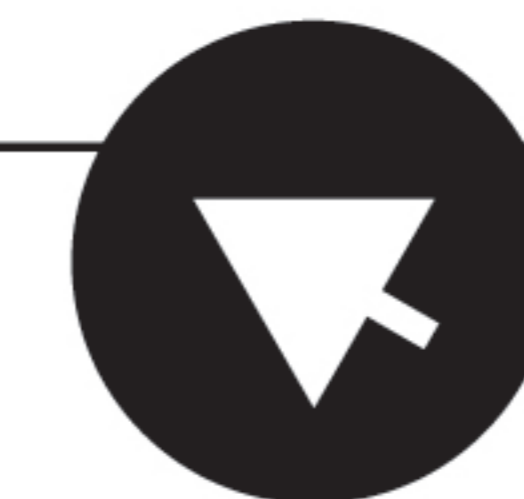
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NORTH

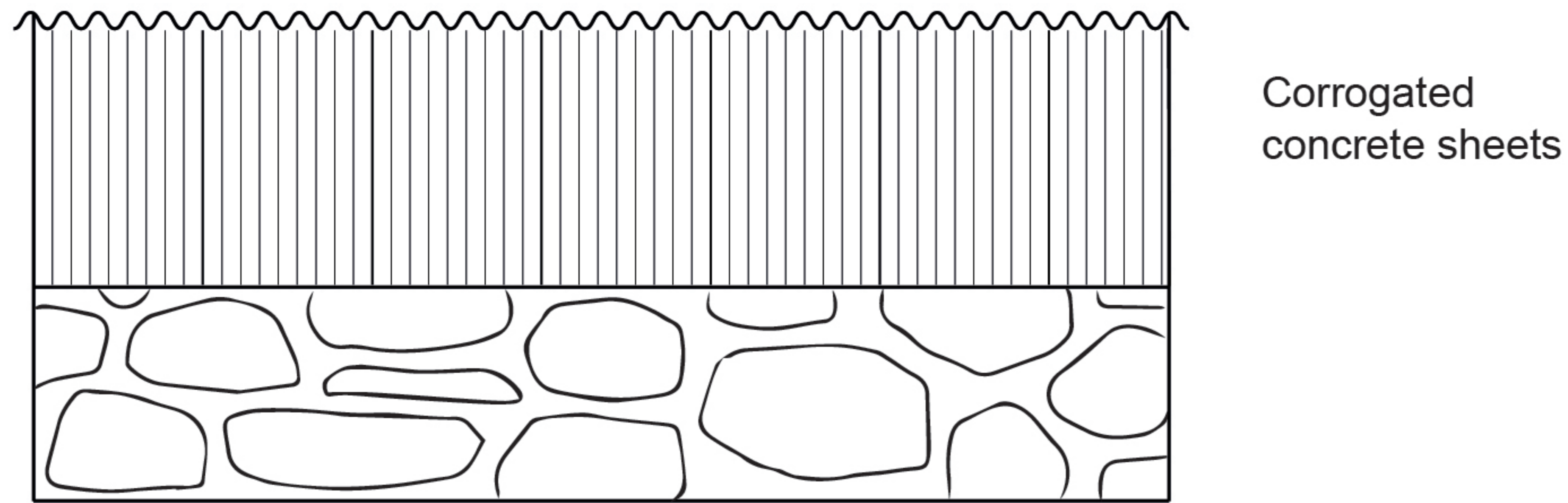
Keri Lock

21/06/2023

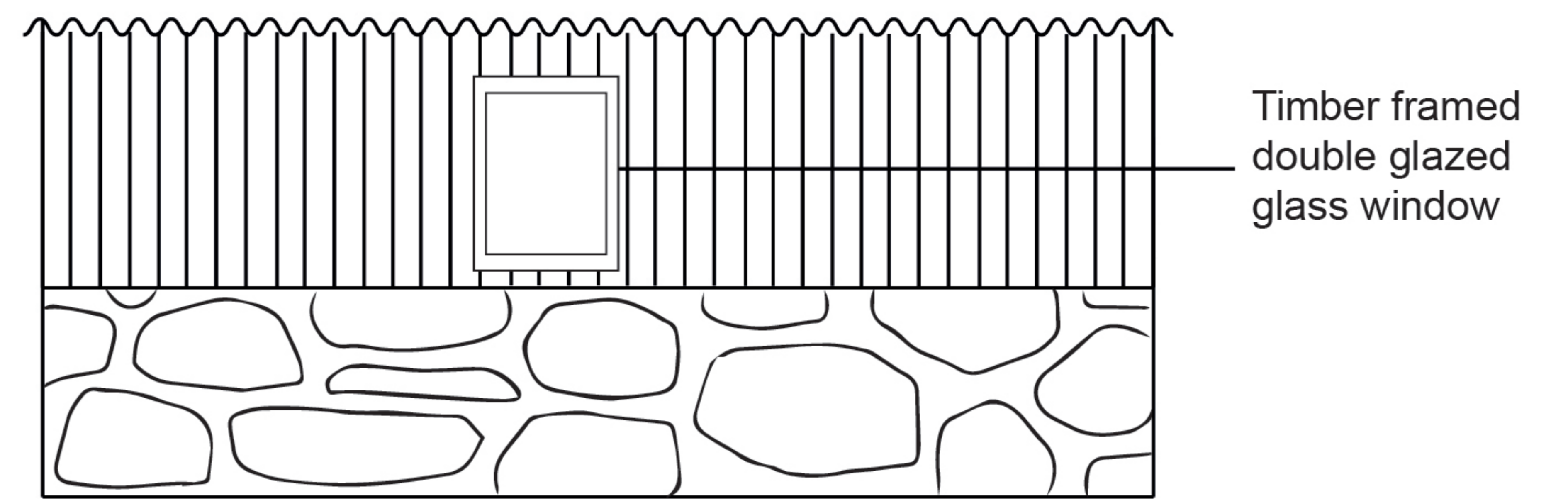
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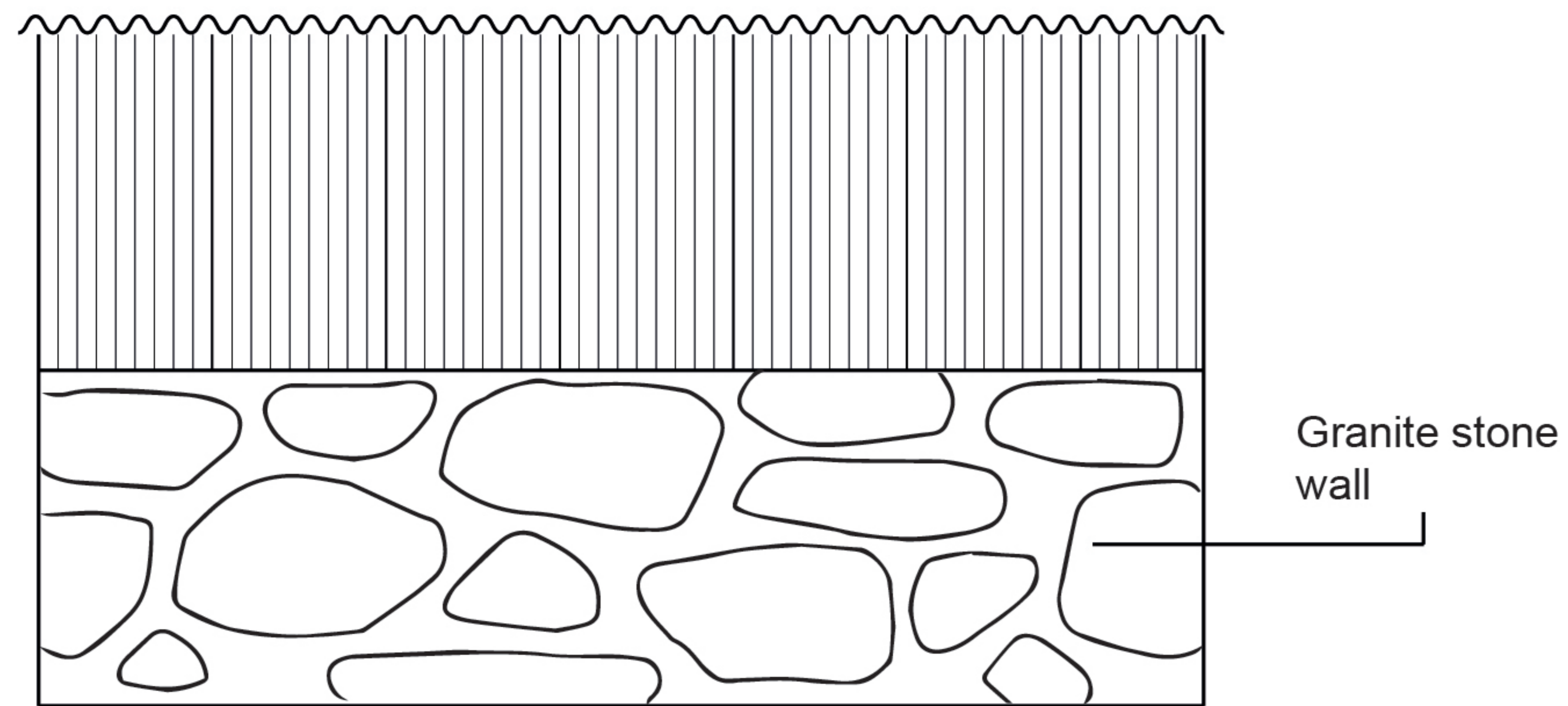
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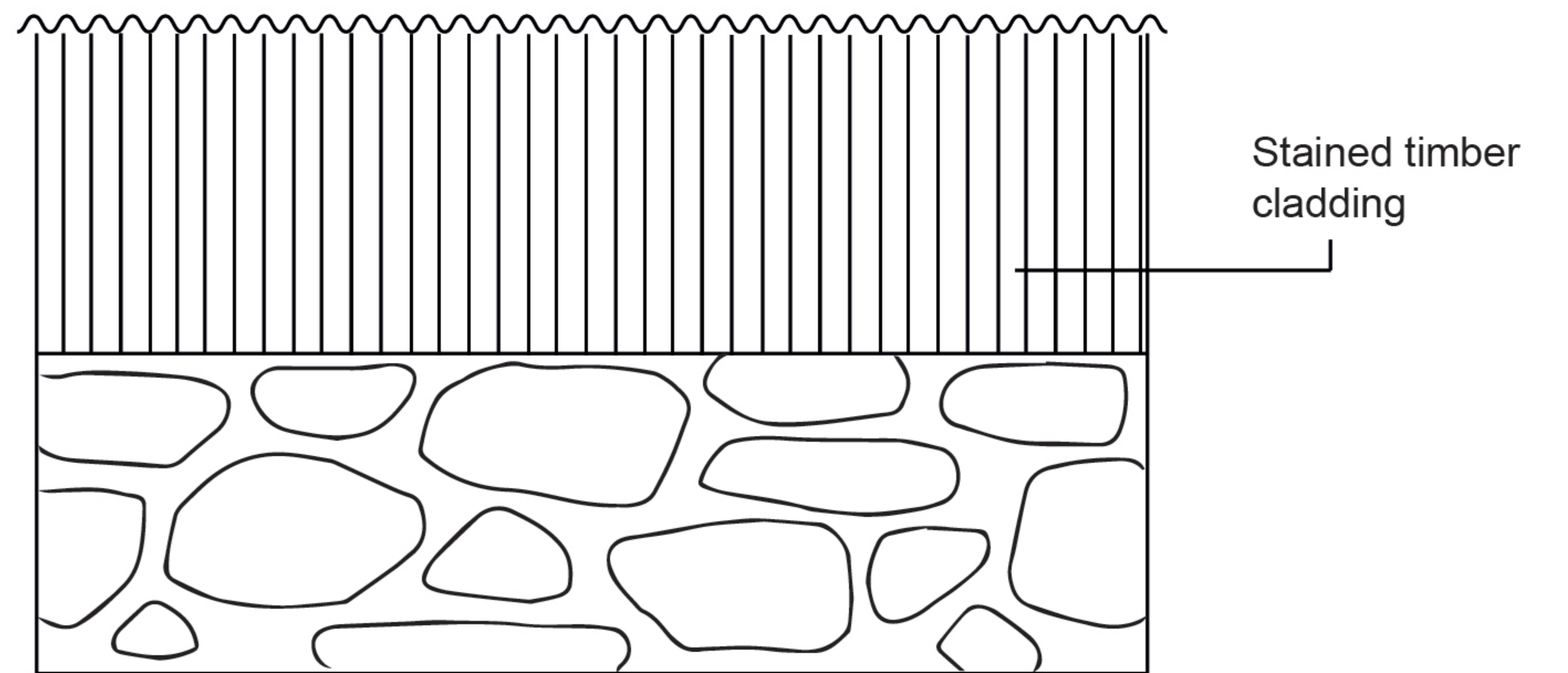
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED REAR ELEVATION

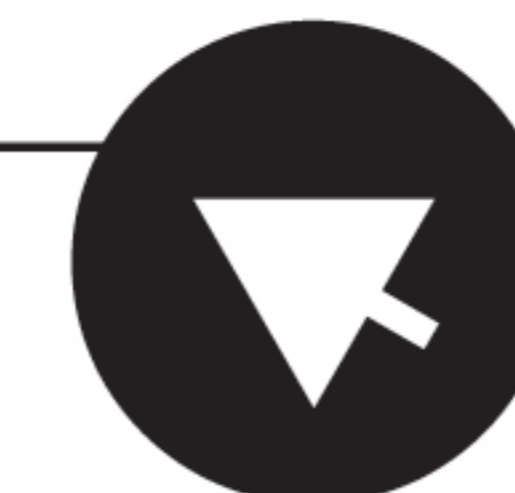


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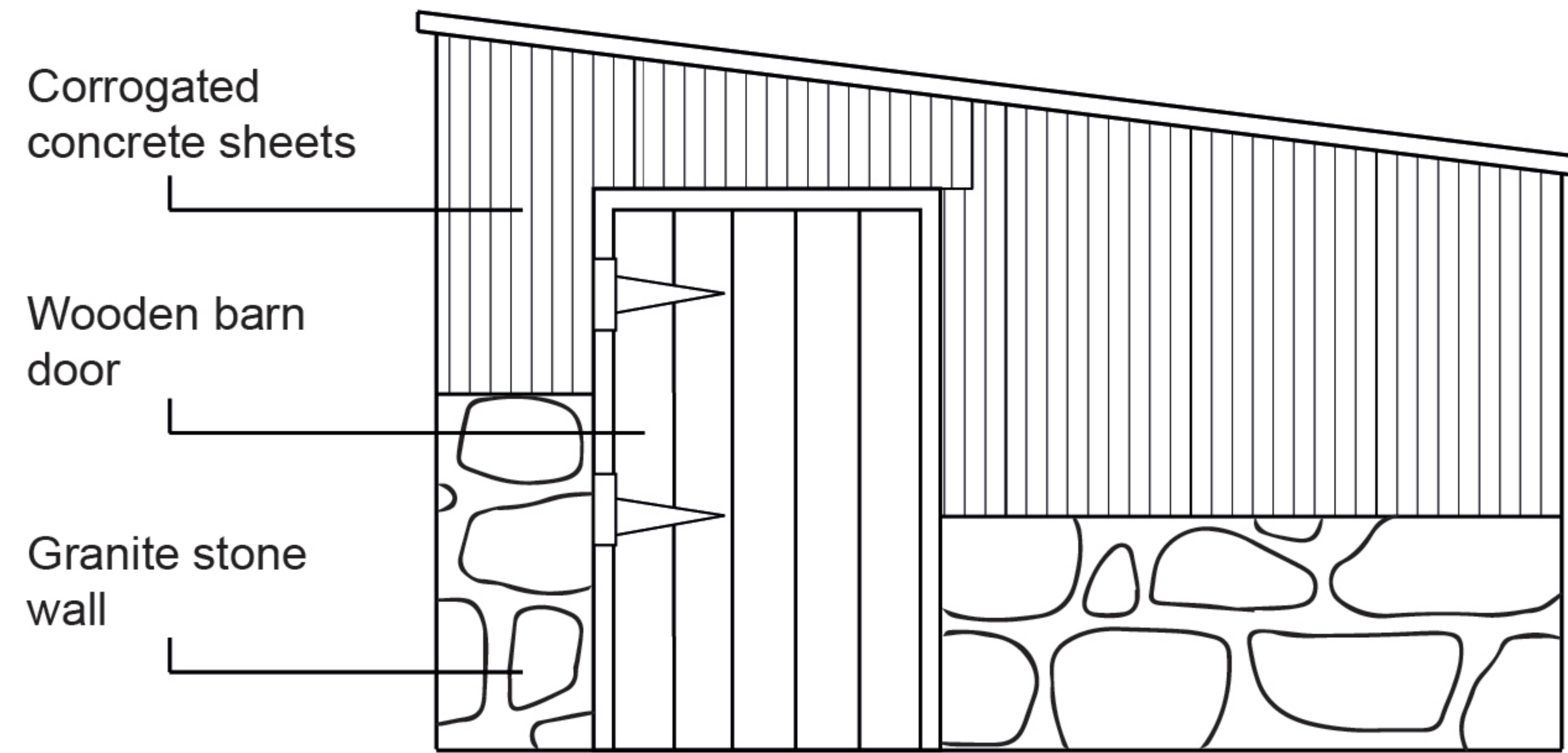
APPROVED
By Lisa Walton at 5:14 pm, Mar 04, 2024

FRONT/REAR ELEVATION PLAN DOG GROOMING SALON

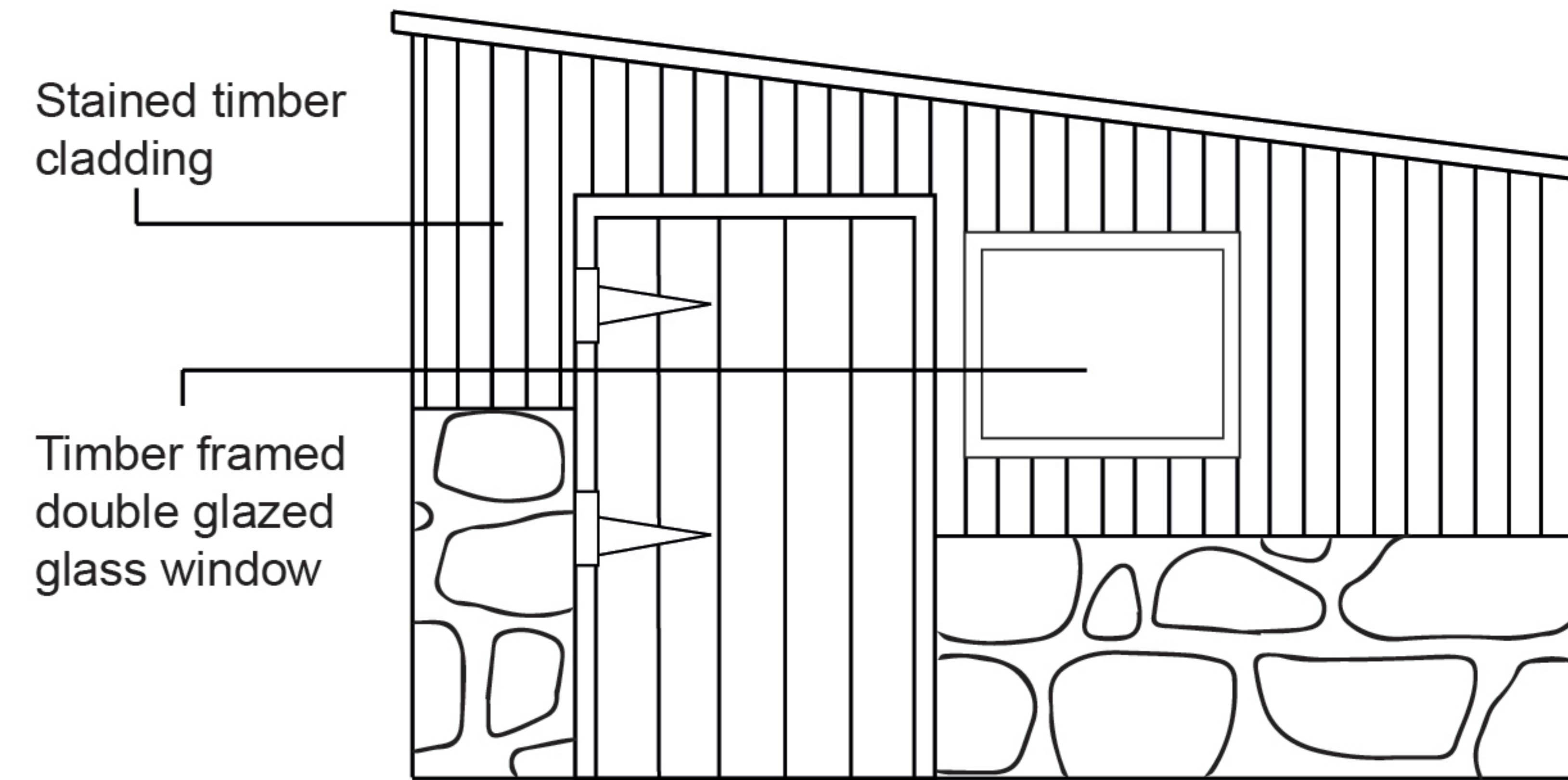
SCALE 1:50 SHEET SIZE: A4 NORTH Keri Lock 21/06/2023



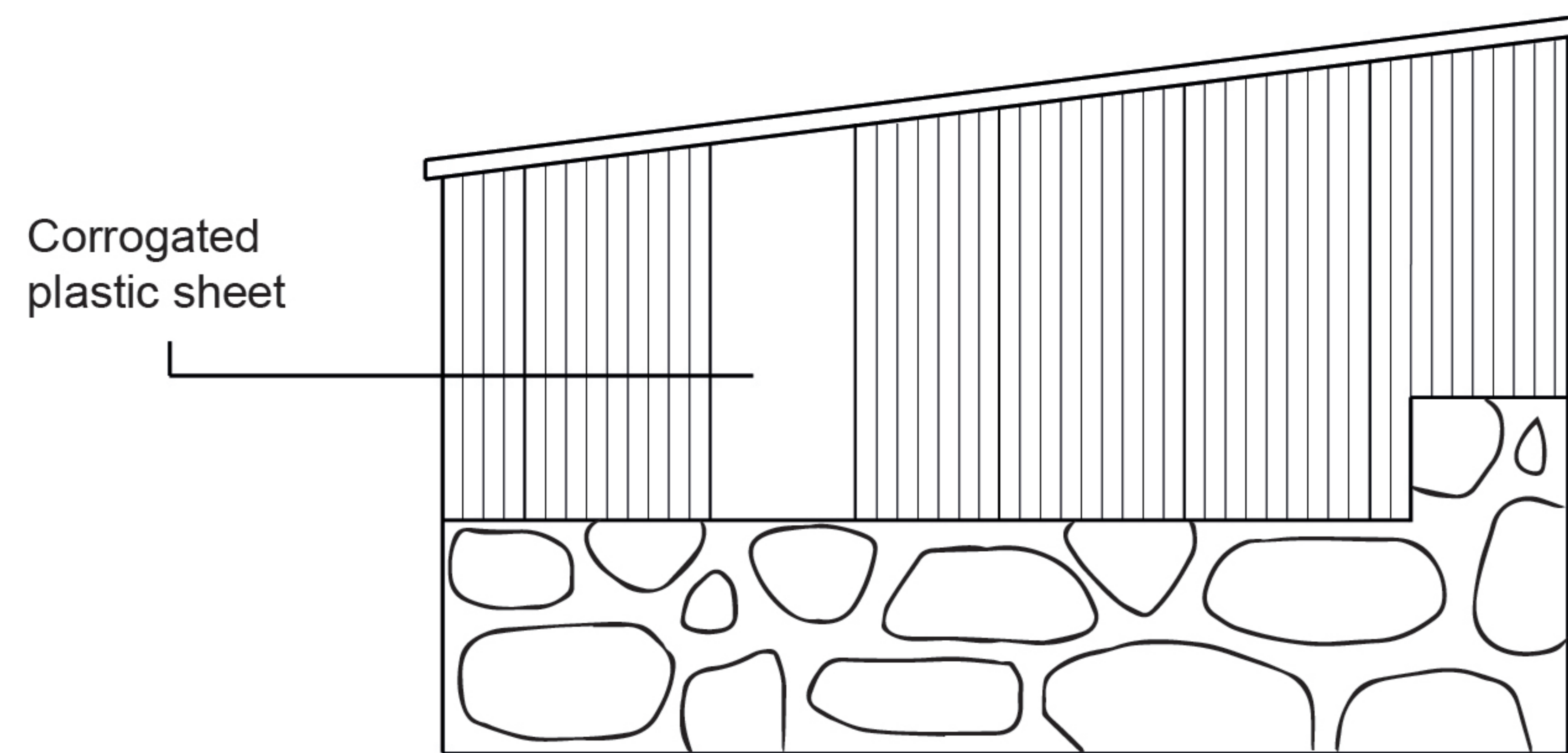
EXISTING LEFT SIDE ELEVATION



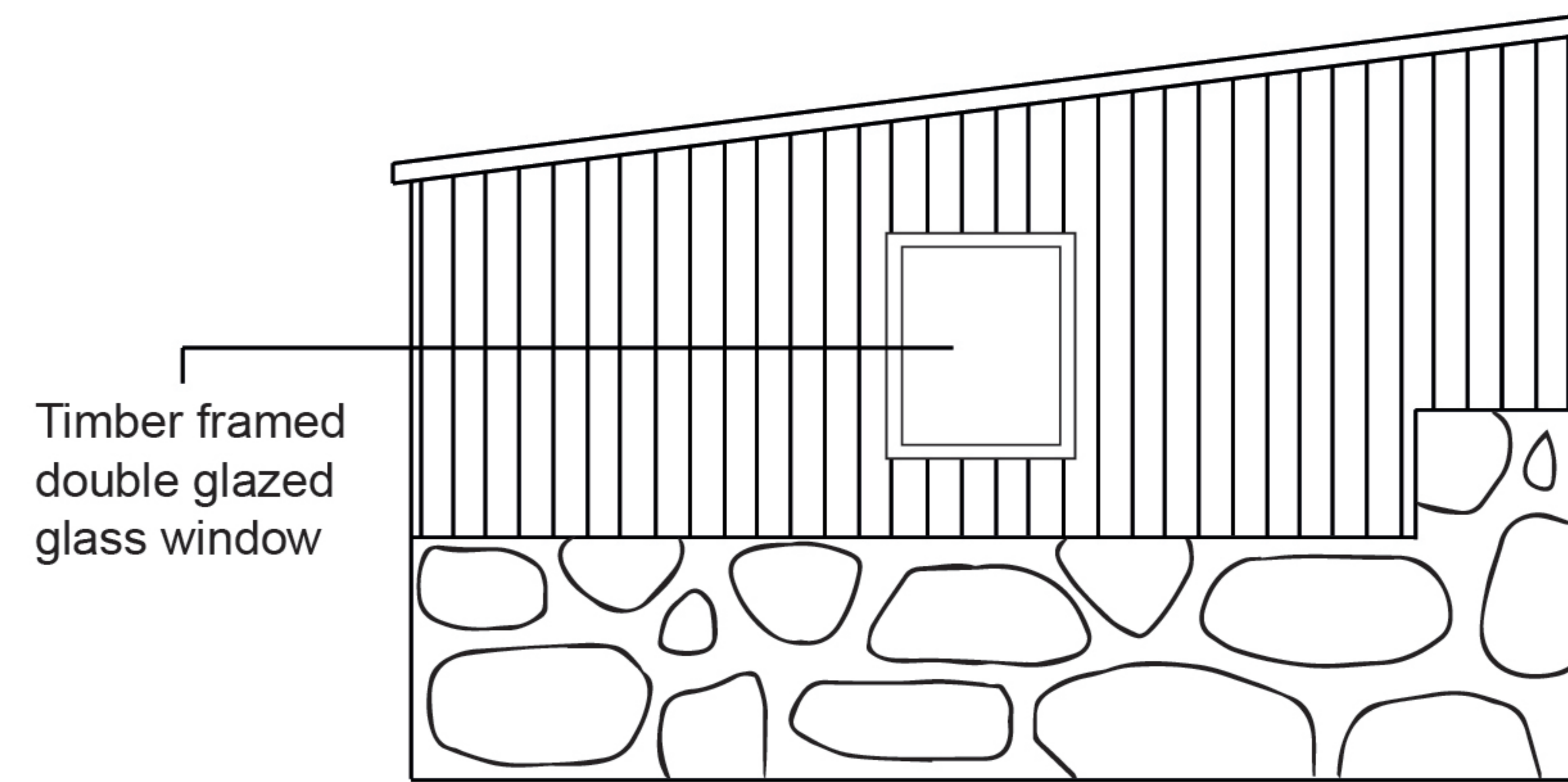
PROPOSED LEFT SIDE ELEVATION



EXISTING RIGHT SIDE ELEVATION

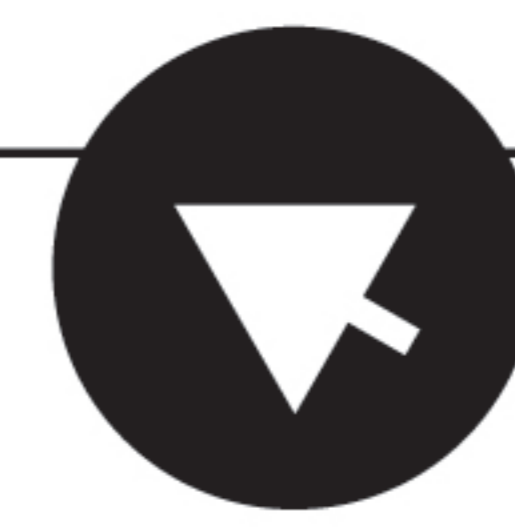


PROPOSED RIGHT SIDE ELEVATION

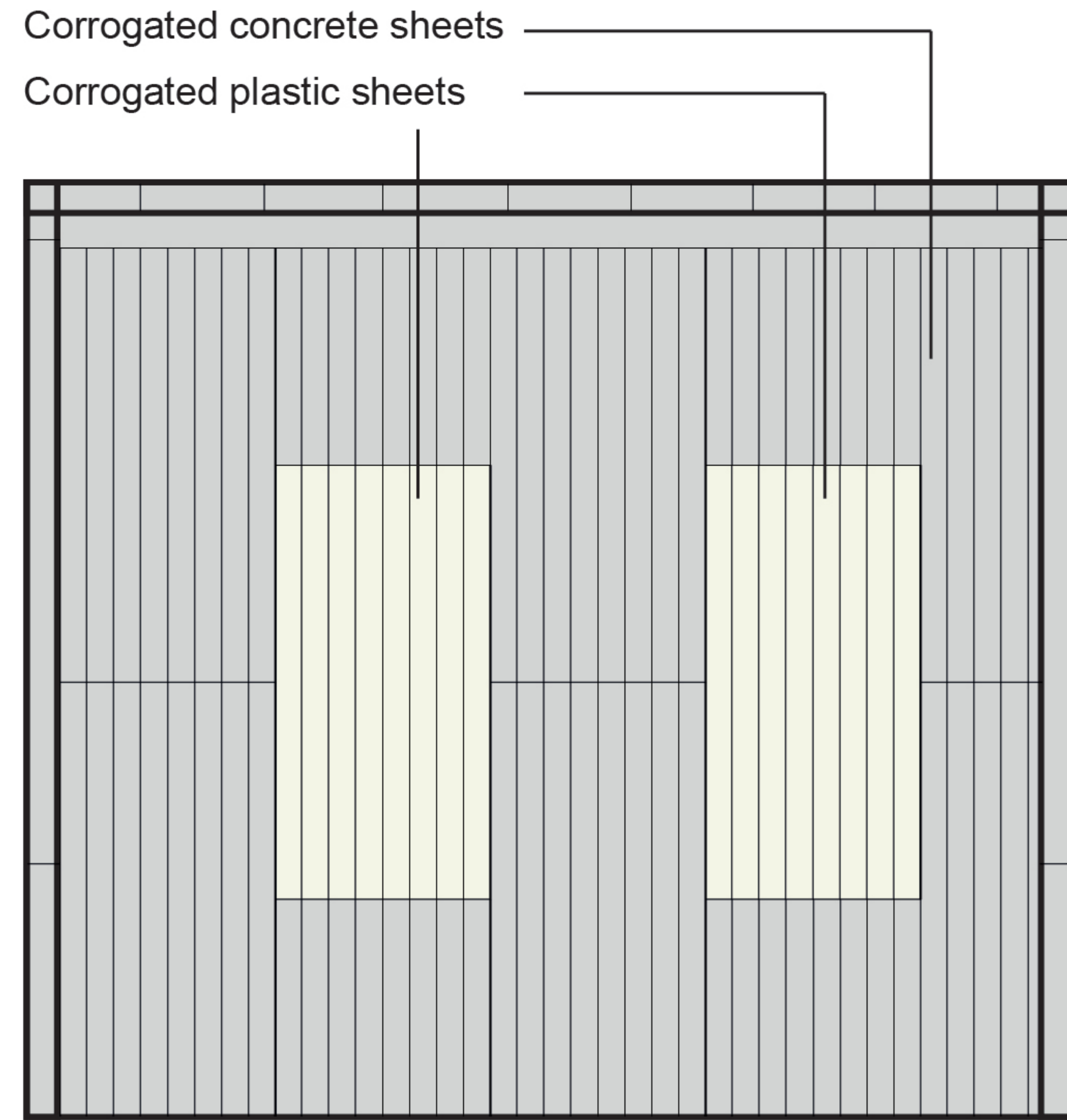


RECEIVED
 By Liv Rickman at 10:04 am, Dec 21, 2023

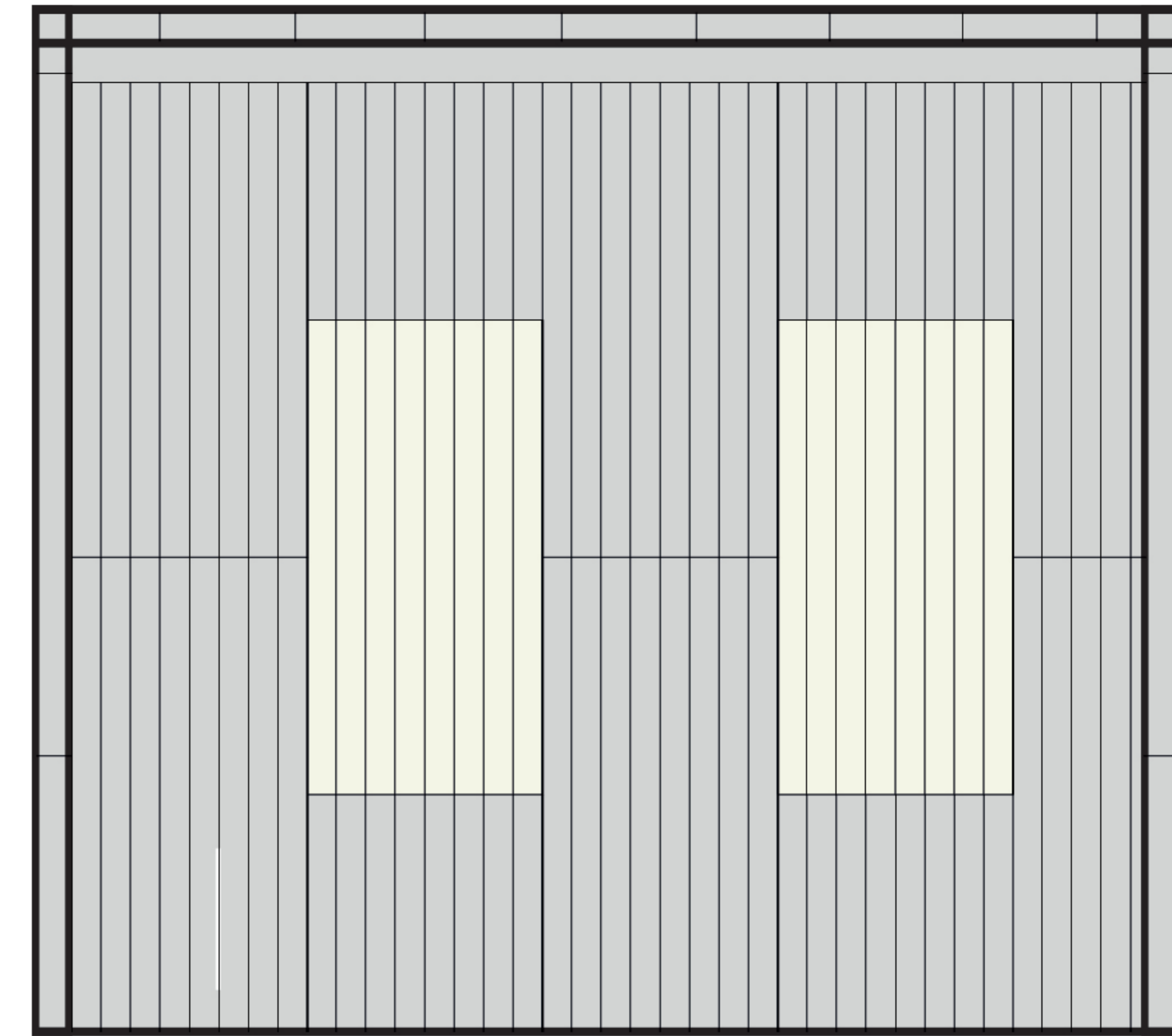
APPROVED
 By Lisa Walton at 5:15 pm, Mar 04, 2024



EXISTING



PROPOSED



RECEIVED
 By Liv Rickman at 9:51 am, Dec 21, 2023

APPROVED
 By Lisa Walton at 5:15 pm, Mar 04, 2024

ROOF PLAN

DOG GROOMING SALON

SCALE 1:50

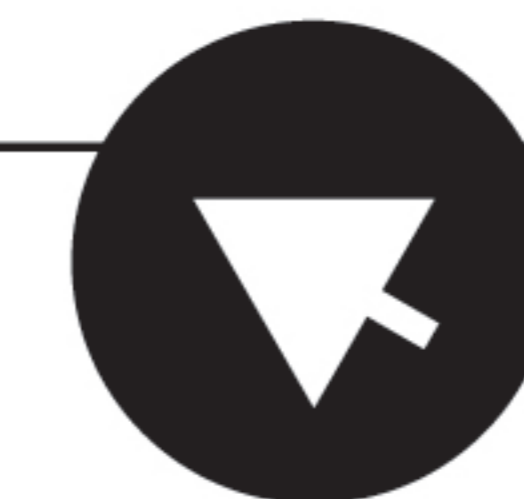
SHEET SIZE: A4

NORTH

Keri Lock

21/06/2023

04



RECEIVED

By Liv Rickman at 9:39 am, Dec 21, 2023

APPROVED

By Lisa Walton at 5:16 pm, Mar 04, 2024

17/12/2023

Waste Management Plan for Trench Lane TR21 OPA

Existing Measurements will not change after construction:

Width 3850mm (external dimension)

Length 4300mm (external dimension)

Source of Building Materials

Travis Perkins Building Supplies

Unit 18, Poniou Road

Long Rock Industrial Estate

Penzance

TR20 8HX

Before construction, I will get an approved contractor to check if the corrugated concrete sheets are asbestos. If so, I will get the approved contractor to dispose of them. If not, I will recycle where possible. Alternatively, they will be disposed of at Porth Melon Waste and Recycling site; along with the excavated stone.

All other existing materials will remain the same.

APPROVED

By Lisa Walton at 5:17 pm, Mar 04, 2024

RECEIVED

By A King at 9:17 am, Feb 05, 2024

17/12/2023

Flood Risk Assessment - Trench Lane TRR1 OPA

Trench Lane, being within the flood zone 3, has its potential risks. The building is 2.24m above sea level. High risk of flooding would occur during extreme weather conditions, particularly during a storm with heavy rainfall. This in combination with spring tides would be the highest chance of a flood. During the busiest months, likely in between April and September, the building will be occupied by me exclusively from 8am - 6pm six days a week; with various dogs visiting for 1-4 hours at a time throughout the day.

I will stay vigilant of weather/flood warnings and spring tide dates so I can prepare for potential risks by avoiding occupying the building at these times and rebooking appointments where needed. Warnings are given on Island FM, the Council website, the community message board/facebook page, and the Tourist information Centre. It is highly unlikely for the building to be occupied during high-risk periods. However, in the event of a flood/coastal storm whilst occupying the building, I, and the dog if with me, will exit the building through the entrance/exit door and head to the nearest safety point which in this case would be to head down Lower Moors nature trail; away from the coast.

During previous potential floods, ton sacks have been placed by the Council just beyond Trench Lane a couple hours before high tide to lower the risk. Removable flood barriers are currently being installed to further protect Trench lane. Installation is expected to be complete by May 2024.

I plan to acquire sandbags of my own (where possible) to place around the property to further protect it from potential flooding. Alternatively, I will look into installing a flood board like many other properties in Old Town. All sockets will be installed at a 600mm height or above to prevent substantial water damage and connected to the building from the ceiling. All piercings at risk of water exposure will be completely sealed so the interior of the building is protected from any stagnant water. All pipework will be fitted and sealed to resist water ingress. Backflow preventers will be fitted to the waste pipe. All electrical appliances will be stored above floor level when the salon is not in use.

The proposed maximum depth of excavation will not exceed 350mm. All finishings will be water tight; much like a wet room, so it will be able to withstand large amounts of water.

APPROVED

By Lisa Walton at 5:17 pm, Mar 04, 2024

PRELIMINARY ROOST ASSESSMENT (PRA)

TRENCH LANE, TR21 0PA (PP-12170819),
OLD TOWN, ST MARY'S, ISLES OF SCILLY



Client: Keri Lock

Our reference: 23-5-1

Planning reference: Produced in advance of submission

Report date: 1st June 2023

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Bats - Results and Findings

The preliminary roost assessment (PRA) survey of the structure either directly or indirectly impacted by the proposals concluded that there is **negligible potential** for use by bats.

Whilst a negligible potential is concluded, it is noted that there is a small chance of opportunistic/transient use of individual discreet features. This potential is not sufficient to justify further surveys or significant constraints to works, but should be taken into account in accordance with the precautionary principle.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines 3rd edition¹

Bats - Further Survey Requirements

No further surveys are recommended – the PRA conclusion does not require further survey information with regards to bats in order to inform a planning application.

Bats - Recommendations

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. A specific methodology is provided in Appendix 1.

A Planning Condition requiring compliance with the Precautionary Method of Works (PMW) outlined in Appendix 1 could be attached to a Decision Notice at the discretion of the LPA. If so, it is recommended that this should be compliance only – no further information would be required as the methodology outlined in the PMW is comprehensive.

The size, style and location of the building would not offer suitable locations for the installation of a bat box – no enhancement measures are therefore recommended.

Nesting Birds - Results and Findings

There is no evidence of nesting birds, though the potential for nesting birds should be considered in any building without routine human presence, as well as in surrounding vegetation.

Nesting Birds - Recommendations

There is no requirement to replace nesting habitat for breeding birds as no suitable features would be affected. The size, style and location of the building would not offer suitable locations for the installation of a bird box – no enhancement measures are therefore recommended.

Works should take account of the minor residual risk of species such blackbird, robin or wren making use of nesting opportunities during the breeding season.

¹ Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Isles of Scilly	Location: SV 91326 10329	Planning Application ref: Report produced in support of application
Planning application address: Trench Lane, Old Town, St Mary's, Isles of Scilly, TR21 0PA (PP-12170819)		
Proposed development: The proposed works were identified by the client and should accord with the documentation submitted in support of the application. These involve: <ul style="list-style-type: none"> 1) The conversion of the interior of the building to a dog grooming salon; 2) Aesthetic external works including wood cladding and renovating/replacing corrugated roofing sheets as required. 		
Building references: The building is a single unit and is identified in the plans provided in Appendix 2.		
Name and licence number of bat-workers carrying out survey: James Faulconbridge (2015-12724-CLS-CLS)		
Preliminary Roost Assessment date: The visual inspection was undertaken on 21 st May 2023 in accordance with relevant Best Practice methodology ² .		
Local and Landscape Setting: The property is situated on Trench Lane at the western edge of the residential area of Old Town on St Mary's in the Isles of Scilly. The land use immediately surrounding the property to the south and east comprises residential development with gardens; whilst a mosaic of small fields with evergreen wind breaks bound the site immediately to the north and west. The shoreline of Old Town Beach lies around 110m to the south – this is likely to provide a suitable foraging resource along the strandline. The immediate environs of the property therefore provide good quality foraging habitat for common pipistrelle as well as good connectivity to the wider landscape. The land use surrounding the settlement of Old Town to the north, east and west is dominated by agricultural land with field hedges providing connectivity within the landscape. Tree cover is sporadic with occasional shelter belts and individual trees.. Approximately 100m to the north of the building is Lower Moors SSSI – a topogenous mire with areas of elm woodland and scrub as well as a series of pools and marshy grassland. Records from the Local Bat Group indicate that this is an important foraging resource for bats on the island. Though the formally designated site begins 100m away, the higher quality habitat extends much closer to the building under consideration. A number of bat roosts are confirmed in the local environs – the most significant of these is a roost which is believed to be a maternity roost for common pipistrelles situated approximately		

² Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3rd edn). The Bat Conservation Trust, London.

450m to the north-east. Further roosts of unconfirmed status are situated 350m to the north-east and 200m to the east, the latter is within Old Town itself. All of these roosts relate to common pipistrelle, though one roost is also identified as also supporting soprano pipistrelle.

Building Description(s):

The property is a small, single-storey barn/shed – the lower portion is constructed from granite blocks whilst the upper walls and single-pitch roof comprise corrugated sheet attached to a timber framework. There is a single wooden door and no windows, though translucent sheets ensure that the interior is light during the daytime.

The stonework both internally and externally is well-pointed – no potential gaps or cavities suitable for use by roosting bats were noted.

Minor gaps occur where the wooden timber sits atop the stone wall – this was fully inspected and found to be dusty and cobwebbed at the time of survey indicating no recent occupation by bats.

There are minor gaps where corrugated sheets overlap, but these are generally too tightly fitted to allow access to roosting opportunities for bats.

There is no under-boarding or felting on the upper walls or roof – it is constructed of a single-skin with corrugated sheets attached to wooden battens. The size of the intersections between the corrugated sheets and the timbers are not optimal for use by roosting bats, providing no apex cavity, but it is possible that exploratory bats may make opportunistic use of features on a rare basis.

There is ivy cladding parts of the walls – the stems are insufficiently mature to offer roosting niches in their own right, and a careful inspection did not identify any concealed features.

Survey Limitations

There were no limitations on access or visibility which would affect the results of the survey.

Assessment of Potential for use by Roosting Bats

No evidence of current or historic use by bats was identified during the survey and an overall **negligible potential** was determined; however it is noted that there is a small residual risk of opportunistic/transient use of the features noted.

Recommendations and Justification (Bats):

No further surveys are recommended – the conclusion of **negligible potential** related to the structures to be impacted does not require any further information with regards to bats in order to inform a planning application.

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. The potential for individual common pipistrelle bats to make use of minor opportunities associated with listed features should be taken into account during works. These features are:

- The minor gap between the stone wall and the timber wall plate;
- The gaps where the corrugated sheets overlap the timbers.

At the discretion of the Planning Authority, a compliance condition could be included in any Planning Application approval requiring that works proceed in line with the PMW requirements outlined in Appendix 1 of this report. This is in order to ensure that roosting bats are not impacted by the proposed works.

There is no requirement to mitigate for loss of roosting habitat for bats and due to its small height and regular disturbance through proximity to a track/pathway, the building does not offer suitable locations which would be sufficiently safe from the risk of disturbance and predation.

Assessment of Potential for use by Nesting Birds

No suitable nesting habitat for birds was identified associated with the elements of the building to be directly or indirectly affected by the proposals, though there are suitable ledges and other niches which species such as blackbird could utilise especially if there is no human presence for extended periods of time.

The ivy which clads a portion of the building, as well as adjacent vegetation, may provide nesting habitat for birds, though no evidence of active nests were noted at the time of survey.

Recommendations and Justification (Birds):

Works affecting the building should be undertaken outside of the breeding season which runs from March – September inclusive, where practicable. This would provide the most robust means of avoiding risk of impact to nesting birds.

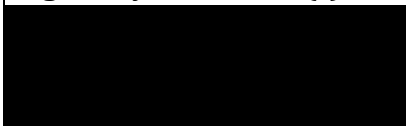
If this is not possible, then contractors should visually inspect the building and surrounding vegetation carefully in order to confirm that no nests are present. In the unlikely event that a bird nest is present, it must be left undisturbed until chicks have fledged the nest, at which point works can proceed.

Care must also be taken to ensure that the works do not cause disturbance or damage to proximate nesting areas through indirect impacts including vibration, noise or contractor presence.

There is no requirement to mitigate for loss of nesting habitat for breeding birds and the building does not offer suitable locations which would be sufficiently safe from the risk of predation and disturbance.

Signed by bat worker(s):

Date: 1st June 2023



APPENDIX 1

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PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that conversion works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

- (a) *To impair their ability -*
- *to survive, to breed or reproduce, or to rear or nurture their young; or*
 - *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*
- (b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the existing office unit:**

Between the wall and timber wall-plate

The gap between the top of the wall and the timber wall-plate should be visually inspected with a torch prior to any works which would seal or otherwise disturb this feature. This can be comprehensively undertaken.

Once it has been confirmed that no bats are present, works to the feature can proceed.

Between corrugated sheets and wall/roof timbers

There are gaps created where the corrugated sheets overlap wall timbers. These can be inspected with a torch prior to works to remove the sheets, or enclosure of the void internally. This can be undertaken comprehensively.

Once it has been confirmed that no bats are present, works to these feature can proceed.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.

APPENDIX 2
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LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating the location of property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



Map 02 – Showing the shed (red wash). Reproduced in accordance with Google’s Fair Use Policy.



Photograph 1: Showing the northern and western aspects of the building.



Photograph 2: Showing the typical internal structure, with the stone-block wall supporting a timber frame with corrugated sheeting attached.



Photograph 3: Showing the upper wall and roof structure.



Photograph 4: Showing the minor gap occasionally present between the top of the wall and the timber wall plate.



Photograph 5: Showing the internal wall timbers with corrugated sheets directly attached – minor gaps occur behind these.