



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2015

### **PERMISSION FOR DEVELOPMENT**

<b>Application No:</b>	<b>P/24/005/FUL</b>	<b>Date Application Registered:</b>	<b>1st March 2024</b>
<b>Applicant:</b>	<b>Mr Simon Taylor Turks Head The Quay St Agnes Isles Of Scilly TR22 0PL</b>	<b>Agent:</b>	<b>Mr Hugo Davies Hugo Davies Architect Ltd 4 Easterways, Broadhempston, Totnes, Devon, TQ9 6FY</b>

**Site address:** Turks Head The Quay St Agnes Isles of Scilly TR22 0PL  
**Proposal:** Proposed extension to replace the existing conservatory, at first floor level and above the existing kitchen, to provide two bedrooms, and the formalisation of the existing Studio flat with shared facilities for ancillary use as staff / sub-contractor accommodation (Amended Title and Plans)

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

**C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

**C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**

- **Plan 1 Location Plan, drawing number: 3.LP.01. Dated Jan 2023**
- **Plan 2 Proposed Site Plan Amended, drawing number: 3.SP.02, Dated Jan 2023**
- **Plan 3 Proposed Floor Plans Amended, drawing number: 3.P.03, Dated Jan 2023**
- **Plan 4 Proposed Elevations Amended, drawing number: 3.E.02, Dated Jan 2023**
- **Plan 5 Proposed Sections Amended, drawing number: 3.S.02, Dated Jan 2023**
- **Plan 6 Proposed Roof Plan Amended, drawing number: 3.P.04, Dated Jan 2023**
- **Plan 7 Proposed 3D Views Amended, drawing number 3.V.01, Dated Jan 2023**
- **Plan 8 Design, Access & Heritage Statement Amended, Dated 23/05/24**
- **Plan 9 PRELIMINARY ROOST ASSESSMENT (PRA), reference 23-6-5**

**These are stamped as APPROVED**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

**C3 The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as**

**such for the lifetime of the development.**

Reason: To safeguard the appearance of the building and the character of the area.

- C4 The bedroom as outlined in orange on revision H of plan 3.P.03 (Proposed Floor Plans Amended) shall not be used otherwise than for the provision of staff /sub-contractor accommodation in connection with The Turks Head business, and for no other purpose, including any other purpose in Class C3 of the Schedule to the Town and Country Planning (Use Classes) Order 2015, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification. The owner or operator shall maintain a GDPR compliant register of occupants for each calendar year. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.**

Reason: To ensure that the development is occupied as ancillary staff accommodation only, in accordance with Policy LC4 and Policy WC5 of the Isles of Scilly Local Plan 2015-2030.

- C5 The Pub Owners' Flat as outlined in Blue on revision H of plan 3.P.03 (Proposed Floor Plans Amended) shall not be used otherwise than for the provision of staff accommodation in connection with The Turks Head business and for no other purpose, including any other purpose in Class C3 of the Schedule to the Town and Country Planning (Use Classes) Order 2015, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification. The owner or operator shall maintain a GDPR compliant register of occupants for each calendar year. This shall be made available on request for inspection by any duly authorised officer of the Local Planning Authority.**

Reason: To ensure that the development is occupied as ancillary staff accommodation only, in accordance with Policy LC4 and Policy WC5 of the Isles of Scilly Local Plan 2015-2030.

#### **PRE-FIRST OCCUPATION CONDITION: Submission of Planting Scheme**

- C6 Prior to the first occupation of the development hereby approved, a detailed scheme of planting proposals shall be submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, in strict accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.**

Reason: To ensure the development delivers biodiversity enhancements in accordance with OE2 of the Isles of Scilly Local Plan (2015-2030).

- C7 No external lighting shall be installed to the building or anywhere within the site. This exclusion shall not prohibit the installation internal lighting or of sensor-controlled security lighting of 1,000 lumens or less, which shall be designed and shielded to minimise upwards light spillage.**

Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the St Agnes Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

- C8 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of the islands.

- C9 Prior to the construction of the extension, hereby approved, details of the proposed Solar Panels (including size, method and angle of siting, colour and reflectivity) shall be submitted to and approved in writing by the Local Planning Authority. The works shall be carried out in accordance with the approved details and shall be retained permanently as such.**

Reason: In the interests of preserving the character and appearance of the Conservation Area and its setting.

## **PRE-COMMENCEMENT CONDITION: Submission of Site Waste Management Plan**

**C10** Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.

Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted and agreed by the Local Planning Authority. This is to ensure those characteristics which contribute to the status of the Isles of Scilly as a Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast are not eroded by uncontrolled mineral extraction or the tipping of waste. In accordance with the requirements of Policies SS2(2) and OE5 of the Isles of Scilly Local Plan (2015 - 2030).

### **Further Information**

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2023.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here:  
[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)
3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied:  
[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)
4. The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately, and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
5. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application:  
[buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk).
6. Registering for appropriate Business Rates/Council Tax: To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: [revenues@scilly.gov.uk](mailto:revenues@scilly.gov.uk).
7. Access for fire appliances within the site will need to comply with Part B5 of Approved Document B, Vehicle Access of the Building Regulations. Adequate water supplies for firefighting purposes will be achieved by complying with the requirements of Part B5 of Approved Document B. The Regulatory Reform (Fire Safety) Order 2005 applies, and the responsible person will be required to carry out a fire risk assessment to identify the risks and take reasonable measures to ensure people are safe from fire. The works may be considered 'controlled work' and therefore building control approval may also be required.

Signed:   
**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 04 October 2024



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD  
☎0300 1234 105  
✉planning@scilly.gov.uk

Dear Mr Simon Taylor

## Please sign and complete this certificate.

This is to certify that decision notice: P/24/005/FUL and the accompanying conditions have been read and understood by the applicant: Mr Simon Taylor.

1. **I/we intend to commence the development as approved:** Proposed extension to replace the existing conservatory, at first floor level and above the existing kitchen, to provide two bedrooms, and the formalisation of the existing Studio flat with shared facilities for ancillary use as staff / sub-contractor accommodation (Amended Title and Plans) at: Turks Head The Quay St Agnes Isles Of Scilly TR22 0PL **on:** .....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

**Name:** **Contact Telephone Number:**  
**And/Or Email:**

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

### **PRE-FIRST OCCUPATION CONDITION(S)**

- C6 Prior to the first occupation of the development hereby approved, a detailed scheme of planting proposals shall be submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, in strict accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

### **PRE-COMMENCEMENT CONDITION(S)**

- C10 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.



# COUNCIL OF THE ISLES OF SCILLY

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Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎ 01720 424455

✉ [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

**THIS LETTER CONTAINS IMPORTANT INFORMATION  
REGARDING YOUR PERMISSION – PLEASE READ  
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE  
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW  
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

**Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorized work carried out may have to be amended or removed from the site.

**Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £43per application
- Other permissions - £145 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £43 for householder type applications and £293 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals:](#)

[How long they take page.](#)

### **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall  
Council Pydar  
House Pydar  
Street Truro  
Cornwall  
TR1 1XU

Inspection Requests can also be made online:

<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

### **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

### **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

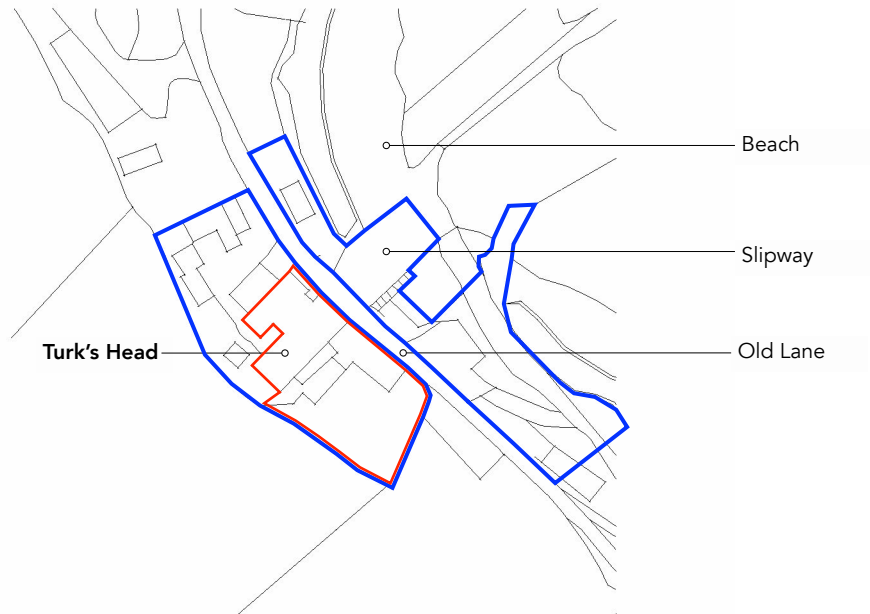


**RECEIVED**

By Liv Rickman at 12:01 pm, Feb 23, 2024

**APPROVED**

By Lisa Walton at 3:57 pm, Oct 04, 2024



OS data map licence: v1c//901896/1217298



**HUGO  
DAVIES  
ARCHITECT**

**PROJECT:**  
THE TURK'S HEAD, ST AGNUS, ISLES  
OF SCILLY, TR22 0PL

**DRAWING TITLE:**  
LOCATION PLAN

**DRAWING SCALE:**  
1:1250 @ A4

**DATE:**  
January 2023

**DRAWING NUMBER:**  
3.LP.01

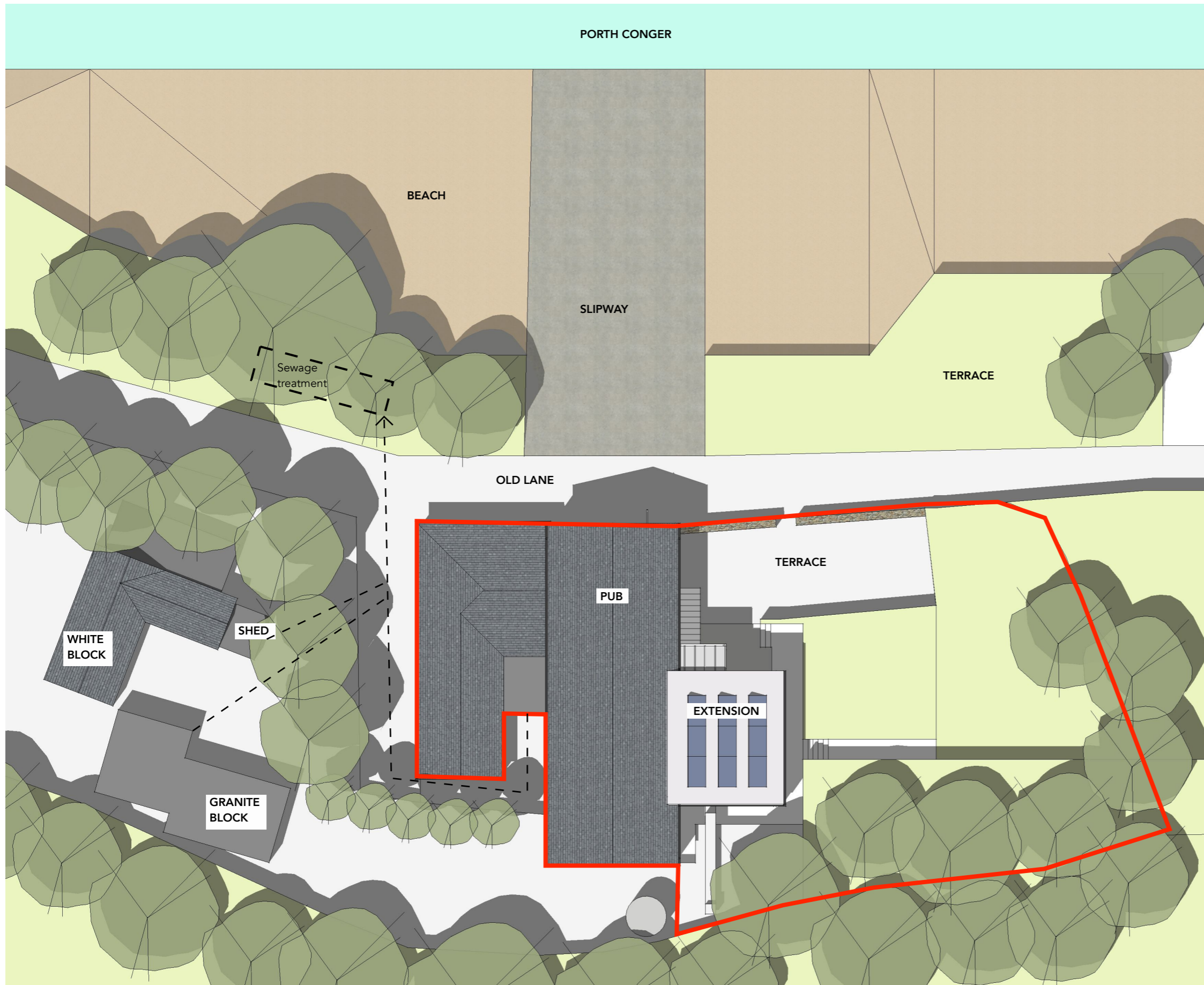
**PROJECT STAGE:**  
PLANNING

**CONTACT:**  
w: [www.hugodaviesarchitect.co.uk](http://www.hugodaviesarchitect.co.uk)  
e: [hugo@hugodaviesarchitect.co.uk](mailto:hugo@hugodaviesarchitect.co.uk)  
t: 01803 813977 / 07850423146

**REVISION:**  
A - 02/02/24 - Red line  
and line note updated.

**NOTES:**

- All drawings are copyright of architect.
- Do not scale drawings (except planning).
- All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately.
- This drawing is not for construction.



PROPOSED SITE PLAN | 1:200

**NOTES:**

**Proposed staff accommodation:**

- White block: 3 bedrooms
- Granite block: 2 bedrooms
- Pub: 1 bedroom
- Camping: Up to 7 people
  
- Shed: staff rest room.

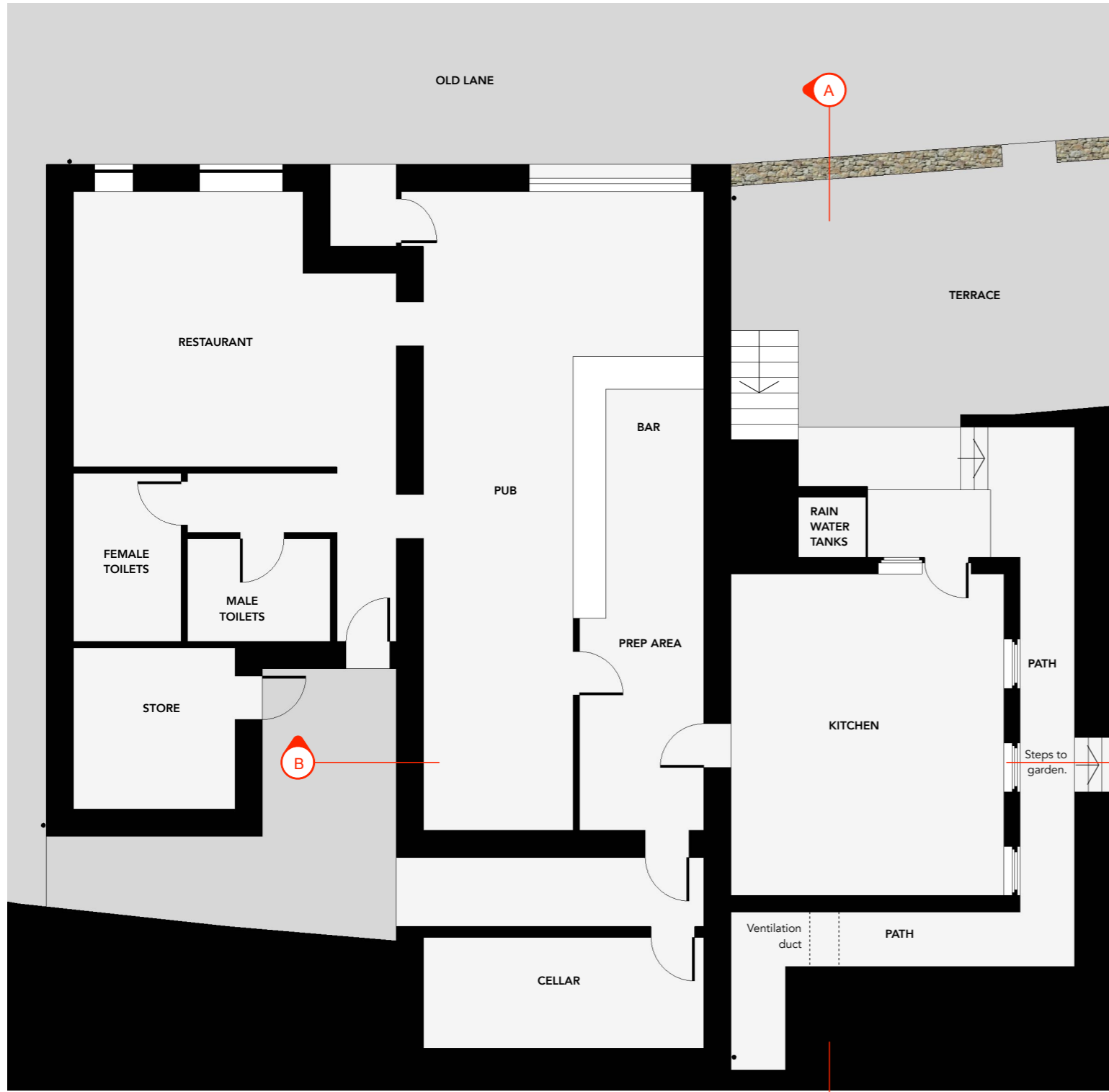
**RECEIVED**  
By Liv Rickman at 2:46 pm, May 23, 2024

**APPROVED**  
By Lisa Walton at 3:58 pm, Oct 04, 2024

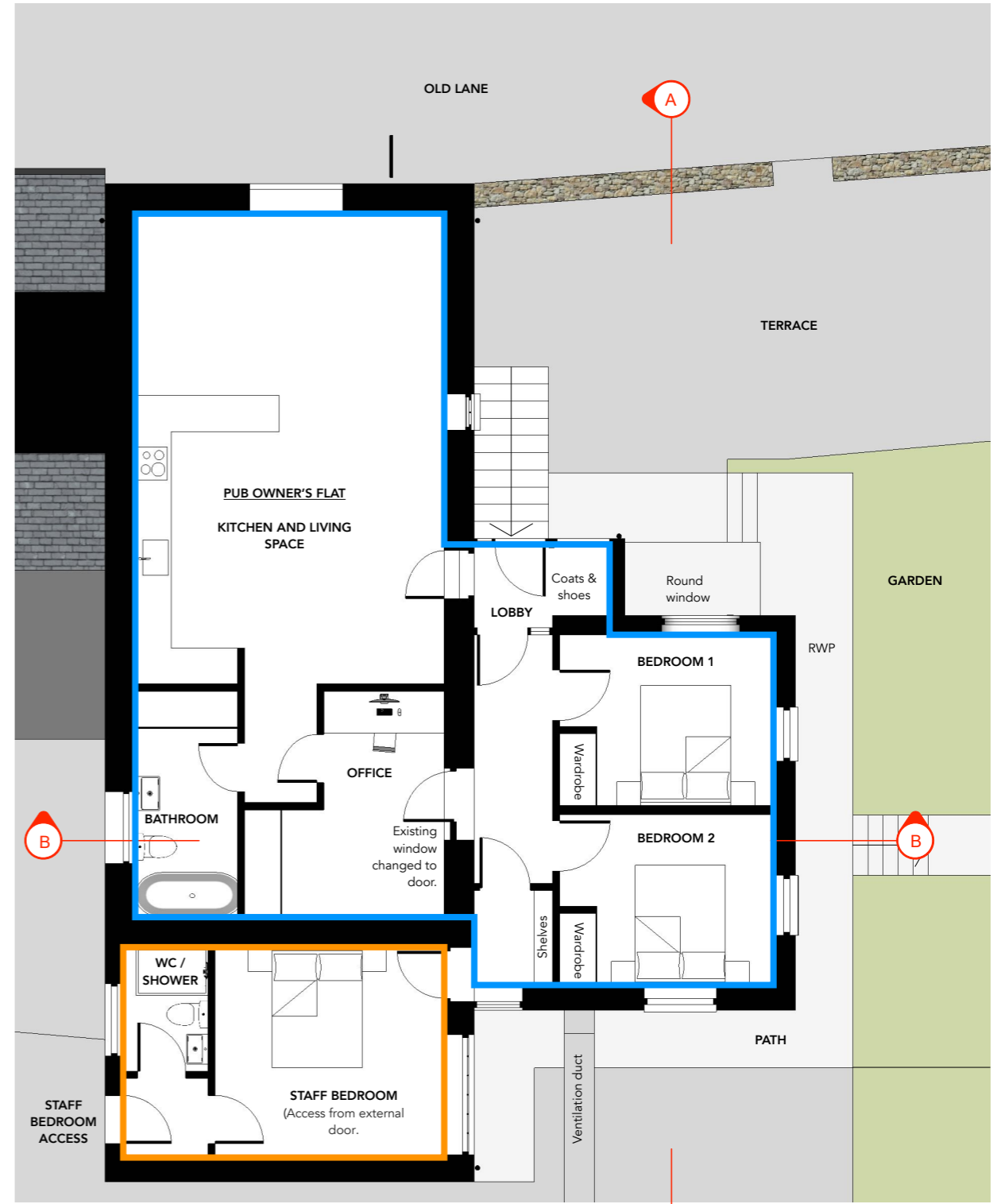
<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:200 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b>  <b>E</b>	<b>REVISION NOTES:</b> <small>A - 17.07.23 - Draft planning issue. B - 11/01/24 - Extension design amended and staff accommodation notes added. Location plan moved to separate drawing. C - 22/01/24 - Updates to staff accommodation notes. D - 02/02/24 - Red line boundary and sewage treatment system added added. E - 14/05/24 - Changes to extension floor plan following client request.</small>	<b>NOTES:</b> <ul style="list-style-type: none"><li>• All drawings are copyright of architect.</li><li>• Do not scale drawings (except planning).</li><li>• All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately.</li><li>• This drawing is not for construction.</li></ul>
	<b>DRAWING TITLE:</b> PROPOSED SITE PLAN	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			
	<b>DRAWING NUMBER:</b> 3.SP02					



0m | Scale 1:200 | 10m



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

Blue line: Owners accommodation.  
Orange line: Staff accommodation.

**APPROVED**  
By Lisa Walton at 3:58 pm, Oct 04, 2024

**RECEIVED**  
By Liv Rickman at 2:42 pm, May 23, 2024

<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:100 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b>  <div style="font-size: 2em; font-weight: bold; text-align: center;">H</div>	<b>REVISION NOTES:</b> <small>A - 17.07.23 - Draft planning issue.            B - 11/01/24 - Extension design and ground floor plan amended.            C - 18/01/24 - Extension floor plan amended.            D - 26/01/24 - Windows amended in extension.            E - 15/02/24 - Amended notes.            F - 14/02/24 - Amended label for studio flat.            G - 14/05/24 - Changes to extension floor plan following client request.            H - 14/05/24 - Door added between office and extension, to replace existing window.</small>	<b>NOTES:</b> <ul style="list-style-type: none"> <li>• All drawings are copyright of architect.</li> <li>• Do not scale drawings (except planning).</li> <li>• All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately.</li> <li>• This drawing is not for construction.</li> </ul>
	<b>DRAWING TITLE:</b> PROPOSED FLOOR PLANS	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			

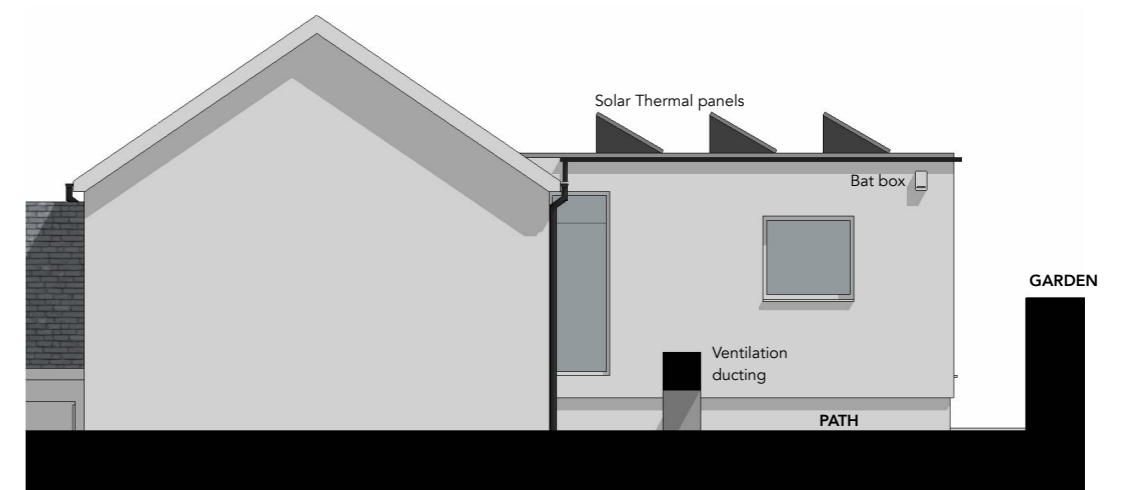




PROPOSED SOUTH EAST ELEVATION (GARDEN SIDE) | 1:100



PROPOSED NORTH EAST ELEVATION (ROADSIDE) | 1:100



PROPOSED SOUTH WEST ELEVATION (REAR) | 1:100

**PROPOSED EXTERNAL MATERIALS:**

- Roof to pub:** Artificial slate
- Rainwater goods to pub:** Black PVCu.
- Roof to extension:** Single ply membrane with Solar Thermal (water heating) solar panels.
- Roof to extension's lobby:** Flat lead roof with standing seams.
- Walls to pub:** Natural stonework, stonework painted white and white render.
- Walls to extension:** White render.
- Glazing to pub:** White PVCu
- Glazing to extension:** Timber frames, painted white.

**RECEIVED**  
By Liv Rickman at 2:47 pm, May 23, 2024

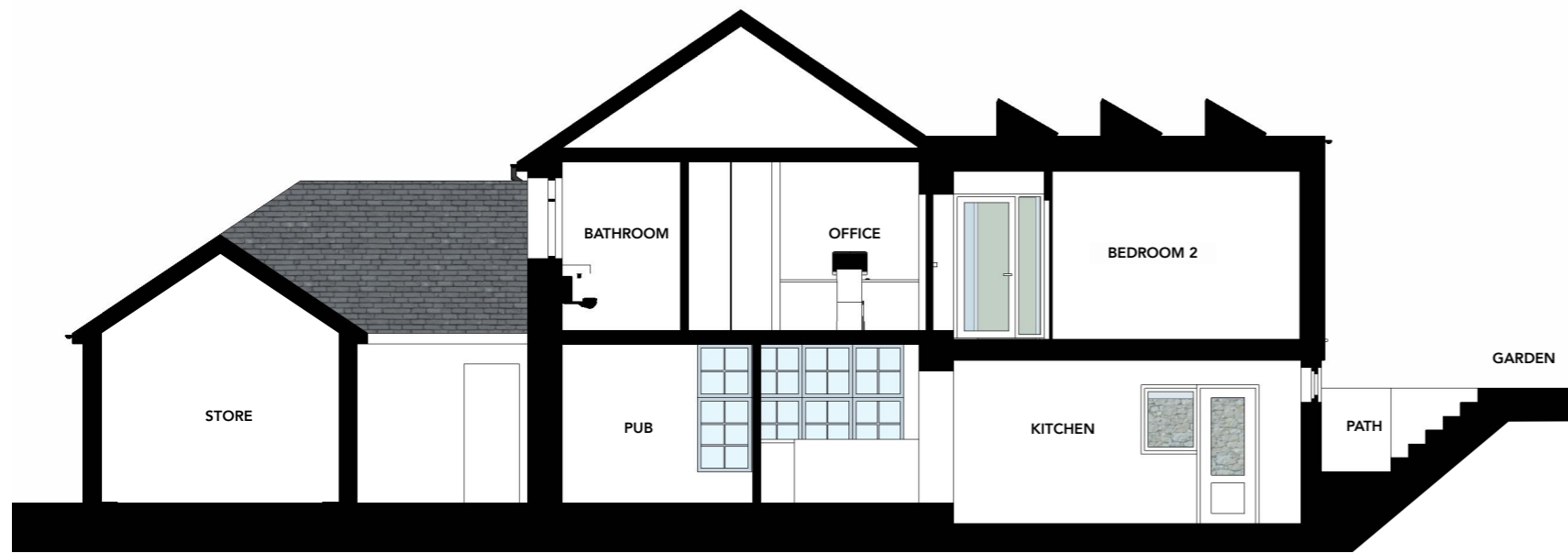
**APPROVED**  
By Lisa Walton at 3:59 pm, Oct 04, 2024

<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:100 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b> H	<b>REVISION NOTES:</b> A - 29.03.23 - Updates following client feedback. B - 27.04.23 - Updates following client feedback. C - 17.07.23 - Draft planning issue. D - 11/01/24 - Extension design and ground floor plan amended. E - 22/01/24 - Updates to existing materials. F - 26/01/24 - Amendment to south east windows. G - 20/02/24 - Window notes updated. H - 14/05/24 - Changes to extension floor plan following client request.	<b>NOTES:</b> • All drawings are copyright of architect. • Do not scale drawings (except planning). • All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately. • This drawing is not for construction.
	<b>DRAWING TITLE:</b> PROPOSED ELEVATIONS	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			





PROPOSED SECTION A



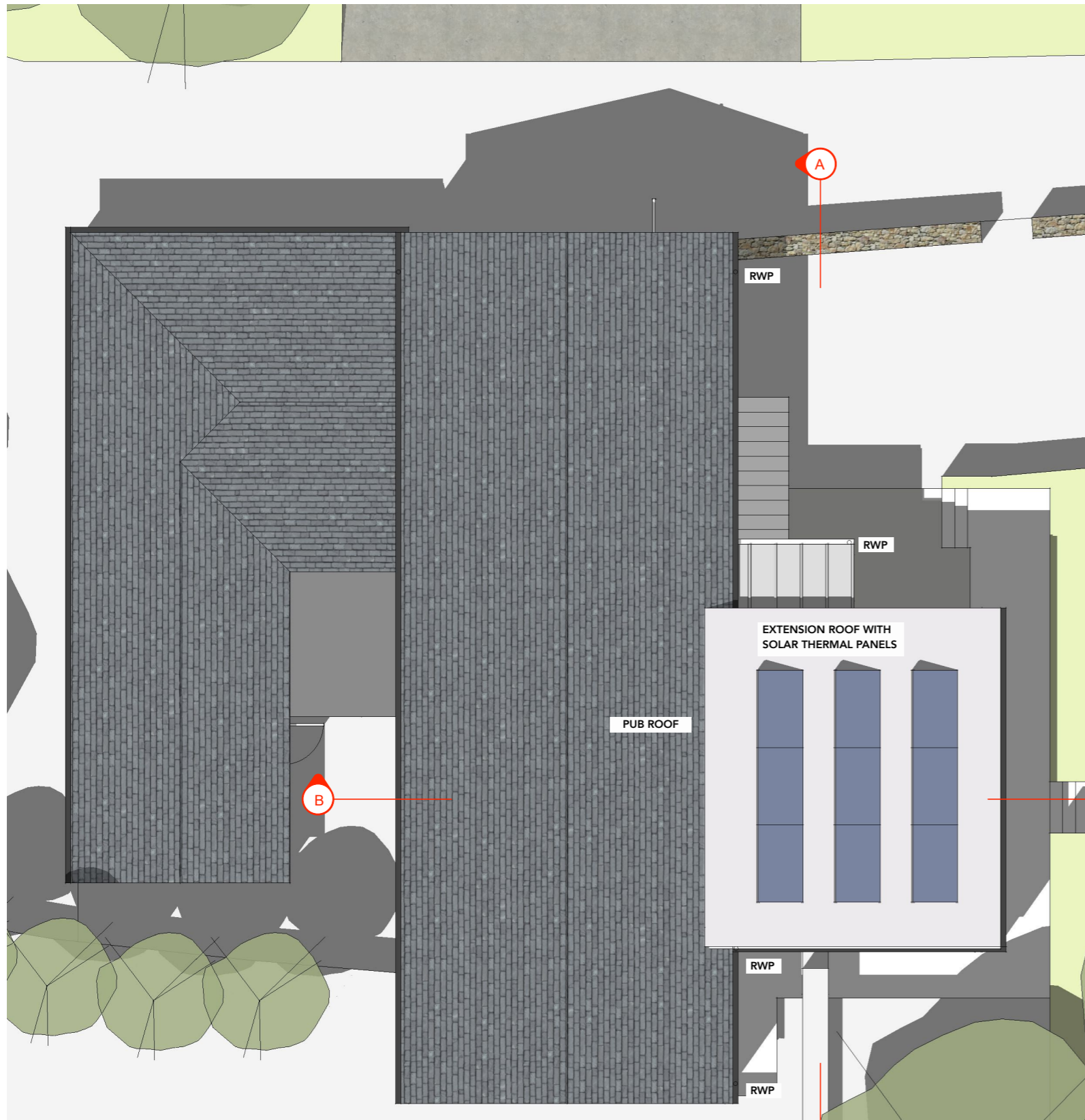
PROPOSED SECTION B

**APPROVED**  
By Lisa Walton at 3:59 pm, Oct 04, 2024

**RECEIVED**  
By Liv Rickman at 2:47 pm, May 23, 2024

<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:100 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b>  E	<b>REVISION NOTES:</b> <small>A - 29.03.23 - Updates following client feedback.            B - 27.04.23 - Updates following client feedback.            C - 17.07.23 - Draft planning issue.            D - 11.01.24 - Extension design and ground floor plan amended.            E - 14.05.24 - Changes to extension floor plan following client request.</small>	<b>NOTES:</b> <ul style="list-style-type: none"> <li>All drawings are copyright of architect.</li> <li>Do not scale drawings (except planning).</li> <li>All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately.</li> <li>This drawing is not for construction.</li> </ul>
	<b>DRAWING TITLE:</b> PROPOSED SECTIONS	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			
	<b>DRAWING NUMBER:</b> 3.S.02					

0m Scale 1:100 5m



PROPOSED ROOF PLAN

**RECEIVED**  
 By Liv Rickman at 2:46 pm, May 23, 2024

**APPROVED**  
 By Lisa Walton at 4:00 pm, Oct 04, 2024

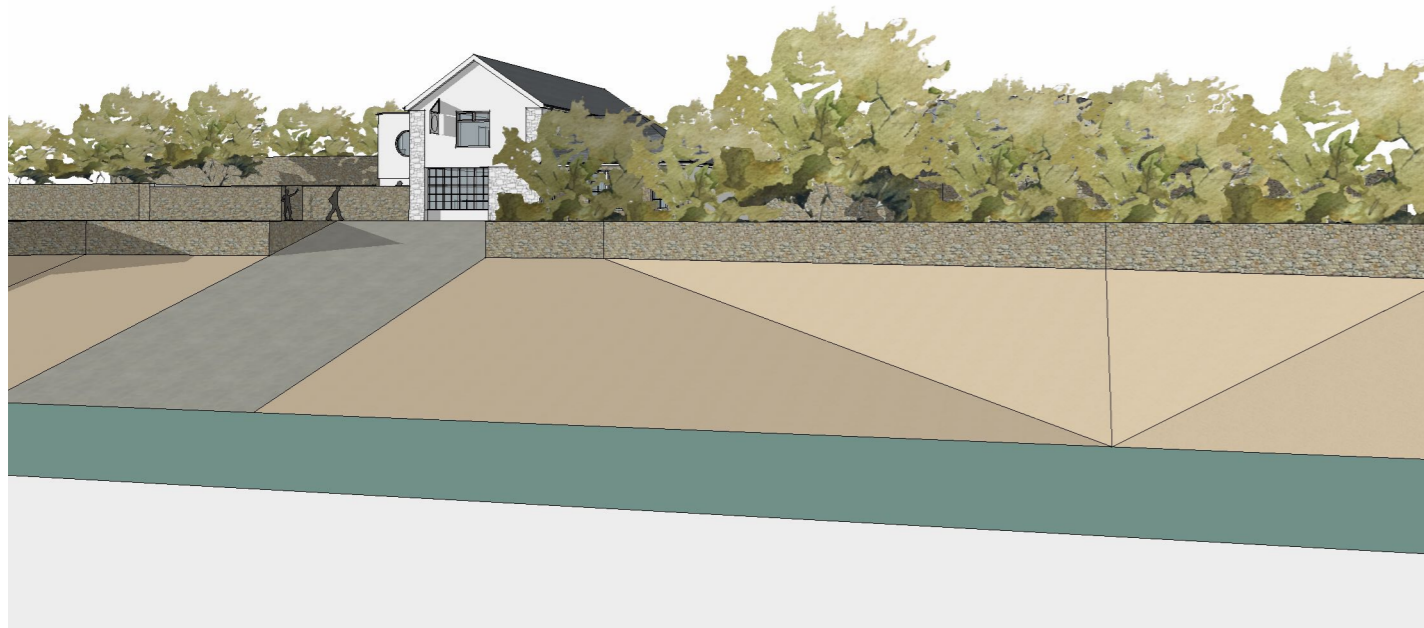
<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:100 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b> /	<b>REVISION NOTES:</b> /	<b>NOTES:</b> <ul style="list-style-type: none"> <li>All drawings are copyright of architect.</li> <li>Do not scale drawings (except planning).</li> <li>All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately.</li> <li>This drawing is not for construction.</li> </ul>
	<b>DRAWING TITLE:</b> PROPOSED ROOF PLAN	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			
		<b>DRAWING NUMBER:</b> 3.P.04				



**APPROVED**  
By Lisa Walton at 4:00 pm, Oct 04, 2024



PROPOSED VIEW FROM THE GARDEN TERRACE



PROPOSED VIEW FROM THE HARBOUR



PROPOSED VIEW FROM THE SLIPWAY

<b>HUGO DAVIES ARCHITECT</b>	<b>PROJECT:</b> THE TURK'S HEAD, ST AGNUS, ISLES OF SCILLY, TR22 0PL	<b>DRAWING SCALE:</b> 1:100 @ A3	<b>PROJECT STAGE:</b> PLANNING	<b>REVISION:</b>  <b>B</b>	<b>REVISION NOTES:</b> A - 17.07.23 - Draft planning issue. B - 11/01/24 - Extension design and ground floor plan amended.	<b>NOTES:</b> • All drawings are copyright of architect. • Do not scale drawings (except planning). • All dimensions to be checked on site prior to any fabrication / construction. Report discrepancies immediately. • This drawing is not for construction.
	<b>DRAWING TITLE:</b> PROPOSED 3D VIEWS	<b>DATE:</b> January 2023	<b>CONTACT:</b> w: www.hugodaviesarchitect.co.uk e: hugo@hugodaviesarchitect.co.uk t: 01803 813977 / 07850423146			
		<b>DRAWING NUMBER:</b> 3.V.01				

**RECEIVED**  
By Liv Rickman at 2:47 pm, May 23, 2024

**APPROVED**

*By Lisa Walton at 4:00 pm, Oct 04, 2024*

# Extension to The Turk's Head Pub, St Agnes, Isles of Scilly

## Planning Application Design & Heritage Impact Statement

HUGO

DAVIES

ARCHITECT

1st September 2023 | Revision F - 23/05/24

### Contents

- |                          |                            |                    |
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| 1. Overview              | 4. Need                    | 8. Drainage        |
| 2. The site              | 5. Proposal                | 9. Planning policy |
| 3. The existing building | 6. Landscape Visual Impact | 10. Conclusion     |
|                          | 7. Ecology                 |                    |

### 1. Overview

This document is part of a planning application for the proposed side extension to The Turk's Head Pub, St Agnes, replacing the existing conservatory.

The purpose of the document is to explain the scheme. It is to be read in conjunction with the submitted drawings and documents by other consultants.

### 2. The site

#### 2.1 Site Location

The site is located on the north east side of St Agnes, along Old Lane. It is close to the harbour and its ferry port, leading to St Mary's. Adjacent to the pub in the immediate vicinity, are some ancillary buildings and one dwelling. In the summer months, the harbour is busy with tourists and the pub is a popular destination, as well as an important facility for the local community.

#### 2.2 Designated area

The whole islands are recognised as a Conservation Area, Area of Outstanding Natural Beauty and a Heritage Coast.



Image 1. Site location. Existing conservatory on south side of the building. Source: Google.



Image 2. Existing east / front view.

**RECEIVED**

*By Liv Rickman at 2:47 pm, May 23, 2024*



## 2.3 Local heritage

### 2.3.1 Scheduled Monuments

To the north and south of the site area two areas designated as Scheduled Monuments, labelled on the image right as SM 1 and SM 2. To the east, across Porth Congor bay is another, labelled SM 3.

#### SM 1:

Prehistoric settlement and field system at Porth Killier, St Agnes.

List entry number: 1014998.

This site contains archaeological remains of 4000 years of human activity.

#### SM 2:

Prehistoric to Romano-British field system and settlement at Higher Town, St Agnes.

List entry number: 1015003.

This area contains evidence that illustrates well the nature of settlement in this period.

#### SM3:

Prehistoric cairns, entrance graves, field system and settlements and post-medieval kelp pits on Kittern Hill, Gugh.

List entry number: 1014792.

This area contains remains of funerary and settlements of this period.

### 2.3.2 Listed buildings

The pub is not listed. Nearby listed buildings are located south of the site, approximately 250m

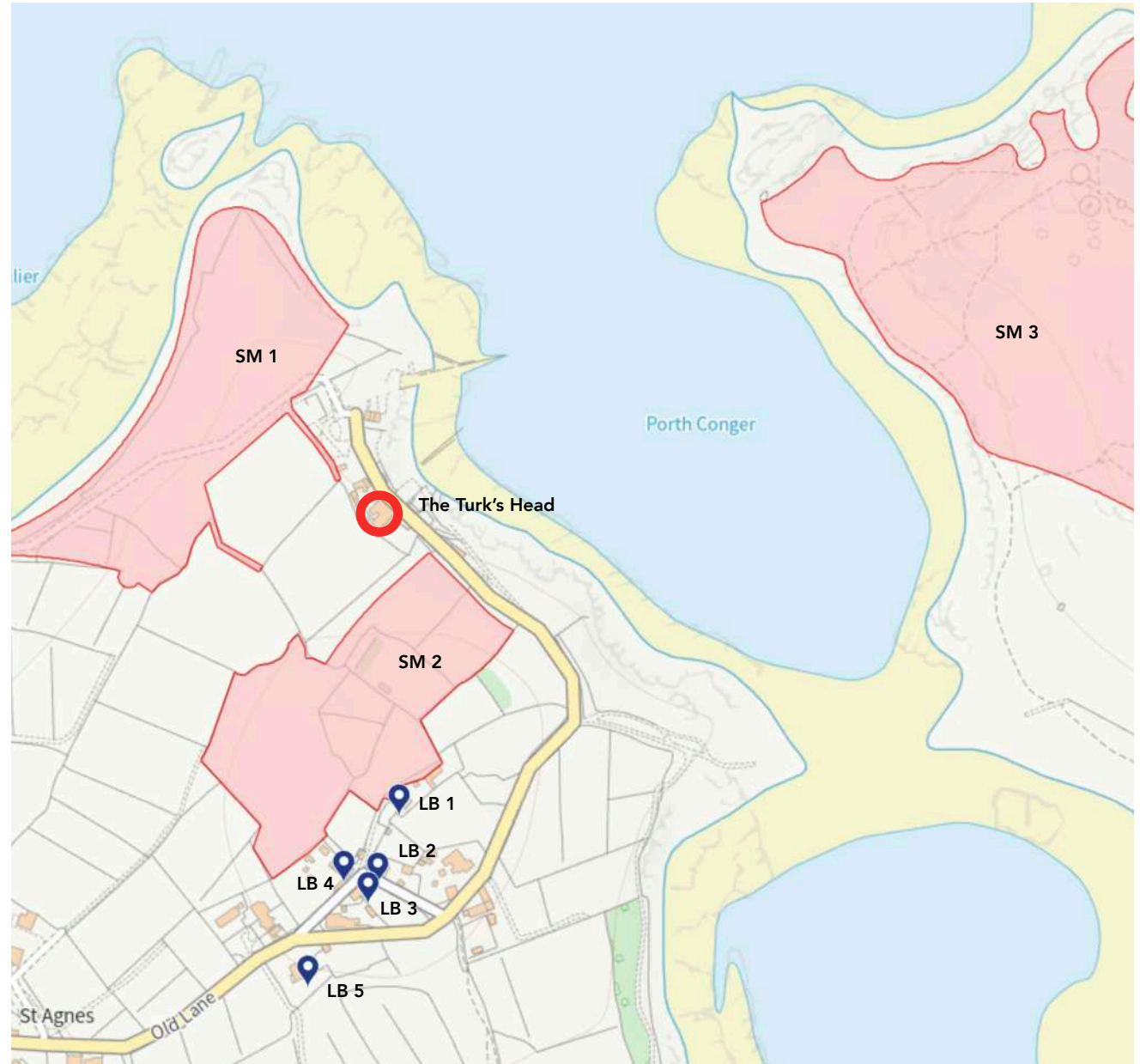


Image 3. Map showing listed buildings / scheduled monuments. Source: [www.historicengland.org.uk](http://www.historicengland.org.uk).

along Old Lane, amongst a group of buildings. These are out of view from the site and so are not affected by the proposals, but are shown on the map, listed as follows:

- LB1: Rosenhill, Grade II, list number 1141202.
- LB2: Rose Cottage, Grade II, list number 1328852.
- LB3: Myrtle Cottage, Cottage, Grade II, list number 1328836.
- LB4: Atlantic Cottage, Grade II, list number 1218318.
- LB5: Outbuilding at SV 8831 0819, Grade II, list number 1141201.

### 3. The existing building

#### 3.1: Original use

The building's original use was the coast guard and customs boat shed, as shown in the image on the left. In 1972 it became a pub and the building's external appearance remains largely the same, with the the same openings and chimney. The original building had a small lean-to on its south west side, as a porch to the first floor entrance. This was replaced by the existing conservatory in the 1990s. This sits above the pub's kitchen at the lower level.

#### 3.2: The building fabric

It is mainly a stone building painted white. Its first floor east gable is rendered and painted white. The roof finish is artificial slate. Windows are white PVCu. The conservatory is a combination of wood and PVCu but is in poor condition. The kitchen walls, at lower level and beneath the conservatory, are block work with imitation stone cladding, painted white.

#### 3.3: The conservatory

The conservatory offers a light and warm space, as respite to the original building's dark interior. However, being fully glazed it quickly becomes too hot on sunny days and too cold on cold days, and as a result it is rarely used as a living space but instead used for storage or a drying room. Being fully glazed, the inevitable clutter of stored contents are easily seen from the outside, making it



Image 4. Existing east / front elevation.



Image 5. Historic image of the building.

Photos of the existing building.



Image 6. South elevation - pub kitchen at lower level and conservatory.



Image 7. Inside the conservatory, used as storage.



Image 8. Existing south view.



Image 9. Existing east view.

unattractive, added to its poor condition. The structure itself has no architectural value.

#### 3.4: Community heritage value:

The pub has strong heritage value for the community; its evolution is well within living memory. Its change of use from a boat shed to a pub adds a special element to this community history. As with many pubs, the building is an important part of the community, hosting many events and memorable gatherings.

#### 3.5: Architectural value:

The building is not listed. The conservatory is of low aesthetic and construction quality. It is unsympathetic to the original building de-values its overall appearance.

#### 3.6 Landscape value

Within its setting, the white pub is one of the few buildings and its white gable islands out in the green landscape. It is in a prominent location within the bay, elevated above the slipway and at the harbour quay - the main arrival point for St Agnes, via the passenger ferry.



Image 10. Elevated view form the east. (Source: [www.rightmove.co.uk](http://www.rightmove.co.uk))

## 4. Need

### 4.1 Staff accommodation, laundry and admin space

The pub currently is lacking the accommodation space needed for the number of staff required in the tourist season. It also needs improved office space. This is explained in the landlord's statement below.

*"The Turks Head relies on seasonal workers to operate during the season which runs from the beginning of April to the end of Oct annually. The business operates 7 days a week from 10:30am to 11:30pm providing lunch and dinner services as well as an all day drinks service. To provide the required staffing levels for a 90+ hrs a week, we recruit up to 14 staff during the season. Currently, onsite accommodation is for 5 staff in two basic accommodation blocks of 2 and 3 rooms with minimal shared facilities. Additional staff of up to 8 are accommodated by camping in a field at Troytown Farm and utilise shared campsite facilities.*

*The change in expectations by staff requiring live-in positions have moved on, especially with the skill sets and experience required by the business. It is increasingly difficult to recruit staff and require them to camp on a long term basis.*

*The plan is to free-up existing accommodation in the form of an existing, bedroom at the rear of the main building which is at the same ground level and has access to and from the existing staff accommodation area. It is planned that this will provide more suitable accommodation for an experienced supervisor level person or couple within the business and mean 1-2 less staff need to camp. This would then provide 6 staff accommodation rooms onsite during the season which is a 40% increase, even with this, junior staff members accommodation would still need to be provided via camping.*

*The business office space is currently provided in a wooden shed. This office function, including essential IT equipment, will be relocated into the main building, using the existing bedroom. That bedroom will be moved to within the proposed extension, along with one other. This new office would be a much more appropriate space to maintain business continuity, IT systems and perform the additional admin and regulatory requirements of running a business.*

*In summary, the existing accommodation provision on site (excluding camping) allows for 5 rooms, when more is needed. The extension will create ."*

The location of these rooms are annotated on the existing and proposed site plans.

### 4.2 Renewable water heating source

The hot water heating system is electric, but there is currently not a suitable renewable heating system installed. The proposed flat roof will provide space for a new Solar Thermal hot water heating system, aiming to provide hot water for the pub, from a renewable, clean energy source. This will reduce operational running costs and electricity demand which is at its maximum supply levels during peak times during the summer months.

## 5. Proposals

### 5.1 Proposed use:

The proposal is to replace the existing conservatory with an extension that provides 2 new bedrooms for owner's accommodation and roof space for a solar thermal array. This will create space for a new, fit for purpose office within the main building. It will also allow the rear, existing bedroom to be used for a staff bedroom. These improvements will make the running of the pub more viable and help give it the sustainable future that it needs. This is explained in the landlord's statement below.

*The existing rear bedroom will be used as staff quarters providing space and facilities for a couple. It is separated from the owner's area by the original building's 2 foot thick granite wall (plus insulation) and will be segregated from the owner's flat during the open summer season of the business.*

*Full en-suite bathroom and tea/coffee/snack making facilities will be in the studio, however all staff meals are provided via the business from the commercial kitchen on the ground floor.*

*During the off winter season access to the studio will be available for use by the owners to more easily gain access to the rear of the property, this is similar to way the other 5 onsite staff bedrooms are available during the off season.*

### 5.2 Scale

The scale of the extension is in proportion to the existing building; it is smaller and subordinate to it. It is set back from the original building's front elevation and its foot print is the same as the kitchen below.

The gross internal floor area of the extension is 33m<sup>2</sup>.

The studio flat at the rear of the pub is 18.7m<sup>2</sup>.

### 5.3 Design

The extension's form is simple, utilising the walls of the kitchen below to build off from. Its external materials are matching that of the pub building.

### 5.4 External materials

Its render finish is durable against the harsh weather and maritime climate and is a common finish on the islands, familiar to local trades people. The

lobby roof is lower than the main roof and this is finished with a traditional rolled lead, flat roof with standing seams.

### 5.5 Windows

The proposed window frames will be timber.

The extension's front (east) elevation provides a feature round window, other examples of which can also be found around the islands, especially in Hugh Town (see images below). Also on the front elevation is the entrance lobby, with glazed sidelight to the door, allowing the sun's warmth to dry the coats and shoes.



Image 13. Examples of round windows in Hugh town.

The south elevation windows are of matching proportions to the original building's.

#### 5.6 Construction and carbon reduction

The extension will be built upon the existing masonry walls of the kitchen below. The new walls will be block work with high levels of insulation, making for low energy demands. It is also a method familiar to local tradespeople, supporting local employment.

### **6. Landscape visual impact**

The extension is set back from the main building's front elevation, as well as its roof being much lower, almost level with the eaves. These elements help to emphasise the original building and minimise the impact on the Designated Area. When viewed from the north east, from the harbour, it will be largely out of view (see submitted 3D Views). The removal of the glazed conservatory will also greatly reduce sunlight reflection into the landscape.

### **7. Ecology**



Image 13. Proposed view from the Slipway.

The works involve disturbing the existing roof structure and therefore a preliminary ecology survey has been carried out to check for evidence of bats. The report (submitted with the application) did not find any evidence and no further surveys were necessary. However, it does suggest installing a bat box to provide new habitat, on the west / rear elevation (shown on the drawings).

### **8. Drainage**

#### 8.1 Flood zone

The site is within Flood Zone 1 (refer to flood zone map submitted with the application), giving a low risk of flooding.

#### 8.2 Surface water

The extension's roof area is 46m<sup>2</sup>. This area is not adding new hard surfacing to the site, as it is replacing the existing kitchen and conservatory roof. The new roof's surface drainage will connect to the existing drainage system.

#### 8.3 Water harvesting

The pub already has significant water harvesting facilities that were recently installed (Summer of 2021). These continue to reuse water on the site.

### **9. Planning policy**

The project supports the following policies of the Isles of Scilly Local Plan:

#### 1. Promoting a Sustainable Scilly:

- SS2: Quality design and place making.  
The extension has been designed to be subservient to the original building in appearance.
- SS4: Protection of community facilities

The project's purpose is to sustain the pub's viable future, as an important community facility, by providing better facilities and accommodation for its staff and ancillary space for the running of the pub.

## 2. A strong Living Community

- LC4: Staff accommodation

The proposed staff accommodation will provide a more viable place of work for employees. This will support the pub's future and the local economy.

## 3. A Strong Working Community

- WC5: Visitor economy and tourism developments.

The project generally supports the aim of maintaining a resilient economy. The pub is an important part of the tourism industry and needs to be supported.

## **10. Conclusion**

The extension and renewable energy source will provide much needed staff accommodation for the pub to run effectively but also enable it to have a viable and sustainable future. The extension, being set back and smaller than the existing building, with matching materials, will have minimal visual impact on the landscape or the existing building.



**APPROVED**

*By Lisa Walton at 4:00 pm, Oct 04, 2024*

**RECEIVED**

*By Liv Rickman at 9:47 am, Jan 30, 2024*

## PRELIMINARY ROOST ASSESSMENT (PRA)

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### CONSERVATORY REPLACEMENT, TURK'S HEAD, ST AGNES, ISLES OF SCILLY



*Client: Simon Taylor*

*Our reference: 23-6-5*

*Planning reference: Report produced in advance of submission*

*Report date: 11<sup>th</sup> July 2023*

*Author: James Faulconbridge BSc (Hons), MRes, MCIEEM*

*Contact: ios.ecology@gmail.com*

# Executive Summary

## **Bats – Results and Findings**

The preliminary roost assessment (PRA) survey of the structures either directly or indirectly impacted by the proposals concluded that there is **negligible potential** for use by bats.

This assessment relates solely to the elements of the structure which would be affected by the current proposals - it does not provide a comprehensive assessment of the buildings in question.

## **Bats – Further Survey Requirements**

No further surveys are recommended – the PRA conclusion does not require further survey information with regards to bats in order to inform a planning application.

## **Bats – Recommendations**

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations, especially if the condition of structural features were to change. A summary of standard Good Practice to be observed by contractors is provided in Appendix 1.

It is not recommended that any Planning Conditions are required with regards to bats in order to ensure legislative compliance.

If the applicant wishes to provide biodiversity enhancement, a bat box could be erected on the western gable of the new or existing building. Guidance on suitable specifications is provided.

## **Nesting Birds – Results and Findings**

The survey identified no evidence of nesting birds within the areas of the buildings to be impacted; however there is historic evidence of nesting in features in close proximity to the works area.

## **Nesting Birds - Recommendations**

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981). Recommendations are provided to ensure this.

It is the responsibility of the contractors undertaking the works to ensure legislative compliance with regards to nesting birds – it is not recommended that Planning Conditions or other mechanisms are required to support this.

As no nesting habitat would be removed, no compensation measures are required though optional enhancement measures are provided.

# PRELIMINARY ROOST ASSESSMENT (PRA)

<b>Planning Authority:</b> Isles of Scilly	<b>Location:</b> SV 88358 08471	<b>Planning Application ref:</b> Report produced in advance of application
<b>Planning application address:</b> Turk's Head, St Agnes, Isles of Scilly		
<b>Proposed development:</b> The proposed works were identified by the client and should accord with the documentation submitted in support of the application. These involve: <ol style="list-style-type: none"><li>1) The removal of the existing conservatory on the southern aspect of the property;</li><li>2) The construction of a new extension within the same approximate footprint including tying in with the existing roof structure of the main building.</li></ol> The following assessment takes into account both the potential direct impacts to the structure (e.g. removal of the existing conservatory and tying in with the retained roof) and the indirect impacts (e.g. disturbance to adjacent or offsite features which may support roosting bats).		
<b>Building references:</b> The building comprises several distinct elements which differ in structure, situation, materials and subsequently their potential to support roosting bats. For the purpose of this report, only three components of the structure are considered due to their potential to be directly or indirectly impacted. These are: <ul style="list-style-type: none"><li>• Section A - the main retained roof;</li><li>• Section B - the conservatory to be removed; and</li><li>• Section C - the flat-roof structure upon which the existing conservatory is constructed.</li></ul> These structural sections are identified in the plans provided in Appendix 2.		
<b>Name and licence number of bat-workers carrying out survey:</b> James Faulconbridge (2015-12724-CLS-CLS)		
<b>Preliminary Roost Assessment date:</b> The visual inspection was undertaken on 7 <sup>th</sup> July 2023 in accordance with relevant Best Practice methodology <sup>1</sup> .		
<b>Local and Landscape Setting:</b> The Turks Head is a public house situated on the north-eastern tip of St Agnes in the Isles of Scilly. The only other built structures in close proximity are those associated with the quay including the public conveniences to the north. The closest settlement is Higher Town situated approximately 220m to the south. The shoreline lies approximately 20m to the north-east with the island of Gugh present across a short stretch of water. The rocky shoreline here may provide suitable foraging habitat for		

<sup>1</sup> Collins, J. (ed.) 2016 Bat Surveys for Professional Ecologists: Good Practice Guidelines (3<sup>rd</sup> edn). The Bat Conservation Trust, London.

common pipistrelle during lower tides.

The land to the south and west is dominated by pasture fields used as grazing by cattle. These fields are bounded by stone walls in places, and by small shelterbelt hedges in others.

Common pipistrelle is the only species confirmed as resident on the island. Only a single confirmed roosting record is listed on the Isles of Scilly Bat Group roost register. The confirmed roost is situated approximately 500m to the west though further details relating to species, number and roost type are not recorded.

### **Building Description**

There are several distinct structural sections within the contiguous building complex which comprises the property. Much of the building complex would not be impacted by the proposals; therefore the following descriptions relate to those aspects of the property which would be directly or indirectly impacted by the proposals. This is to ensure clarity and brevity.

For the avoidance of doubt, this assessment does not provide a comprehensive survey of the property beyond those aspects explicitly identified and described below.

#### *Building Section A - Main Pub Building*

The two-storey pub identified as Section A is the main structure on the site. The conservatory (Section B) and single-storey extension (Section C) are attached to this on its southern aspect.

The roof is tiled with flat slate tiles and ridge tiles – all appear well fitted and in good condition. A chimney is present – the flashing at the junction with the tiled roof is well-sealed and in good condition. Soffits around the eaves of the roof are well-sealed with attached guttering. The potential for minor gaps beneath tiles at the eaves is largely restricted by the position of the guttering which would preclude a direct fly-in access.

Internally, the roof is built around a modern timber truss framework with no ridge board. Insulation is present between the joists. The roof is under-felted throughout in good condition. Internal gable walls of granite or breeze block appeared well-pointed. The central section of the loft space is boarded on the floor and used for storage – this was clean and relatively accessible though some areas towards the eaves or around water tanks could only be inspected from a close distance. This was not considered to be a constraint on the survey efficacy. No evidence of bats was identified, although individual rodent droppings were noted.

#### *Building Section B - Conservatory*

The conservatory to be removed is a relatively modern uPVC structure with double-glazed windows. There are no fascia boards or other elements of the construction which would provide suitable roosting habitat for bats, and the interior of the structure is unsuitable due to lack of features, routine residential use, high light levels and significant diurnal temperature variations.

The junction between the conservatory and the main pub building (Section A) against which it is built is well-sealed with no gaps noted.

#### *Building Section C - (Flat-roof extension)*

This is a flat-roof extension on the southern aspect of the main building (Section A) upon which the conservatory (Section B) is constructed at the first-floor height.

The construction is standard at the front, with a kitchen entrance, but is built into the rising hillside on the southern and western aspects such that only the top 1m of wall is visible. Walls, where present, are rendered and in good condition with well-fitted uPVC window and door frames. The flat-roof is well-sealed with no gaps noted. The fascia is tightly fitted with no gaps noted.

On the eastern aspect of this building there is a flight of steps constructed which provides

access to the conservatory (Section B). This is generally well-pointed though there is a recessed water tank used to collect rainwater from the roofs. At the back of the tank is evidence of a historic bird's nest, not active at the time of survey.

### **Survey Limitations**

There were no significant limitations to access or survey inspection which might affect the evidence base or subsequent conclusions of this survey.

### **Assessment of Potential for use by Roosting Bats**

It is considered that the structural features to be demolished or otherwise affected by the proposals offer **negligible potential** for use by roosting bats.

### **Recommendations and Justification (Bats):**

No further surveys are recommended – the conclusion of **negligible potential** related to the structures to be impacted does not require any further information with regards to bats in order to inform a planning application.

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations, especially if the condition of structural features were to change. A summary of standard Good Practice to be observed by contractors is provided in Appendix 1.

It is not recommended that any Planning Conditions are required with regards to bats in order to ensure legislative compliance.

If the applicant wishes to provide biodiversity enhancement, the position of the western gable of the new structure, or the existing main building (Section A) facing the more sheltered side of the site would offer an ideal location to install a bat box. This should be positioned above 3m from the ground to minimise the risk of predation. An open-based box design would ensure that it would not require cleaning. The location and aspect would be optimal for bats such as common pipistrelle which is the only species confirmed on the island and the most likely species to use the environs for foraging and roosting.

A suitable box could be purchased or constructed following freely available plans. Kent Bat Box style boxes are slim easy to construct from appropriate timber using the plans provided at:

<http://www.kentbatgroup.org.uk/kent-bat-box.pdf>

### **Assessment of Potential for use by Nesting Birds**

No suitable nesting habitat for birds was identified associated with the elements of the building to be directly affected by the proposals.

The historic nest on top of the recessed water tank would not be directly affected – this feature would remain – however works would take place in close proximity to this. There are also areas of shrubs and other vegetation in close proximity to the conservatory which would potentially be used for storage of materials or subject to disturbance by contractors during demolition / construction.

### **Recommendations and Justification (Birds):**

The features identified above should not be directly impacted by the proposed works; however care should be taken erecting scaffolding etc. in order to ensure these are not disturbed if works proceed in the nesting season.

Caution and vigilance should be exercised if works take place during the breeding season (March – September inclusive) to ensure that if any birds are nesting in features associated with

the structures in close proximity to the works, they are identified and works are designed to avoid damage or disturbance.

There is no requirement to mitigate for loss of nesting habitat for breeding birds; however if the applicant wished to provide biodiversity enhancement measures, this could be achieved through the erection of bird boxes on the property or within the garden.

House sparrows nest communally and nest boxes could accommodate this, either through the installation of a single purpose-built nest box comprising several individual chambers with separate entrances, or the installation of 3+ nest boxes in close proximity. Nest boxes suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin also have a high likelihood of occupation.

Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of predation from cats.

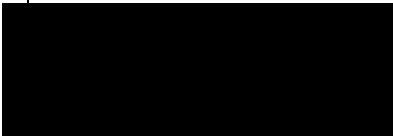
Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB:

**Sparrows:** <https://www.rspb.org.uk/get-involved/activities/give-nature-a-home-in-your-garden/garden-activities/createasparrowstreet/>

**Other Species:** <https://www.rspb.org.uk/fun-and-learning/for-families/family-wild-challenge/activities/build-a-birdbox/>

**Signed by bat worker(s):**

**Date:** 11<sup>th</sup> July 2023



# APPENDIX 1

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## BEST PRACTICE WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that contractors undertaking renovation works are aware of their legal duties with regards to bats, and aware of the appropriate action to be taken in the highly unlikely event of bats being encountered.

Contractors should be aware of **their own legal responsibility with respect to bats:**

### **Relevant Legislation regarding Bats**

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

- (a) *To impair their ability -*
- *to survive, to breed or reproduce, or to rear or nurture their young; or*
  - *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*
- (b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the structure:**

No features suitable for roosting bats were identified within the proposed works area – however contractors should be aware of the type of feature in which bats might be found in this type of structure.

These include:

- Gaps between roofing tiles;
- Crevices and gaps between structural elements, such as the conservatory roof and the uPVC soffits;
- Beneath lead flashing, if this becomes lifted to create a cavity;
- Within loft voids, often at the apex of roof timbers;
- In gaps between fascias/soffits and the adjacent wall.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.



## APPENDIX 2

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### LOCATION PLAN AND PHOTOGRAPHS



**Map 01** - Illustrating the location of the building (red circle) within the local environs. Reproduced in accordance with Google's Fair Use Policy.



**Map 02** - Showing the different building sections including the main roof of the pub (Section A) in the red wash; the conservatory (Section B) in the blue wash; and the flat-roof extension on which the conservatory is built (Section C) in the yellow wash. Note Section C also extends beneath Section B.



**Photograph 1:** Showing the conservatory (Section B) attached to the southern aspect of the main building (Section A)



**Photograph 2:** Showing the conservatory (Section B) built on top of the flat-roof extension (Section C)



**Photograph 3:** Showing the well-fitted soffits supporting guttering on the southern aspect of the main building (Section A)



**Photograph 4:** Showing the integral water tank beneath the conservatory. The gap at the top providing access to the location where a historic nest was confirmed can be seen.



**Photograph 5:** Showing the interior of the loft space of the main structure (Section A)



**Photograph 6:** Showing the fascia and guttering below the flat-roof section of the building (Section C) with well-fitted uPVC windows visible.