



**IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY**

## **COUNCIL OF THE ISLES OF SCILLY**

Town Hall, St Mary's TR21 0LW  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990  
Town and Country Planning (Development Management Procedure) Order 2010

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### **APPROVAL OF RESERVED MATTERS**

**Application No:** P/24/027/REM

**Date Application Registered:** 02 April 2024

**Applicant:** Nicola Stinson  
Council of the Isles of Scilly  
Old Wesleyan Chapel  
Garrison Lane  
Hugh Town  
St Mary's  
Isles of Scilly  
TR21 0JD

**Agent:** Mr Andrew Chaplin  
KTA Architects Ltd  
Winslade House  
Winslade Park Manor Drive  
Clyst St.Mary  
Exeter  
Devon  
EX5 1FY

**Site address:** Land to North of Ennor Farm Old Town Lane Old Town St Mary's Isles of Scilly  
**Proposal:** Reserved Matters application for '*appearance*' of dwellings for approval of planning permission P/21/002/OUT, dated 12th April 2021 for 12 detached and semi-detached self-build homes (Major Development).

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1** The development hereby approved shall be begun not later than the expiration of two years from the date of this Reserved Matters approval.  
Reason: To comply with the requirements of Article 5 of the Town and Country Planning (Development Management Procedure) (England) Order 2015.
- C2** The development hereby permitted shall be carried out in accordance with the approved details only including:
- Design and Access Statement, KTA dated March 2024
  - Drawing No. 2002-SC-KT-XX-XX-DR-A-SK270-S0 P2, House type D - Typical Elevations, date stamped 26 March 2024
  - Drawing No. 2002-SC-KT-XX-XX-DR-A-SK260-S0 P2, House Type D - Typical Plans, date stamped 26 March 2024
  - Drawing No. 2002-SC-KT-XX-XX-M3-A-2002-SK290-S0 P2, House Type E - Typical Elevations, date stamped 26 March 2024
  - Drawing No. 2002-SC-KT-XX-XX-M3-A-2002-SK280-S0 P2, House Type E - Typical Plans, date stamped 26 March 2024
  - Drawing No. 2002-SC-KT-XX-XX-M3-A-2002-SK310-S0 P3, House Type F - Typical Elevations, date stamped 26 March 2024
  - Drawing No. 2002-SC-KT-XX-XX-M3-A-2002-SK300-S0 P3, House Type F - Typical Plans, date stamped 26 March 2024
  - Drawing No. SC-KT-XX-XX-DR-A-2002-SO-SK001 P2, Location Plan, Date stamped 26 March 2024
  - Drawing No. SC-KT-XX-XX-M3-A-2002-SO-0205 P1, Means of Enclosure, Date stamped 26 March 2024

- Drawing No. SC-KT- XX-XX-DR-A-2002-S0-0201 P1, Roof Plan, Date stamped 26 March 2024
- Drawing No. SC-KT- XX-XX-DR-A-2002-S0-0203 P1, Proposed Site Sections and Elevations, Date stamped 26 March 2024
- Drawing No. SC-KT- XX-XX- M3-A-2002-S0-0206 P1, Proposed Site Block Plan, Date stamped 26 March 2024
- Drawing No. SC-KT- XX-XX-DR-A-2002-S0-0200 P1 Proposed Site Plan Ground Level, Date stamped 26/03/2025
- Design Codes ALA Architects, as approved under P/21/002/OUT 12 April 2021
- Design Statement, KTA, Ref: 2002\_Ennor Housing, Isles of Scilly, date stamped 26 March 2024

These are stamped as **APPROVED**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 of the Isles of Scilly Local Plan 2015-2030.

- C3 The external materials to be used in the construction of the dwellings shall be as specified in the submitted materials schedule unless otherwise agreed in writing by the Local Planning Authority.**  
Reason: To ensure a high-quality appearance that is appropriate to the character of the Isles of Scilly Conservation Area, in accordance with Policy OE7 of the isles of Scilly Local Plan 2015-2030.
- C4 The means of enclosure shall be implemented in accordance with the approved details prior to the occupation of each dwelling.**  
Reason: To ensure the visual integration of the development and maintain local character that enhances the character of the Conservation Area, in accordance with Policy OE7 of the isles of Scilly Local Plan 2015-2030.
- C5 The appearance of each dwelling shall be constructed in accordance with the approved plans and shall not be altered without the prior written approval of the Local Planning Authority.**  
Reason: To maintain consistency with the approved design and ensure the development remains in keeping with its surroundings.
- C6 All conditions attached to the outline planning permission P/21/002/OUT, as varied by P/25/018/ROV and discharged under P/22/002, P/22/038, and P/22/043, shall continue to apply and be complied with in full unless otherwise varied or discharged.**  
Reason: To ensure compliance with the overarching outline permission and associated requirements.
- C7 All finishes and colours of external doors, windows, rainwater goods, or timber cladding shall be in accordance with the palette and principles set out in the approved Design Codes (Ref: ALA Architects) document under outline permission P/21/002/OUT only and maintained as such thereafter.**  
Reason: To ensure that the external appearance of the development reflects the local character and complies with the design principles established in the approved Design Codes.
- C8 Prior to the first occupation of any dwelling hereby approved, the applicant or site owner, shall submit to the Local Planning Authority evidence that each dwelling has been constructed in accordance with the definition of self-build or custom housebuilding as set out in the Self-build and Custom Housebuilding Act 2015 (as amended). This shall include evidence of individual input into the design and construction process, as appropriate.**  
Reason: To ensure the development complies with the self-build and custom housebuilding principles upon which the outline planning permission was granted.

## Further Information

1. **SECTION 106 AGREEMENT:** The planning permission hereby approved is subject of a section 106 agreement to control the occupancy of the dwellings to ensure they contribute towards the housing need of the local community. This is a pre-commencement condition attached to the original outline Permission P/21/002/OUT as varied under P/25/018/ROV. Failure to comply with this condition would result in any development being unlawful.
2. **STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
3. **SELF/CUSTOM-BUILD HOUSING:** The applicant is reminded that the development was approved on the basis of delivering self-build and custom housebuilding plots. Each dwelling must comply with the definition set out in the Self-build and Custom Housebuilding Act 2015 (as amended), including demonstrable individual input into the design and construction. The Local Planning Authority may request evidence of compliance prior to occupation or sale of plots. The shell-to-watertight option may be acceptable provided the internal fit-out and design decisions remain with the individual self-builder.
4. **BUILDING CONTROL:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk)
5. **POST-DECISION AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal

application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here:

[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)

6. **DISCHARGING CONDITIONS:** In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission. You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied:  
[https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)
7. **COMMENCEMENT NOTICE:** Under Section 93G of the Town and Country Planning Act 1990 (as amended), this decision notice informs you that a 'commencement notice' must be served on the Local Planning Authority - subsections (2) and (3) are set out below:
- (2) Before the development is begun, the person proposing to carry it out must give a notice (a "commencement notice") to the local planning authority specifying the date on which the person expects the development to be begun.
- (3) Once a person has given a commencement notice, the person:
- may give a further commencement notice substituting a new date for the date previously given, and
  - must do so if the development is not commenced on the date previously given
- The notice should be provided to the Local Planning Authority a minimum of seven (7) days before the development commences.
- Failure to provide the commencement notice could lead to the Local Planning Authority serving notice on them to require information to be provided, and if that is not provided within 21 days, they will be guilty of an offence, as below:
- (5) Where it appears to the local planning authority that a person has failed to comply with the requirements of subsection (2) or (3)(b), they may serve a notice on any relevant person requiring the relevant person to give the authority such of the information prescribed under subsection (4)(a) as the notice may specify.
- (7) A person on whom a notice under subsection (5) is served is guilty of an offence if they fail to give the information required by the notice within the period of 21 days beginning with the day on which it was served
- (9) A person guilty of an offence under subsection (7) is liable on summary conviction to a fine not exceeding level 3 on the standard scale.
- PLEASE NOTE: The requirement under Section 93G of the Town and Country Planning Act 1990 (as amended) is separate from any requirements under the Community Infrastructure Levy Regulations 2010 (as amended) or any requirements for serving notices secured through the signed Section 106 Legal Agreement.
8. **BIODIVERSITY NET-GAIN:** Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements are considered to apply. These can be found in the legislation. The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that, unless an exception or a transitional arrangement applies, the planning permission granted for the development of land in England is deemed to have been granted subject to the condition ("the biodiversity gain condition") that development may not begin unless:
- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.
- The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan in respect of this permission would be the Planning Department at the Council of the Isles of Scilly.
9. **REGISTERING FOR COUNCIL TAX:** To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: [revenues@scilly.gov.uk](mailto:revenues@scilly.gov.uk) at the relevant time, prior to occupation of the dwellings.
10. **FIRE:** Access for fire appliances within the site will be considered satisfactory providing it complies with Part B5 of Approved Document B, Vehicle Access. Adequate water supplies for firefighting purposes will be achieved by complying with the requirements of Part B5 of Approved Document B. As this is a 'major development' Cornwall Fire and Rescue Service would advise a consultation takes place between the fire authority and Building Control or the Approved Inspector during the building control consultation process to ensure sufficient firefighting water supplies/hydrants are installed as part of the development build if granted.

Signed: 

**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 05 September 2025



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW  
☎0300 1234 105  
✉[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Dear Nicola Stinson

## **IMPORTANT:** Please sign and complete this **Commencement Certificate**.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

### **What if plans change?**

If development does not start on the stated date, a new notice must be submitted with the revised date.

### **What happens if you don't comply?**

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

### **Why is this important?**

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

### **Relation to other notices:**

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/24/027/REM and the accompanying conditions have been read and understood by the applicant: Council of the Isles of Scilly.

1. **I/we intend to commence the development as approved:** Reserved Matters application for appearance of dwellings for outline approval of planning permission P/21/002/OUT dated 12 April 2021 for 12 detached and semi-detached self-build homes (Major Development) at: Land to North of Ennor Farm Old Town Lane Old Town St Mary's Isles of Scilly on: .....
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. If the site is found to be inaccessible then contact details of the applicant/agent/contractor (delete as appropriate) are:

**Name:** ..... **Contact Telephone Number:** .....

Print Name: .....



Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt, you are reminded to address **Condition C9 of P/21/002/OUT (as varied by P/25/018/ROV)** before you commence the implementation of this permission. The following condition requires a further formal discharge before first occupation of each dwelling. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

**Pre-occupation Condition:**

C8 Prior to the first occupation of any dwelling hereby approved, the applicant or site owner, shall submit to the Local Planning Authority evidence that each dwelling has been constructed in accordance with the definition of self-build or custom housebuilding as set out in the Self-build and Custom Housebuilding Act 2015 (as amended). This shall include evidence of individual input into the design and construction process, as appropriate.



# COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

**THIS LETTER CONTAINS IMPORTANT INFORMATION  
REGARDING YOUR PERMISSION – PLEASE READ  
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE  
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW  
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

**Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

**Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

### **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall  
Council Pydar  
House Pydar  
Street Truro  
Cornwall  
TR1 1XU

Inspection Requests can also be made online:  
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

### **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk) who will be able to make alterations to local and national databases and ensure postcodes are allocated.

### **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.





Front Elevation

1 : 50



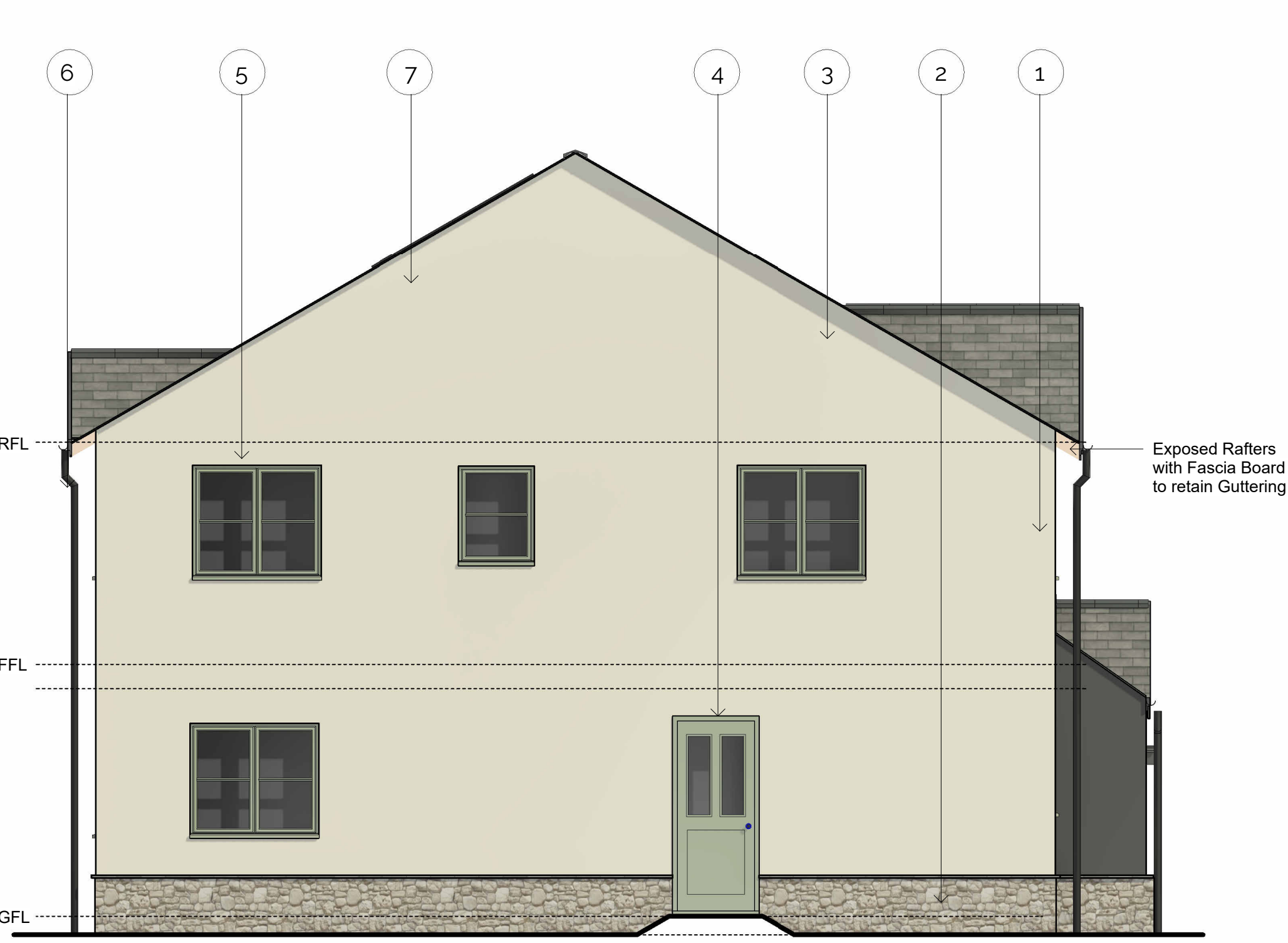
Side Elevation A

1 : 50



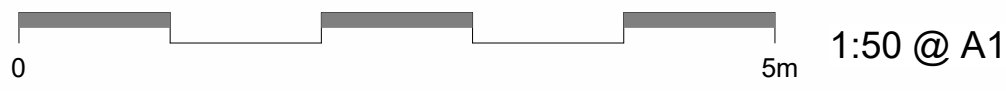
Rear Elevation

1 : 50



Side Elevaton B

1 : 50



**APPROVED**

By Lisa Walton at 9:55 am, Sep 05, 2025

**RECEIVED**

By Liv Rickman at 3:22 pm, Mar 26, 2024

Contractors to check all dimensions on drawings.  
Any discrepancies must be reported to KTA Architects Ltd or the contract administrator before proceeding.  
Do not scale except for planning purposes, work to figured dimensions.  
A Fire Consultant must be appointed for this project. KTA drawings & schedules to be read in conjunction with the Fire Consultant Fire Strategy Report.  
The Fire Strategy Report takes precedence over any KTA drawing or schedule & any discrepancy should be brought to KTA's attention.  
This drawing must be read in conjunction with all relevant consultants drawings.  
This drawing is © KTA Architects Ltd.

Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P2	MAR 2024	RMA ISSUE	OMS/AC
P1	FEB 2020	DRAFT ISSUE	MC/AC

- Materials Key**
- 1 Painted Render - colour tbc
  - 2 Natural Stone Plinth
  - 3 Natural Slate Tile Roof
  - 4 Composite Timber Doors - colour tbc
  - 5 Timber Windows - colour tbc
  - 6 Colour Coated Aluminium Gutters/Downpipes - colour tbc
  - 7 Integrated Solar Panels

**HOUSETYPE D**  
2 Bed 4 Person  
Semi Detached

Part M(4) Category 2

**2B/4P Housetype D - Front Entrance**  
GIA: 89.2m<sup>2</sup>  
Storage Area: 4.21m<sup>2</sup>  
Minimum GIA = 79m<sup>2</sup>  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

Winslade House, Winslade Park, Manor Drive,  
Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project <b>Ennor Housing, Scilly</b>		<b>Isles of</b>	
Title <b>Housetype D - Typical Elevations</b>			
Author <b>OMS/AC</b>	Chkd by <b>AC</b>	Scale <b>1 : 50 @ A1</b>	
Project <b>2002</b>	Status <b>Pre Construction</b>		
Drawing number <b>2002-SC-KT-XX-XX-DR-A-SK270-S0</b>			<b>P2</b>

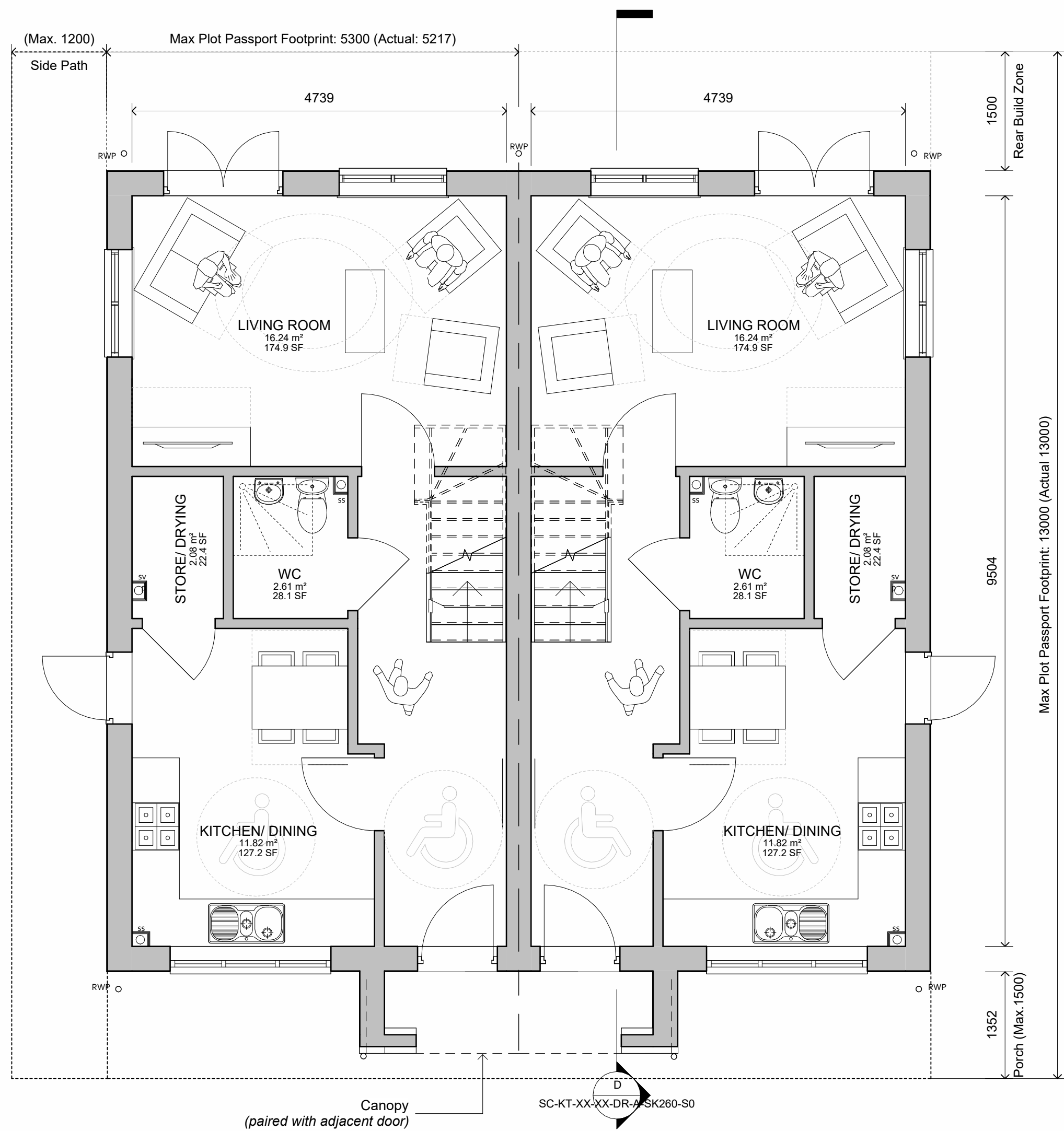


RECEIVED

By Liv Rickman at 3:21 pm, Mar 26, 2024

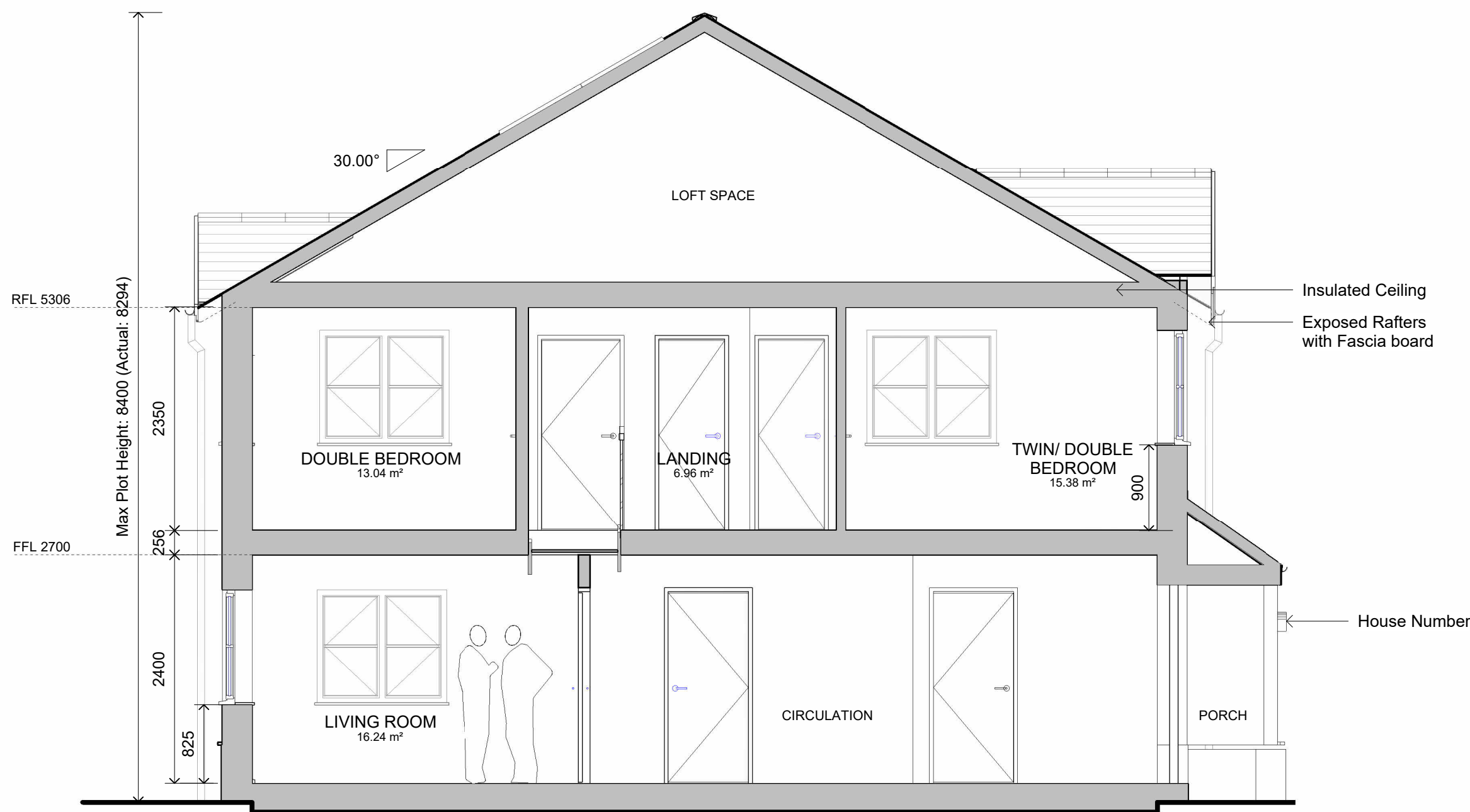
APPROVED

By Lisa Walton at 10:45 am, Sep 05, 2025



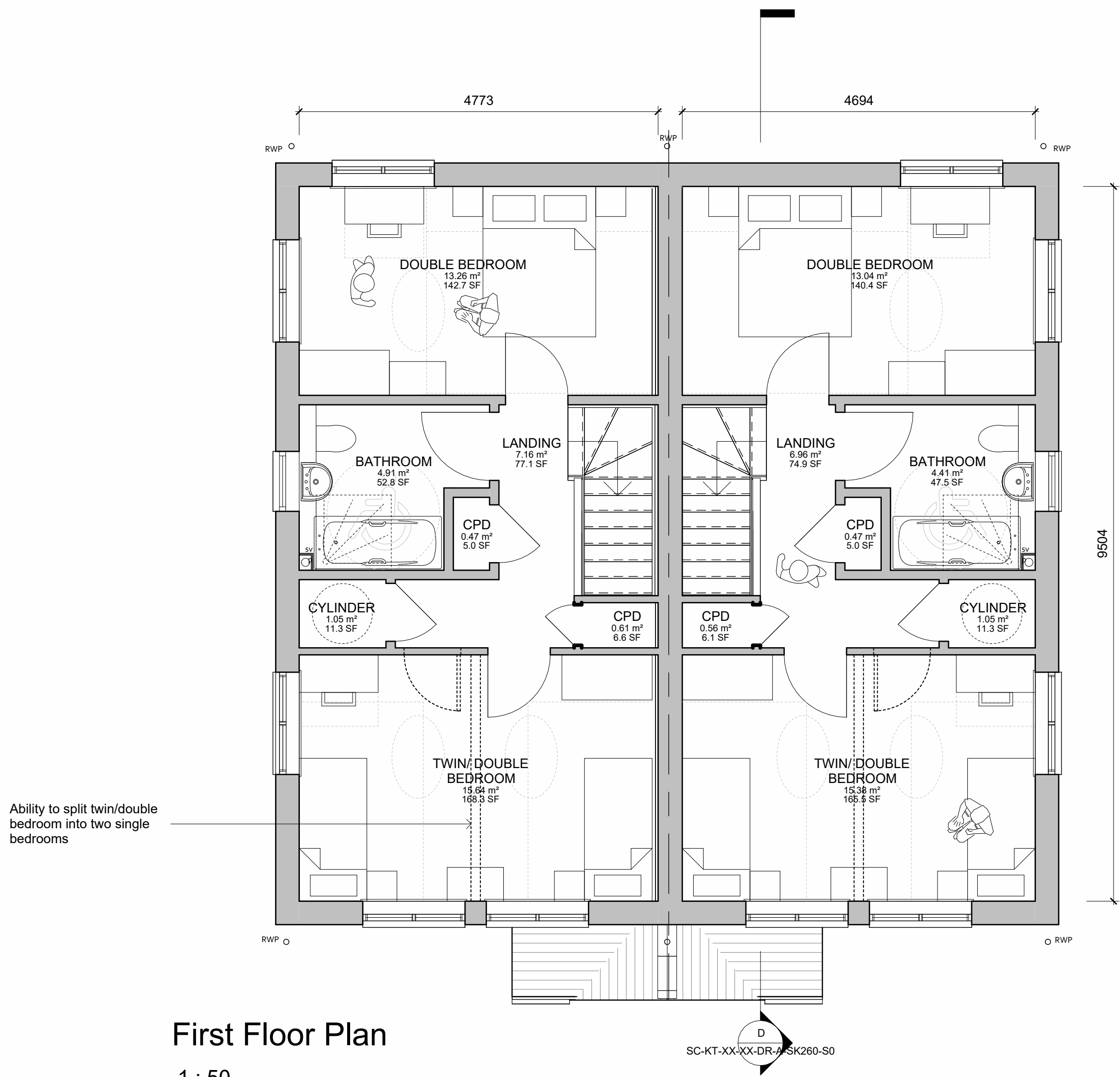
Ground Floor Plan

1 : 50



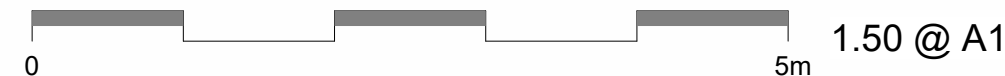
Section D

1 : 50



First Floor Plan

1 : 50



Contractors to check all dimensions on drawings.

Any discrepancies must be reported to KTA Architects Ltd or the contract administrator before proceeding.

Do not scale except for planning purposes, work to figured dimensions.

A Fire Consultant must be appointed for this project. KTA drawings & schedules to be read in conjunction with the Fire Consultant Fire Strategy Report.

The Fire Strategy Report takes precedence over any KTA drawing or schedule & any discrepancy should be brought to KTA's attention.

This drawing must be read in conjunction with all relevant consultants drawings.

This drawing is © KTA Architects Ltd.

Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P2	MAR 2024	RMA ISSUE	OMS/AC
P1	FEB 2020	DRAFT ISSUE	MC/AC

**HOUSETYPE D**  
2 Bed 4 Person  
Semi Detached

Part M(4) Category 2

**2B/4P Housetype D - Front Entrance**

**GIA: 89.2m²**  
**Storage Area: 4.21m²**  
**Minimum GIA = 79m²**  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

Winslade House, Winslade Park, Manor Drive,  
Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
**Ennor Housing, Isles of Scilly**

Title  
**Housetype D - Typical Plans**

Author	Chkd by	Scale
OMS/AC	AC	1 : 50 @ A1

Project	Status
2002	Pre Construction

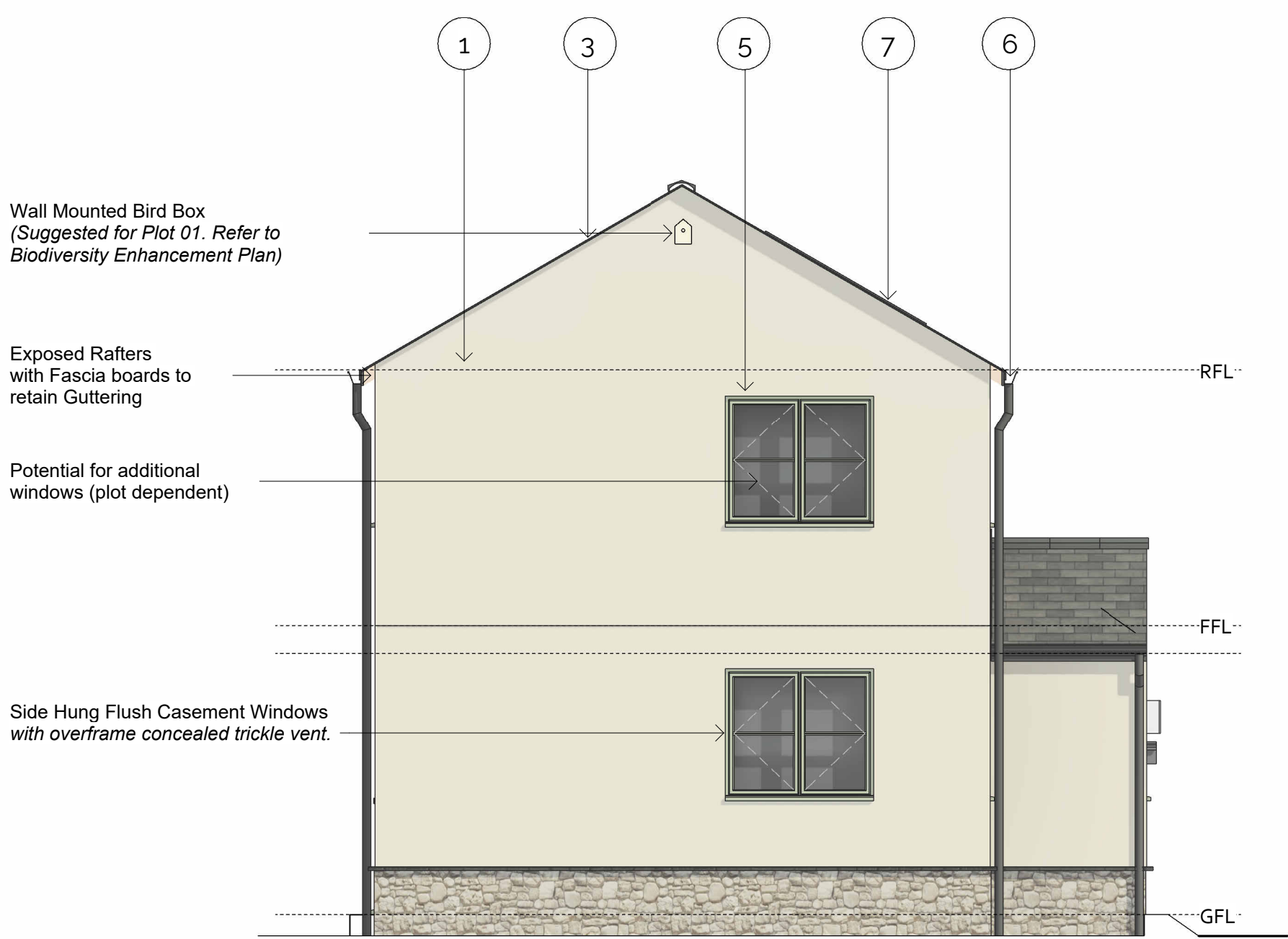
Drawing number	
2002-SC-KT-XX-XX-DR-A-SK260-S0	P2

QMP 128 V1.0 - 24/11/2022

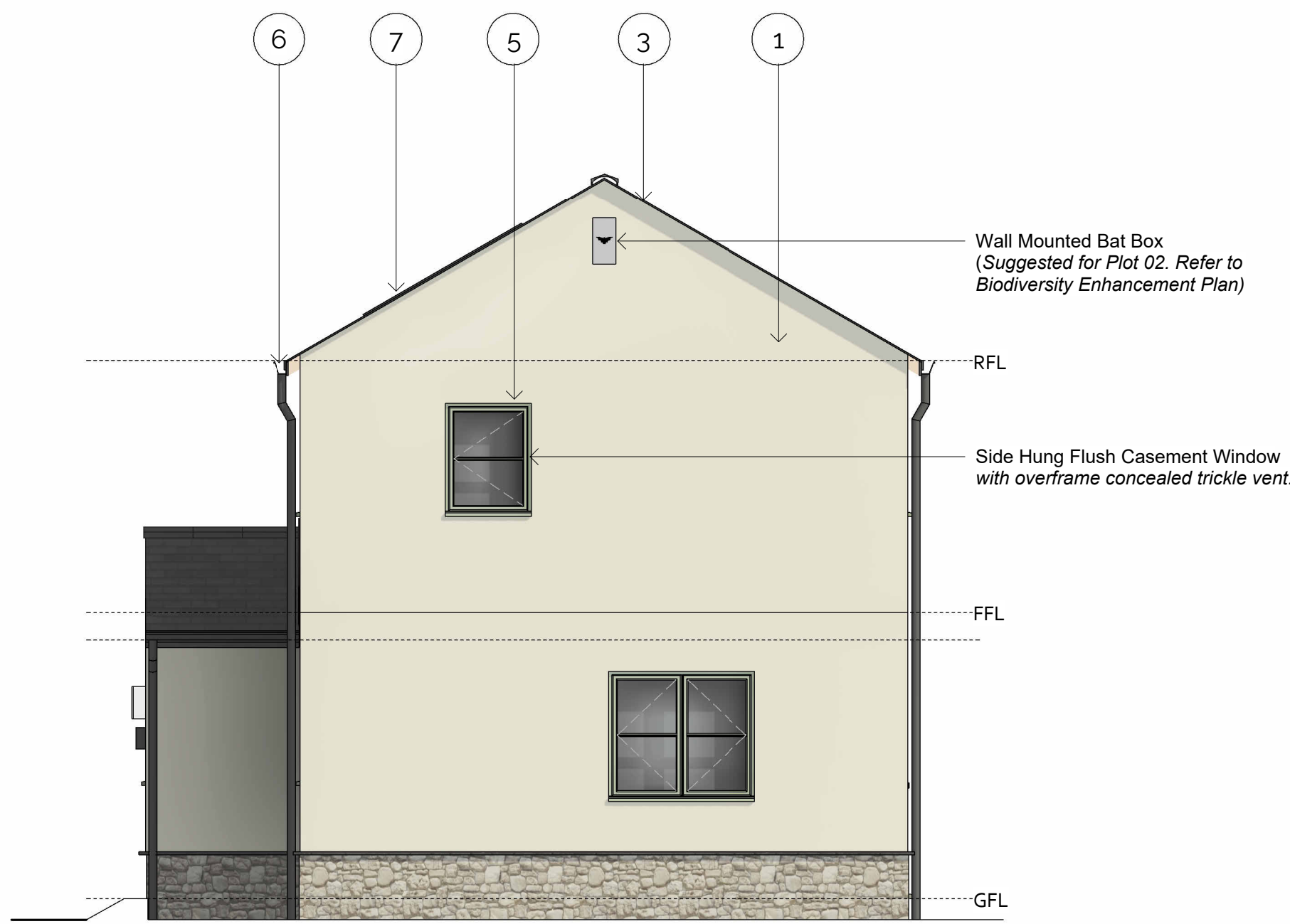




Front Elevation  
1 : 50



Side Elevation A  
1 : 50



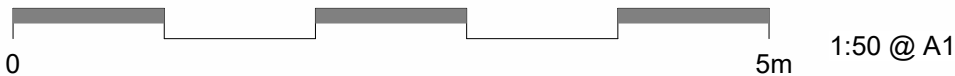
Side Elevation B  
1 : 50



Rear Elevation  
1 : 50

**APPROVED**  
By Lisa Walton at 10:46 am, Sep 05, 2025

**RECEIVED**  
By Liv Rickman at 3:23 pm, Mar 26, 2024



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P2	MAR 2024	RMA ISSUE	OMS/AC
P1	FEB 2020	DRAFT ISSUE	MC/AC

**HOUSETYPE E**  
2 Bed 4 Person  
Detached or Semi Detached

Part M(4) Category 2

**2B/4P Housetype E - Front Entrance**

GIA: 87.3m²  
Storage Area: 4m²  
Minimum GIA = 79m²  
(Technical housing standards - nationally described space standard)

**Materials Key**

- 1 Painted Render - colour tbc
- 2 Natural Stone Plinth
- 3 Natural Slate Tile Roof
- 4 Composite Timber Doors - colour tbc
- 5 Timber Windows - colour tbc
- 6 Colour Coated Aluminium Gutters/Downpipes - colour tbc
- 7 Integrated Solar Panels

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

Winslade House, Winslade Park, Manor Drive,  
Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
Ennor Housing, Isles of Scilly

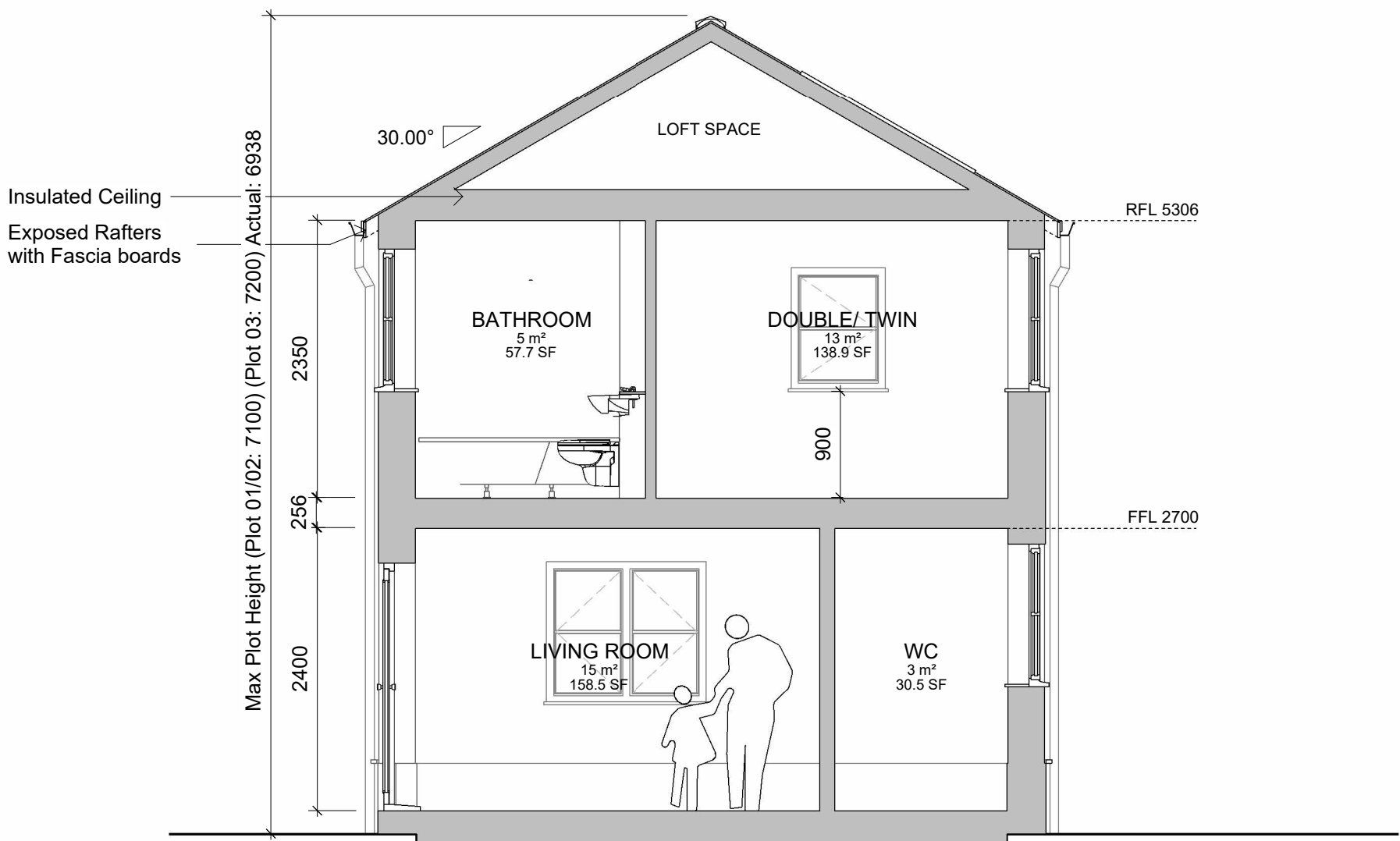
Title  
Housetype E - Typical Elevations

Author OMS/AC	Chkd by AC	Scale 1 : 50 @ A1
Project 2002	Status Pre Constuction	
Drawing number 2002-SC-KT-XX-M3-A-2002-SK290-S0	P2	

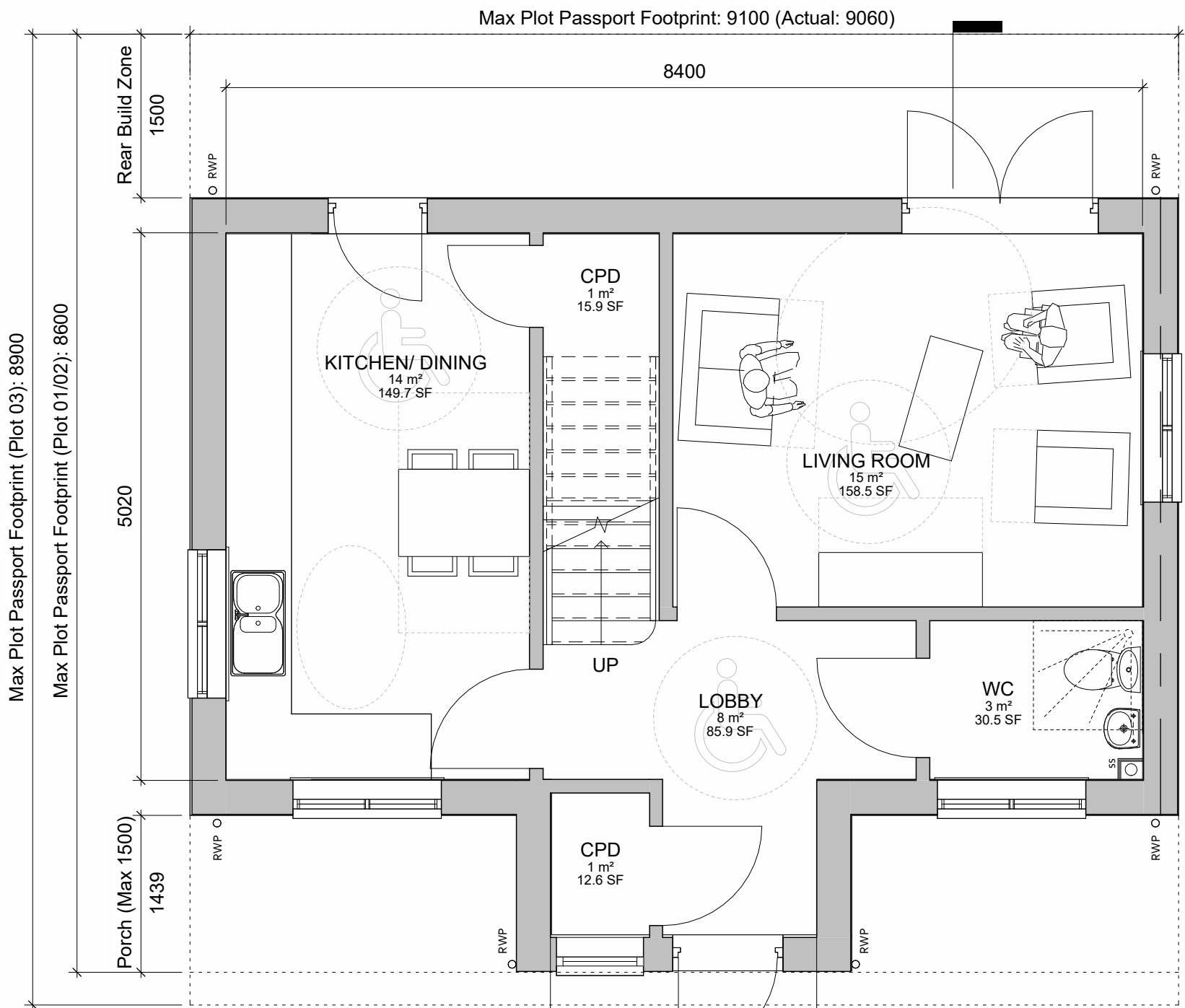
OMP 128 v1.0 - 24/11/2022



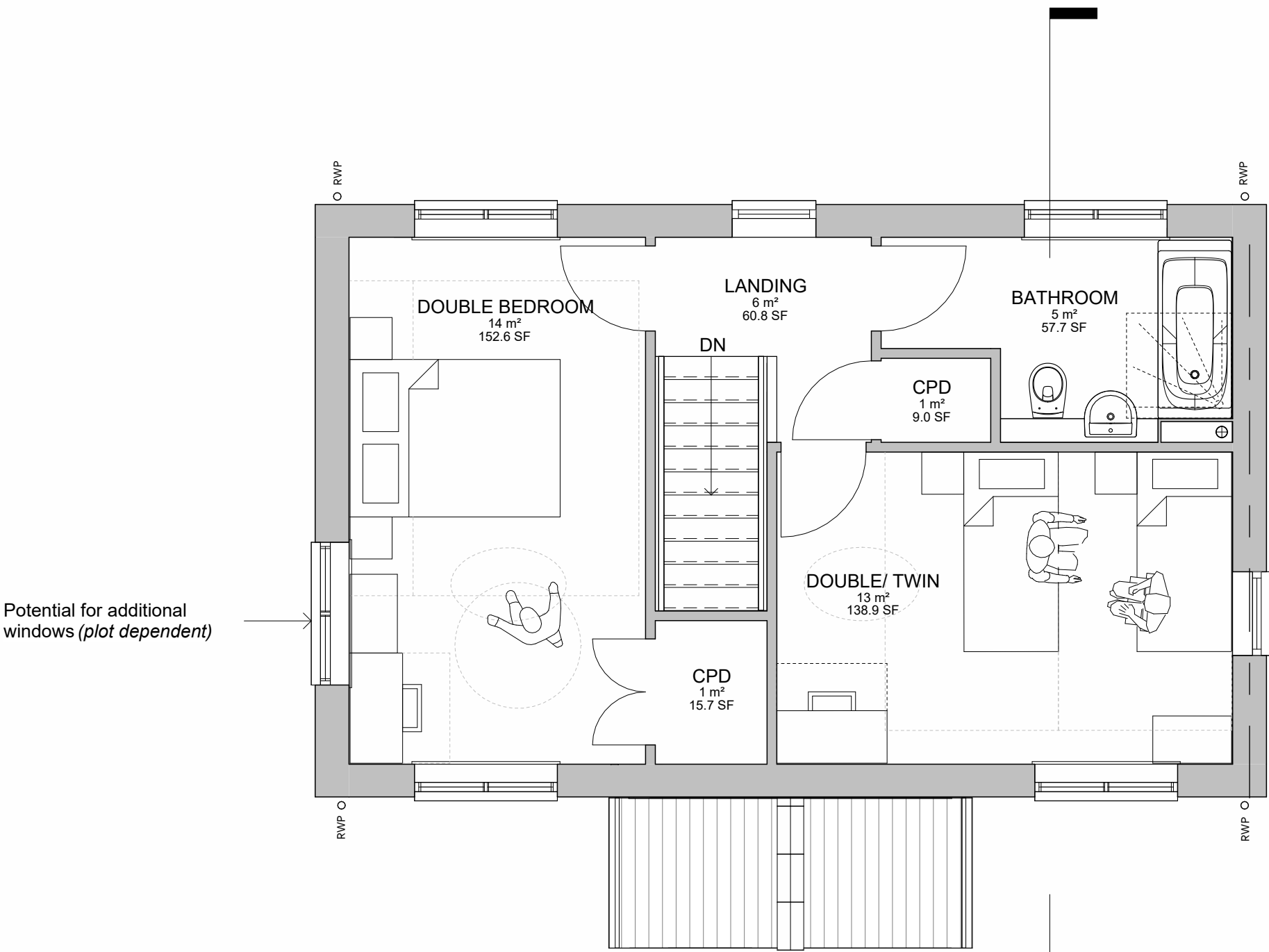
RECEIVED  
By Liv Rickman at 3:23 pm, Mar 26, 2024



Section E  
1 : 50



Ground Floor Plan  
1 : 50



First Floor Plan  
1 : 50

APPROVED  
By Lisa Walton at 10:47 am, Sep 05, 2025

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P2	MAR 2024	RMA ISSUE	OMS/AC
P1	FEB 2020	DRAFT ISSUE	MC/AC

**HOUSETYPE E**  
2 Bed 4 Person  
Detached or Semi Detached

Part M(4) Category 2

**2B/4P Housetype E - Front Entrance**

**GIA: 87.3m²**  
**Storage Area: 4m²**  
**Minimum GIA = 79m²**  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

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Web: www.kta.uk.com

Project  
**Ennor Housing, Isles of Scilly**

Title  
**Housetype E - Typical Plans**

Author  
OMS/AC

Chkd by  
AC

Scale  
1 : 50 @ A1

Project  
2002

Status  
Pre Constuction

Drawing number  
2002-SC-KT-XX-XX-M3-A-2002-SK280-S0

P2



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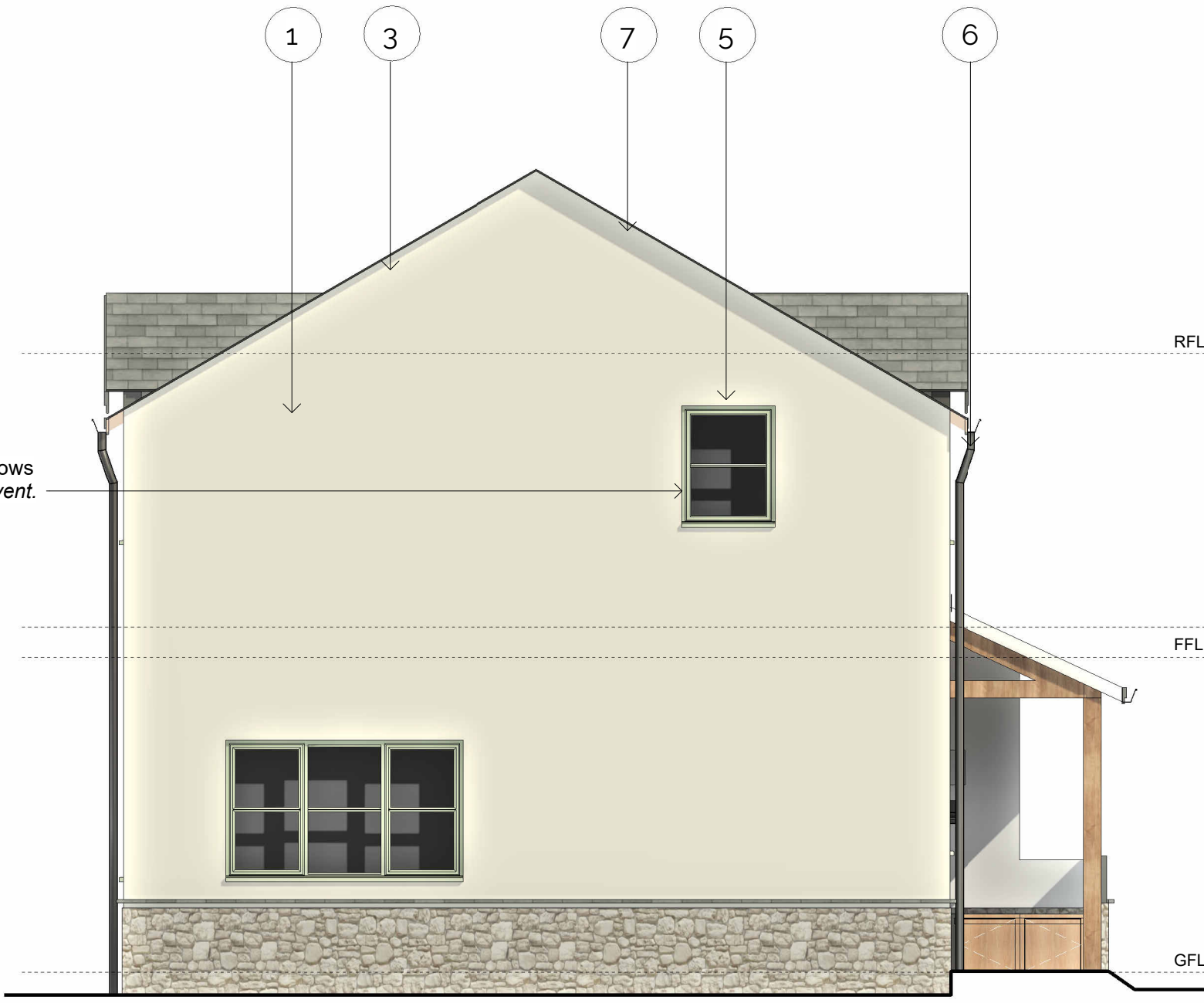
APPROVED

By Lisa Walton at 10:48 am, Sep 05, 2025



Front Elevation

1 : 50



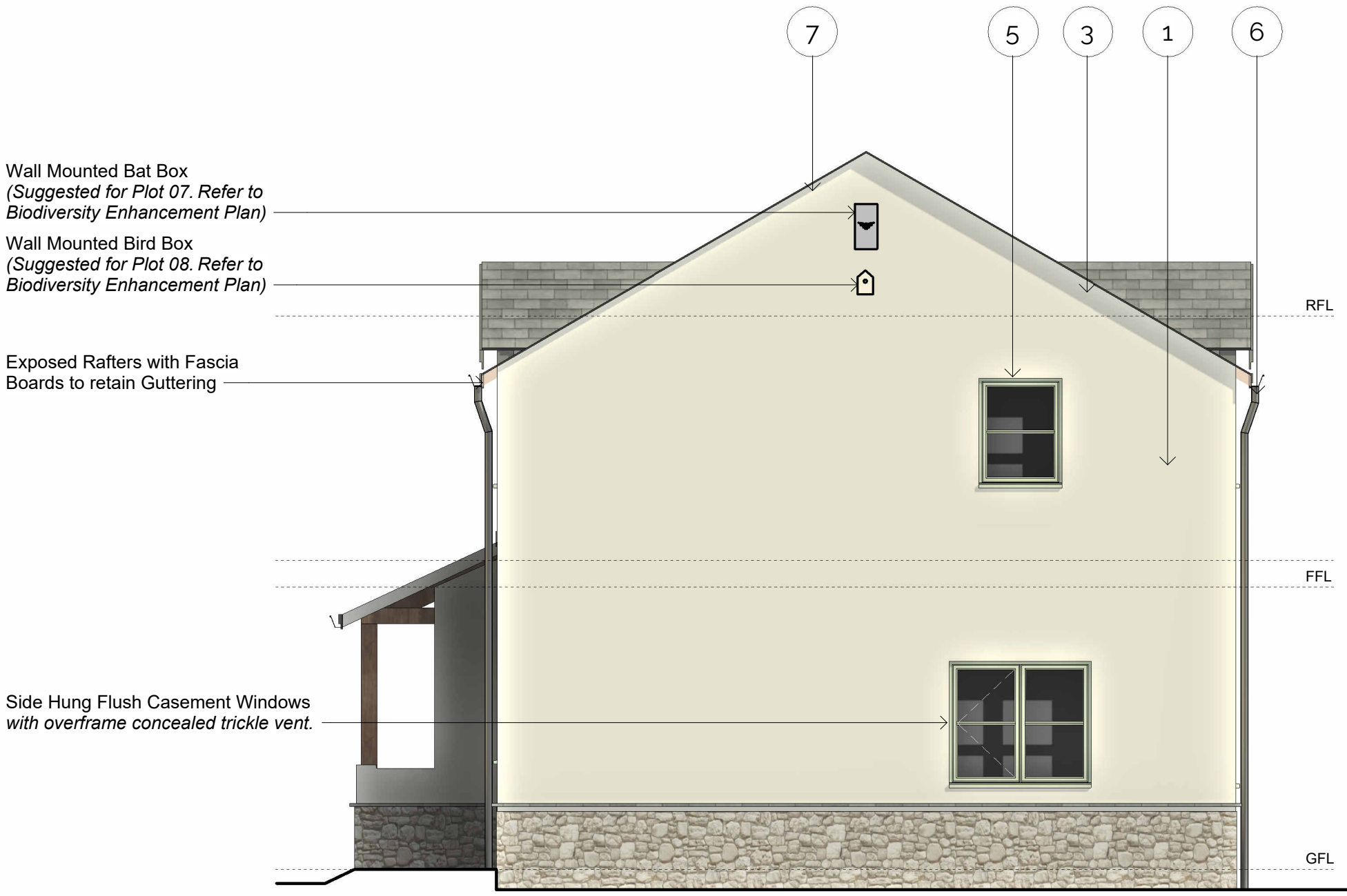
Side Elevation A

1 : 50



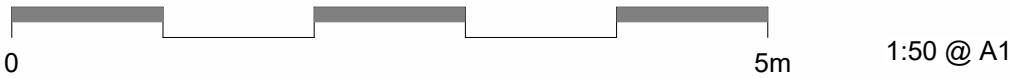
Rear Elevation

1 : 50



Side Elevation B

1 : 50



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P3	MAR 2024	IRMA ISSUE	OMS/AC
P2	24/01/2023	Updated to suit plot passports	SO
P1	22/09/2023	DRAFT Issue	EM/AC

HOUSETYPE F

3 Bed 6 Person

Detached or Semi Detached

Part M(4) Category 2

3B/ 6P Housetype F - Front Entrance

GIA: 109.2m<sup>2</sup>

Storage Area: 4.5m<sup>2</sup>

Minimum GIA = 102m<sup>2</sup>

(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

- Materials Key
- 1 Painted Render - colour tbc
  - 2 Natural Stone Plinth
  - 3 Natural Slate Tile Roof
  - 4 Composite Timber Doors - colour tbc
  - 5 Timber Windows - colour tbc
  - 6 Colour Coated Aluminium Gutters/Downpipes - colour tbc
  - 7 Integrated Solar Panels

PLANNING ISSUE

KTA

Architects | Urban Designers

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Clyst St. Mary, Exeter, EX5 1FY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project

Ennor Housing, Isles of Scilly

Title

Housetype F - Typical Elevations

Author	OMS/AC	Chkd by	AC	Scale	1 : 50 @ A1
Project	2002	Status	Pre Construction		
Drawing number	2002-SC-KT-XX-M3-A-2002-SK310-S0		P3		

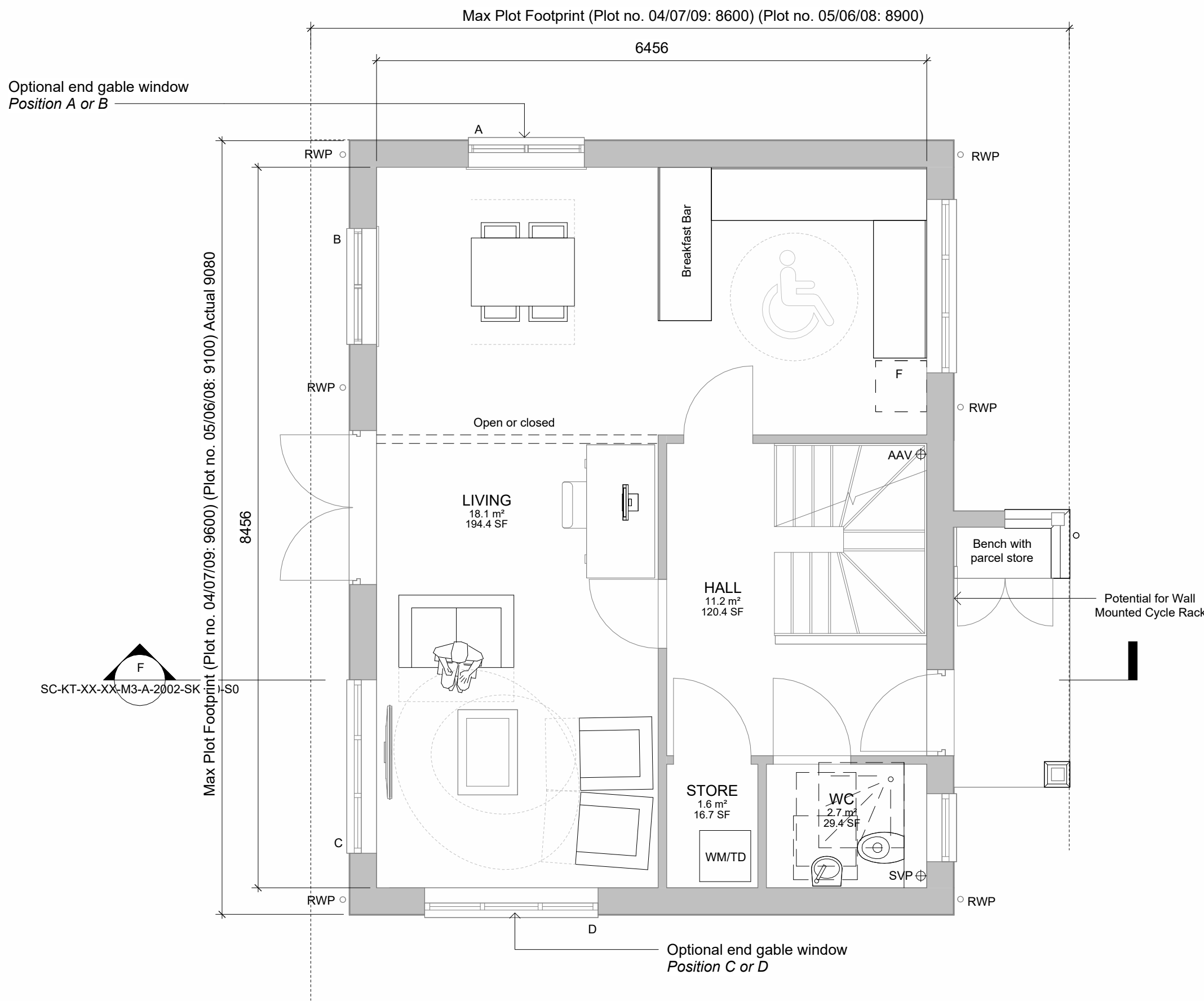
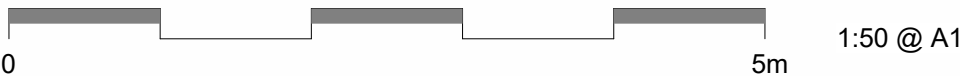


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By Liv Rickman at 3:24 pm, Mar 26, 2024

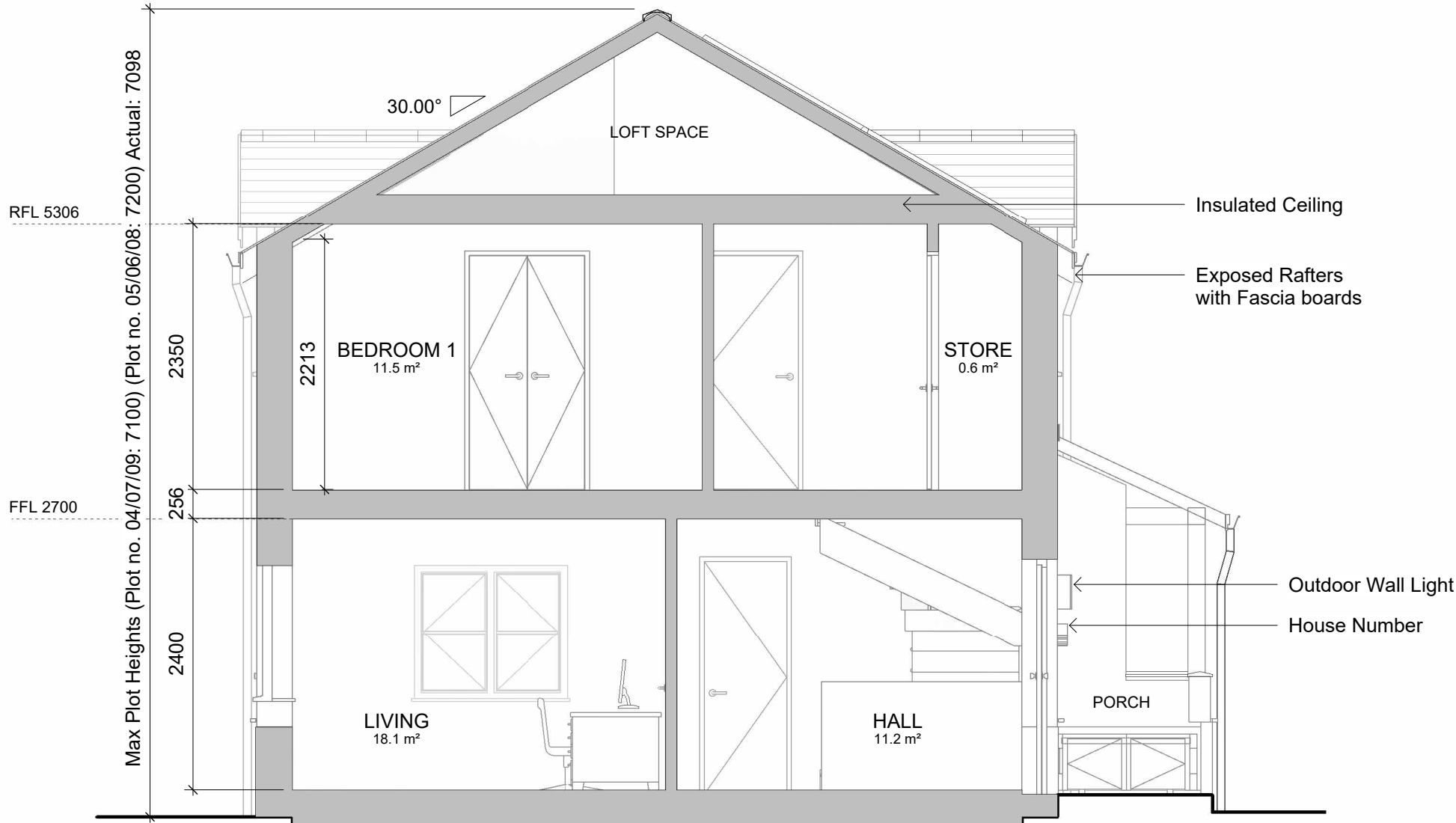
Ground Floor Plan

1 : 50



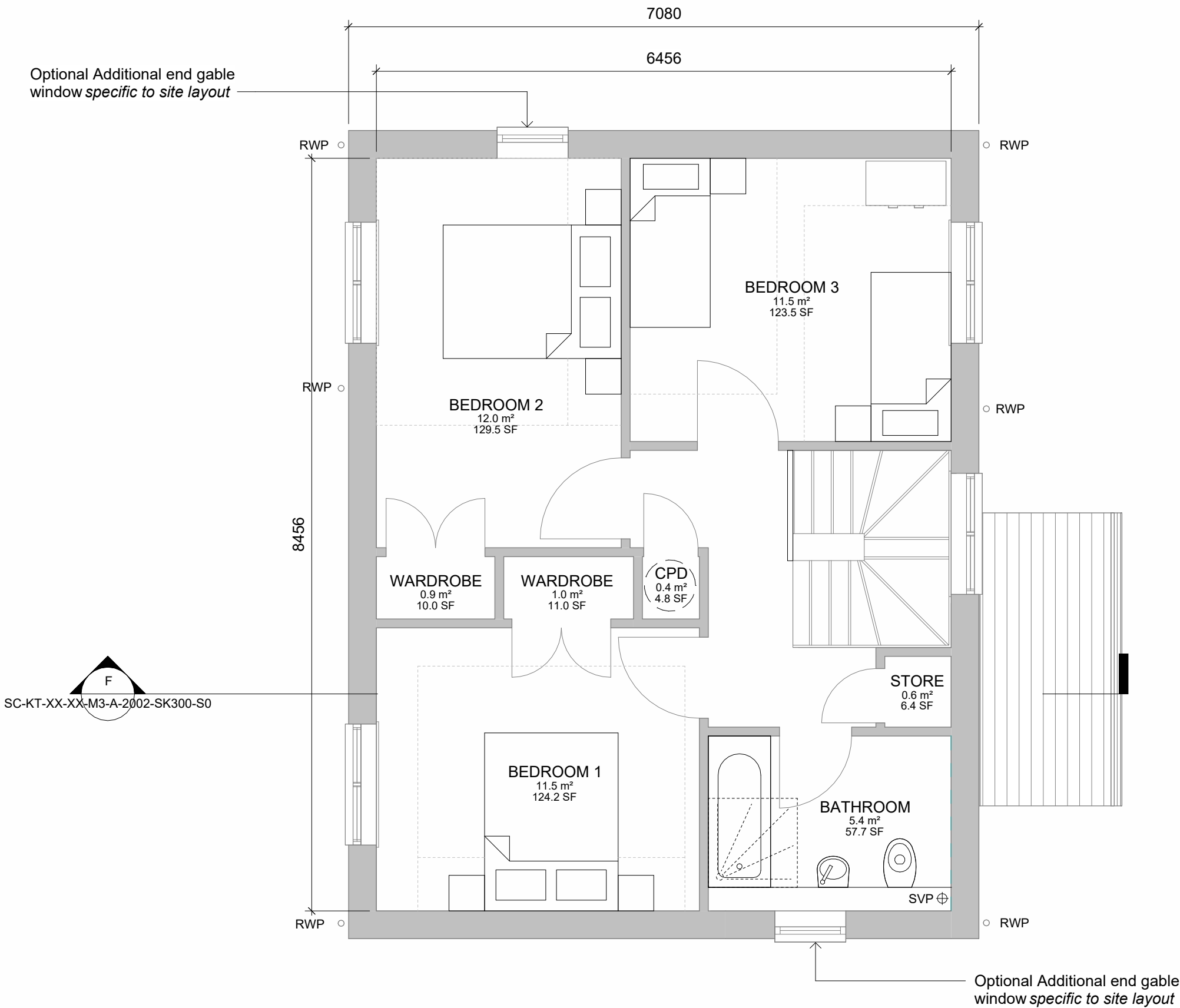
Section F

1 : 50



First Floor Plan

1 : 50



APPROVED

By Lisa Walton at 10:49 am, Sep 05, 2025

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P3	MAR 2024	RMA ISSUE	OMS/AC
P2	24/01/2023	Updated to suit plot passports	SO
P1	22/09/2023	DRAFT Issue	EM/AC

**HOUSETYPE F**  
3 Bed 6 Person  
Detached or Semi Detached

Part M(4) Category 2

**3B/ 6P Housetype F - Front Entrance**

**GIA: 109.2m²**  
**Storage Area: 4.5m²**  
**Minimum GIA = 102m²**  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

**PLANNING ISSUE**

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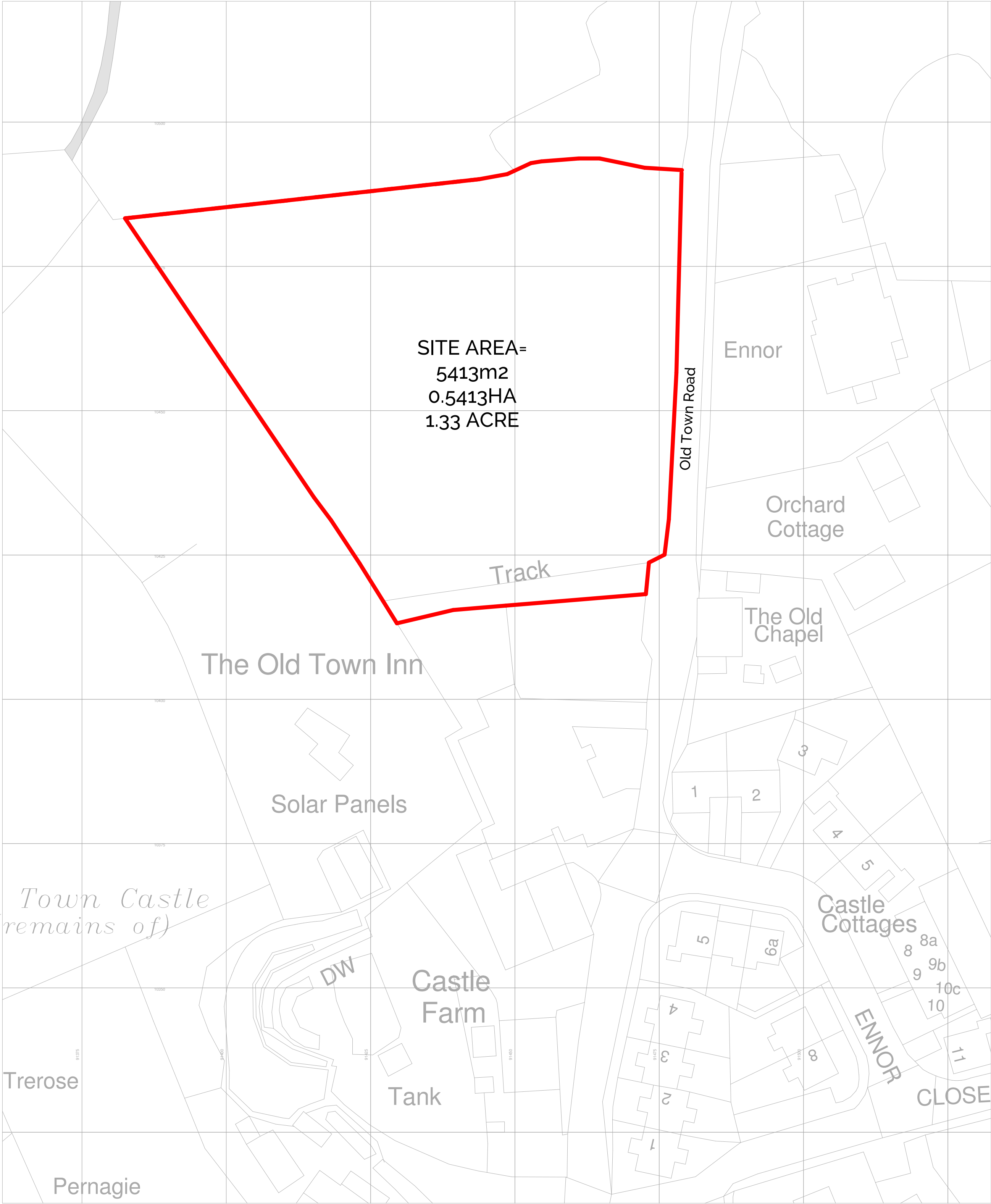
Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
Ennor Housing, Isles of Scilly

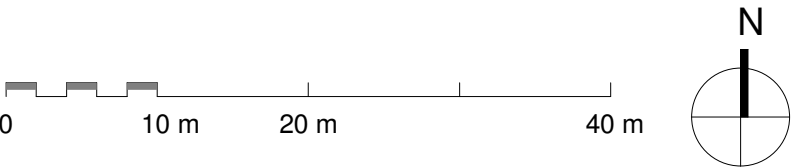
Title  
Housetype F - Typical Plans

Author OMS/AC	Chkd by AC	Scale 1 : 50 @ A1
Project 2002	Status Pre Construction	
Drawing number 2002-SC-KT-XX-M3-A-2002-SK300-SO	P3	

SITE LOCATION PLAN  
1 : 500



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P2	JAN 2021	PLANNING ISSUE	MC/AC
P1	JAN 2021	DRAFT PLANNING ISSUE	MC/AC

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By Liv Rickman at 3:12 pm, Mar 26, 2024

**APPROVED**  
By Lisa Walton at 10:50 am, Sep 05, 2025

PLANNING ISSUE

KTA

Architects | Urban Designers

Kensington Court, Woodwater Park, Pynes Hill,  
Exeter, EX2 5TY

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Email: [kt@kta.uk.com](mailto:kt@kta.uk.com)

Web: [www.kta.uk.com](http://www.kta.uk.com)

Project  
Ennor Farm

Title  
SITE LOCATION PLAN

as proposed    Author    MC    Checked by    AC

Date    08/01/2021 08:40:30    Scale    As indicated    @ A1

Project    2002    Status    Pre Construction

Drawing number  
SC-KT-XX-XX-DR-A-2002-S0-SK001 -P2

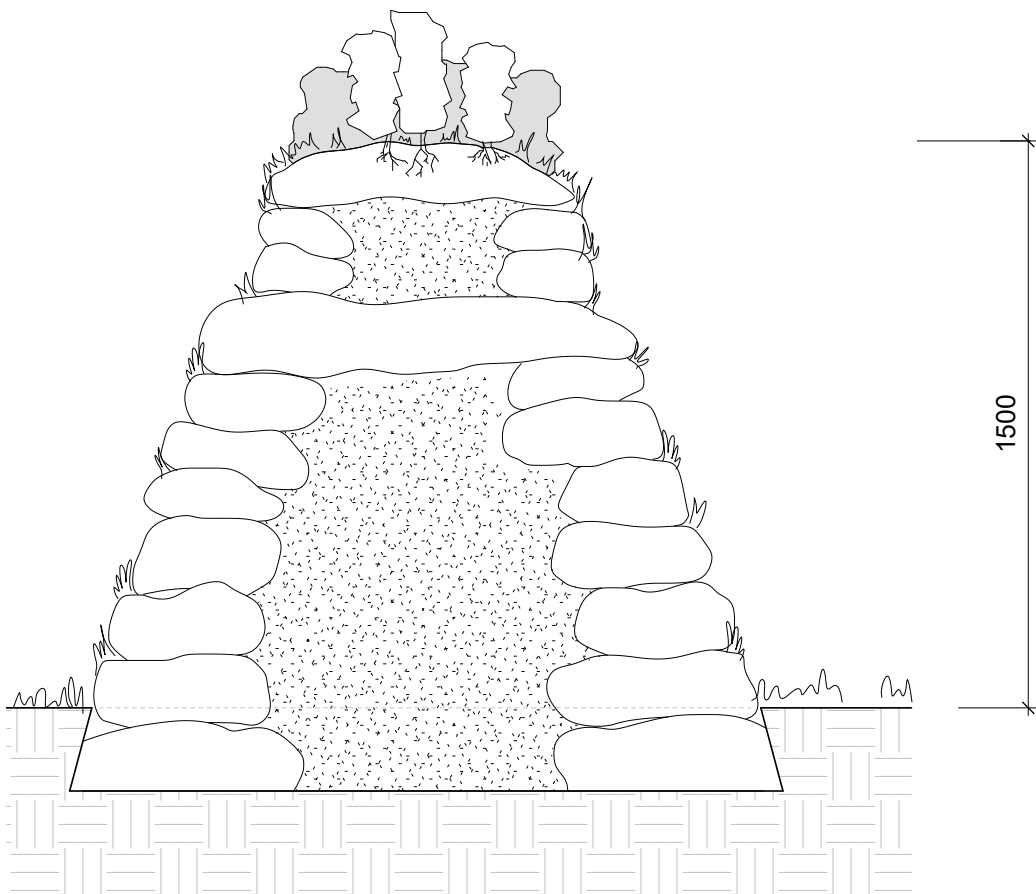
QMF 73 - Issue 3 - 08/08/19

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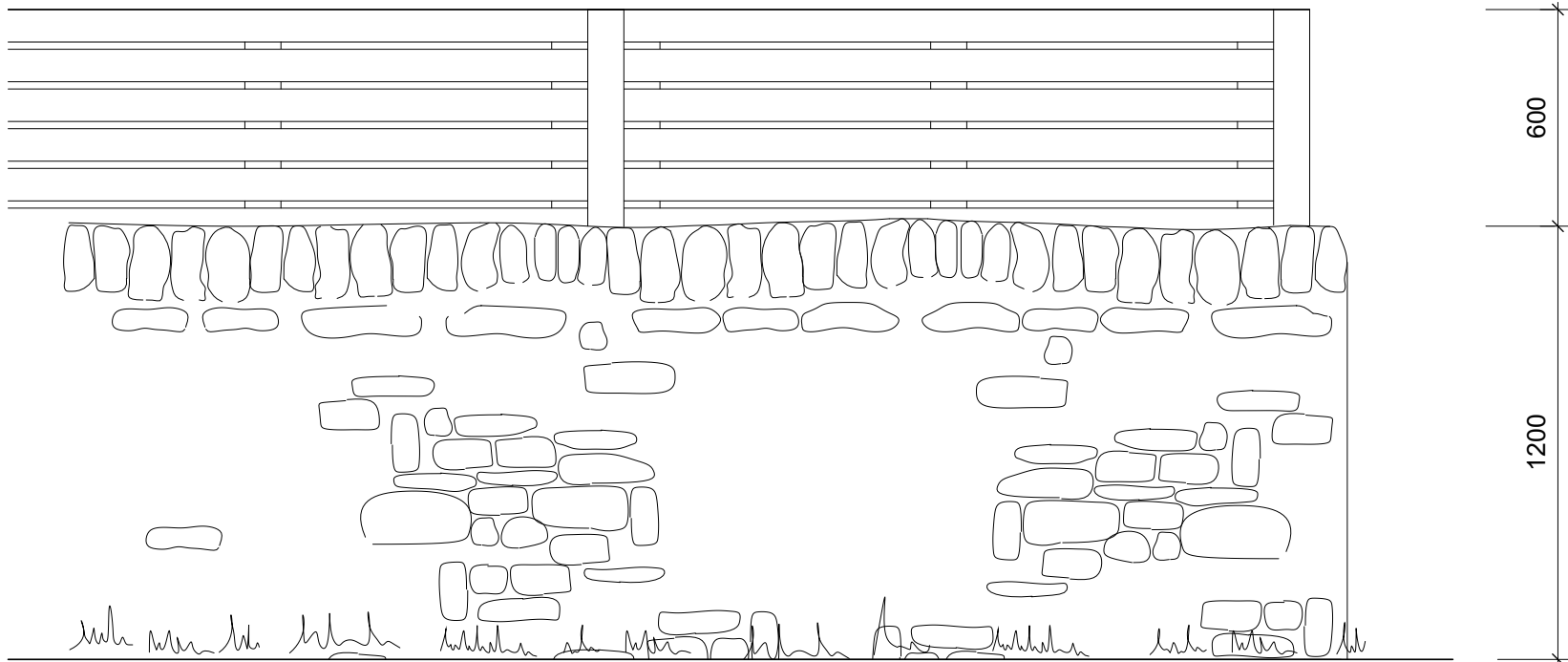
APPROVED

By Lisa Walton at 10:54 am, Sep 05, 2025



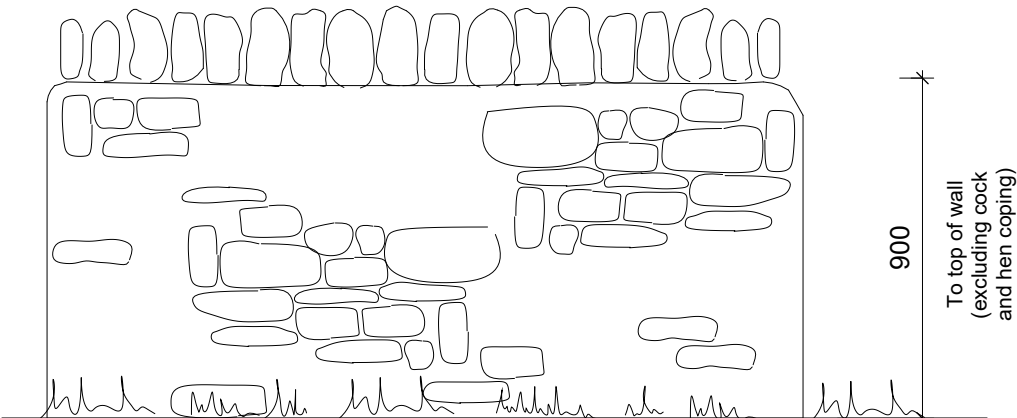
MOE 1

1500mm high Landscaped Cornish Hedge with Planting (Section)



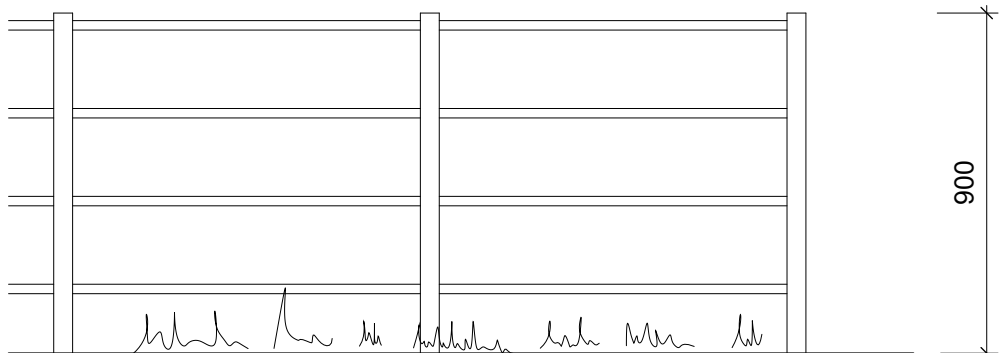
MOE 2

1200mm high Stone Faced Wall with Rendered Back and Stone Soldier Course - Topped with 600mm Double Slatted Fence (stone to match houses)



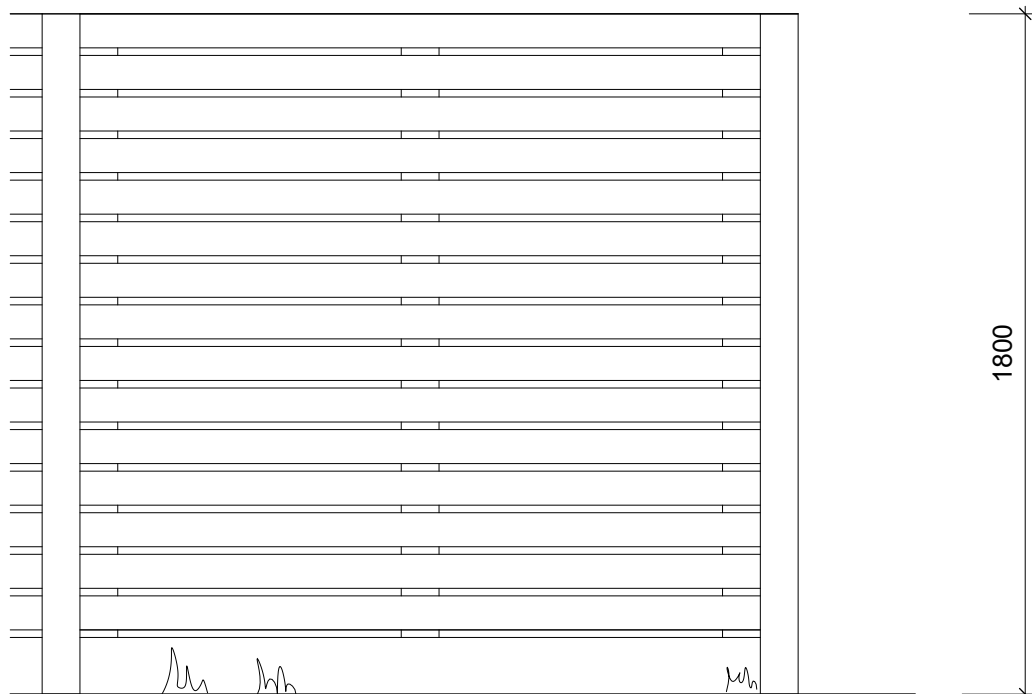
MOE 3

900mm high Stone Faced Wall with Cock and Hen Coping in front of selected dwellings



MOE 4

900mm high 'Parkland Railings' in front of selected dwellings



MOE 5

1800mm high Double Slatted Fence in rear of selected dwellings

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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P1	MAR 2024	RMA ISSUE	OMS/AC

PLANNING ISSUE



Architects | Urban Designers

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Web: www.kta.uk.com

Project

Ennor Farm

Title

Proposed Means of Enclosure (MOE)

PLANNING ISSUE

Date 20/03/2024 12:12:13

Author OMS/AC

Checked by AC

Scale As indicated @ A1

Project 2002

Status Pre Construction

Drawing number

SC-KT-XX-XX-M3-A-2002 S0-0205 -P1

QMF 73 - Issue 3 - 08/08/19



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By Lisa Walton at 10:55 am, Sep 05, 2025

105200N

91500E



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Revision Schedule

Revision Number	Revision Date	Revision Description	Issued/Authorised by
P1	MAR 2024	RMA ISSUE	OMS/AC

- EXISTING**
- Planning Application Line
  - Hedgerow Removed
  - Existing Hedgerow/Wall to be Retained
  - Existing Trees to be Retained
  - Tree Removed Refer to Arboricultural Impact Assessment
- PROPOSED**
- Orchard Tree Planting
  - Proposed Front Garden - to be designed by individual plot owners
  - Proposed Back Garden - to be designed by individual plot owners
  - Proposed Communal Space/Landscaping - Amenity Grass
  - Ornamental Planting
  - Grasscrete
  - Bee Bank Refer to Biodiversity Enhancement Plan
  - Wall Mounted Bird Box Refer to Biodiversity Enhancement Plan
  - Wall Mounted Bat Box Refer to Biodiversity Enhancement Plan
  - Hedgehog Gaps Refer to Biodiversity Enhancement Plan
  - Indicative Build Zone Opportunity Refer to Plot Passports
  - Proposed Home Zone/Parking Permeable Block Paving
  - Proposed Home Zone/Parking Permeable Paving with Geocellular Storage
  - Proposed Landscaped Path Permeable Block Paving
  - Filter Drainage Systems
  - Solar Panels (to be determined by individual plot owners)
  - MOE 1
  - MOE 2
  - MOE 3
  - MOE 4
  - MOE 5
  - Gravel Board Retainer
  - Retaining Wall

Plot levels derived from Campbell Reith (CR) Engineers. Refer to CR drawing for all levels, externals, and retaining walls/structures within plots and site wide.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

Kensington Court, Woodwater Park, Pynes Hill,  
Exeter, EX2 5TY  
Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
**Ennor Farm**

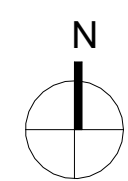
Title  
**Proposed Site Plan Roof Level**  
PLANNING ISSUE  
Date 20/03/2024 12:07:44  
Author OMS/AC  
Checked by AC  
Scale As indicated @ A1

Project 2002  
Drawing number  
SC-KT-XX-XX-DR-A-2002-S0-0201 -P1  
Status Pre Construction

QMF 73 - Issue 3 - 08/08/19

MOE 1 - Landscaped Cornish Hedge with Planting  
MOE 2 - Stone Faced Wall topped with Double Slatted Fence  
MOE 3 - Stone Faced Wall  
MOE 4 - Parkland Metal Railings  
MOE 5 - Double Slatted Fence

**Proposed Site Roof Plan**  
1 : 200



0 5 10 m 20 m



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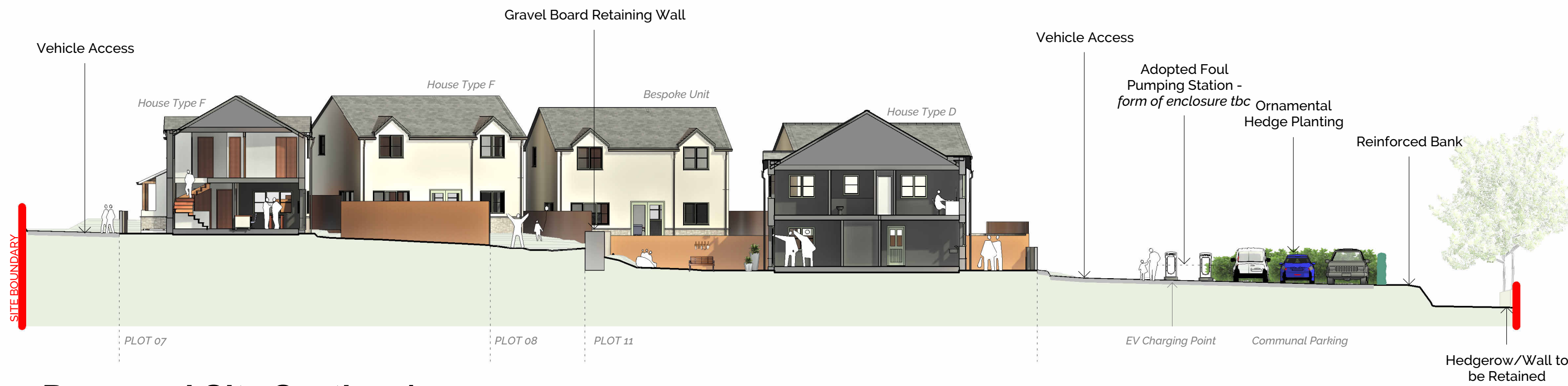
Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P1	MAR 2024	RMA ISSUE	OMS/AC

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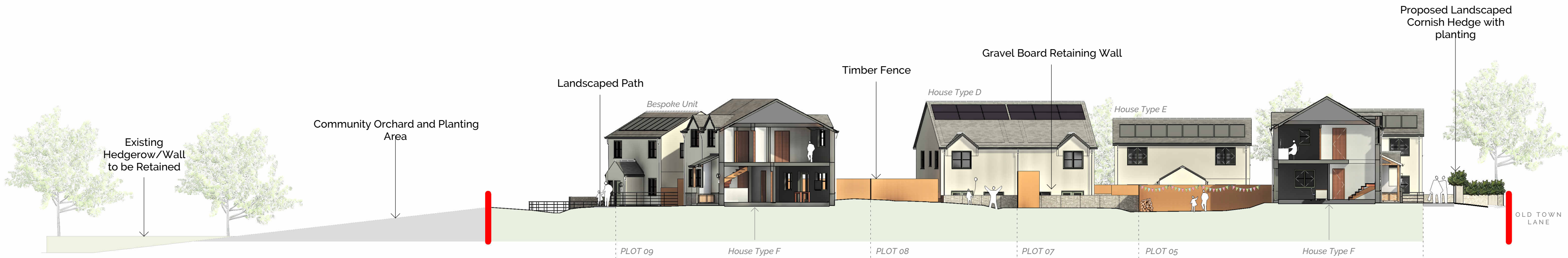
By Liv Rickman at 3:16 pm, Mar 26, 2024

APPROVED

By Lisa Walton at 11:11 am, Sep 05, 2025



Proposed Site Section 1  
1 : 200



Proposed Site Section 2  
1 : 200



Street View Elevation  
1 : 200

N

0

5

10 m

20 m

PLANNING ISSUE

KTA

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Kensington Court, Woodwater Park, Pynes Hill,  
Exeter, EX2 5TY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project

Ennor Farm

Title

Proposed Site Sections and Elevation

PLANNING ISSUE

Author OMS/AC Checked by AC

Date 20/03/2024 12:08:49 Scale As indicated @ A1

Project 2002

Status Pre Construction

Drawing number

SC-KT-XX-XX-DR-A-2002-S0-0203 -P1

QMF 73 - Issue 3 - 08/08/19





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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P1	MAR 2024	RMA ISSUE	OMS/AC

**RECEIVED**  
By Liv Rickman at 3:05 pm, Mar 26, 2024

**APPROVED**  
By Lisa Walton at 11:12 am, Sep 05, 2025

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Exeter, EX2 5TY

Tel: 01392 360338  
Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
**Ennor Farm**

Title  
**Proposed Site Block Plan**

PLANNING ISSUE  
Date 20/03/2024 12:13:14  
Author OMS/AC  
Checked by AC  
Scale As indicated @ A1

Project 2002  
Drawing number  
SC-KT-XX-XX-M3-A-2002-S0-0206  
Status Pre Construction  
-P1



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By Liv Rickman at 3:14 pm, Mar 26, 2024



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Revision Schedule			
Revision Number	Revision Date	Revision Description	Issued/ Authorised by
P1	MAR 2024	RMA ISSUE	OMS/AC

**EXISTING**

- Planning Application Line
- Hedgerow Removed
- Existing Hedgerow/Wall to be Retained
- Existing Trees to be Retained
- Tree Removed Refer to Arboricultural Impact Assessment

**PROPOSED**

- Orchard Tree Planting
- Proposed Front Garden - to be designed by individual plot owners
- Proposed Back Garden - to be designed by individual plot owners
- Proposed Communal Space/Landscaping - Amenity Grass
- Wildflower Meadow Grass
- Wet Meadow Grass
- Ornamental Planting
- Grasscrete
- Native Enhancement Hedge
- Ornamental Hedge Planting
- Damp/Marginal Planting
- Bee Bank Refer to Biodiversity Enhancement Plan
- Bin Collection Point (Plot No.) Refer to Plot Passports
- Indicative Build Zone Opportunity Refer to Plot Passports
- Proposed Home Zone/Parking Permeable Block Paving
- Proposed Home Zone/Parking Permeable Paving with Geocellular Storage
- Proposed Landscaped Path Permeable Block Paving
- Drainage Systems
- MOE 1
- MOE 2
- MOE 3
- MOE 4
- MOE 5
- Gravel Board Retainer
- Retaining Wall

Plot levels derived from Campbell Reith (CR) Engineers. Refer to CR drawing for all levels, externals, and retaining walls/structures within plots and site wide.

**PLANNING ISSUE**

**KTA**  
Architects | Urban Designers

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Email: kt@kta.uk.com  
Web: www.kta.uk.com

Project  
**Ennor Farm**

Title  
**Proposed Site Plan Ground Level**

PLANNING ISSUE  
Author OMS/AC Checked by AC  
Date 20/03/2024 12:07:16 Scale As indicated @ A1

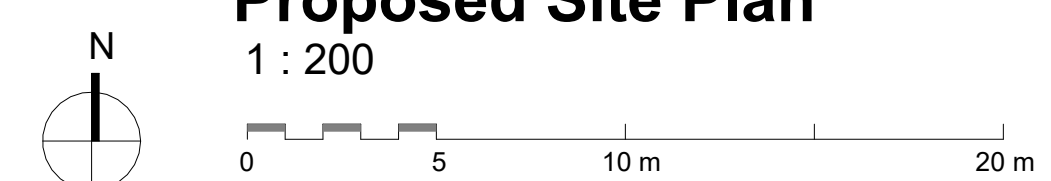
Project 2002 Status Pre Construction

Drawing number  
SC-KT-XX-XX-DR-A-2002-S0-0200 -P1

QMF 73 - Issue 3 - 08/08/19

- MOE 1 - Landscaped Cornish Hedge with Planting  
MOE 2 - Stone Faced Wall topped with Double Slatted Fence  
MOE 3 - Stone Faced Wall  
MOE 4 - Parkland Metal Railings  
MOE 5 - Double Slatted Fence

Proposed Site Plan  
1 : 200





## Building Elements and Materials : BE01

### General

- The external appearance of the housing at Old Town is intended to reflect the distinctive character of the Isles of Scilly and its vernacular architecture within the landscape.
- The architectural form and detail should be kept simple and functional.
- Material qualities including colour and texture shall reflect the vernacular of St Mary's and be guided by sustainable principles for sourcing where possible.
- The images below aim to convey some of the local distinctiveness and material qualities as a basis for this Design Code.





# Building Elements and Materials : BE01

## General

- Materials shall be sourced in order of preference from Cornwall, South West or UK.
- The use of locally and South West sourced and produced materials will be encouraged, particularly for external walls and roofing materials.

## BRE Green Guide

The BRE Green Guide for Specification shall be used as the guide for comparing the environmental performance of construction types. The following elements are to obtain an 'A' rating;

- Roof
- External Walls
- Internal Walls
- Windows

The following elements should obtain not less than a 'B' rating and should aim for an 'A' rating;

- Floors
- External Surfaces Boundary Protection.
- All timber for basic elements shall be from managed sources selected from suppliers certified by the Forest Stewardship Council (FSC) or Programme for Endorsement of Forest Certification (PEFC) or equivalent, with appropriate chain of custody documentation and from UK sources where appropriate and available.





# Building Elements and Materials : BE02

## External Wall Finishes

The palette of building materials should reflect those that are traditional to Cornwall and the Isles of Scilly and limited to:

- Stone
- Roughcast Render
- Self-coloured lime render
- Painted Render
- Timber Weatherboard – vertical or horizontal
- Slate hanging
- Traditional red brickwork for details including plinths, chimney stacks and other similar elements.

## Granite

There is a limited quantity of granite on the Isles of Scilly and therefore use of it, if required, should be limited to plinths, garden walls and other smaller elements such as post bases for porches.



Roughcast render.



Painted Render.



Weatherboarding.



Stone and Render.



# Building Elements and Materials : BE03

## Render

- Render can be applied to stone, concrete block or timber framed backgrounds
- Render should be thrown roughcast or wood floated. Stop beads must not be used.
- Bell drop mouldings should not be used.
- Proprietary weepholes are to be avoided.

## Airbricks

- Where necessary to satisfy Building Regulations, these shall be made of terracotta, stacked tile, stone or painted cast iron and not plastic.



Render Plinth



Bell drip render stop beads



Soft corners and edges.





# Building Elements and Materials : BE04

## Timber Cladding

- Cladding shall be plain weatherboarding laid horizontally or vertically.
- Timber for cladding shall generally be either Western Red Cedar or European Oak if left untreated or Douglas Fir if painted. Colours in accordance with agreed palette.
- Boards should be a minimum 16mm thick with minimum exposed face of 100mm.
- Corners may be formed either with boards crossed and cut or with corner posts.
- Window and door openings should be lined with boarding.
- Highly contemporary and precise timber cladding is not acceptable.
- Self-colour fibre cement cladding is not acceptable.



Precise timber cladding



Wavy edged



Square edged weatherboarding



Painted stonework with subtly painted fenestration.



## Paint Finishes

- Environmentally friendly natural paints (which are odourless and solvent free) shall be used.
- Colours shall generally be white or tones made with natural pigments which can be found elsewhere in the locality.
- Colours in accordance with approved palette.



# Building Elements and Materials : BE05

## Porches

- The design of the porch should respect the pattern and rhythm of other porches of adjoining buildings, but retain its own individuality.
- Dwellings are reasonably small and therefore where possible, porches should be simple and of lean-to or duo-pitched construction.
- It is noted that partially glazed storm porches on the Isles of Scilly were historically used for propagation and as such, larger lean-to or duo-pitched structures may also provide additional space and benefit from solar gain.
- Columns, posts, piers and brackets can be of hardwood, treated timber or cast-iron. All timber preservative treatments must be transparent if paint is not used.
- When painted, porches should generally match the painted finish of the buildings, windows and compliment the colour chosen for the front door.
- The design of porches must reflect the scale and importance of the building.
- Door surrounds are not permitted.
- Stained timber or uPVC glazed porches are not permitted.
- Ornate timberwork or stone detailing is not acceptable.



Simple timber lean-to porch



Simple enclosed porch



Inappropriate uPVC porch





# Building Elements and Materials : BE06

## External Doors

- Doors must reflect the character of the building to which they relate. External doors must be made of treated softwood or hardwood, kept simple and well-proportioned, normally with a strong vertical emphasis to the openings and a deep reveal. Composite timber doors are acceptable.
- Doors should be painted and should complement the colour of the building & window frames. Bright colours should be generally avoided. Varnished hardwood doors will not be allowed, even if authentically constructed, nor will stained tropical hardwood or glazed aluminium doors. Colours in accordance with approved colour palette.
- Preferred doors are panel and glazed doors, simple ledged and braced doors and Batten Doors.
- Moulded or pressed UPVC or metal doors will not be allowed.
- Very ornamental or patterned doors are not allowed.
- Ironmongery shall be stainless steel grade 316, solid brass, bronze or black iron of a type appropriate to the style of the door and house. Plastic or chrome numerals, letterboxes and knockers shall not be permitted.



Authentic painted timber door



Good example of lights



Appropriate ironmongery



Inappropriate uPVC door





# Building Elements and Materials : BE07

## Windows

- The overall size and shape of windows; the solid to void ratio of an elevation, pane sizes and proportions and glazing bars, are all critical elements to the overall appearance of a building.
- Window proportions to be based on a diagonal of 53 degrees. They are either side hung casements or sash windows, with a simple arrangement of glazing bars. Windows are generally between 797mm and 1135mm wide, with heights of 1350mm to 1500mm most common. Where present, dormers are small and simple with lead, rendered or slate hung cheeks.
- Ground floor windows on the property line shall be of the sash or inward opening casement type. Outward opening casements may be used only if, when fully opened, the window remains within the private margin.
- Windows must reflect the overall scale, proportions and design of the building. See table below for solid to void ratios and other criteria.
- Windows should be constructed of wood from sustainable sources and painted. Tropical hardwoods are not allowed. The size of all frame elements should be as slim as possible to maintain proportion and appearance.
- Stained timber, UPVC, or plastic-coated timber frames will not be permitted.
- Through frame trickle vents are to be avoided. Over frame concealed trickle vents are preferred.
- All glass shall be clear and free of colour; frosted, obscured, coloured or textured glass shall not be used. Obscured glass for bathrooms is acceptable.
- Windows should be painted white / off white or neutral shades but some can be white painted casement with neutral coloured window frames.
- All windows, as a minimum, should be double glazed with low e glass. Sealed units are to be filled with low emissivity argon. French doors and window panes below 800mm above floor level should have laminated safety glass.

• Average Percentage Void:	25%
o Maximum percentage void up to 2500 sq. ft.	30%
o Minimum percentage void more than 2500 sq. ft.:	20%
• Minimum distance from opening to building edge:	450mm
• Maximum area of one Window/Door:	2.5m²/3.5m²
• Maximum height of one Window/Door:	2400mm/2400mm
• Maximum width of one Window/Door:	1500mm/1800mm
• Roof Windows	
o Total area of openings on roof-plane:	10%
o Maximum area (projected onto floorplan) of one Dormer Window/Rooflight:	2.25m²/1.0m²
o Maximum height of one Dormer Window/Rooflight (window size)	1500mm/1000mm
o Maximum width of one Dormer Window/Rooflight (window size):	1500mm/1000mm



Rise and fall sash.



Side hung casement



Poorly proportioned uPVC window.





# Building Elements and Materials : BE07

## Window Proportions

- When used, glazing bars in sash windows should create panes that are vertical in emphasis and follow the traditional 4, 9, 12 or 16 pane pattern. All panes must be the same size and proportion on an elevation.
- Glazing bars shall not exceed 25mm finished width. Timber beads should have a small moulded profile.
- Widths of frames on casement windows should not exceed a total of 100mm.
- Windows should generally be set back at least 50mm from the building face, creating a shadow line and a sense of solidity. Windows in stone buildings will normally be set back from the face of the building by a minimum of 100mm.
- Fenestrations should maintain a vertical configuration and window panes must approximate to the root-two rectangle as described above.
- Window designs which are asymmetrical or of horizontal emphasis are not permitted.
- Windows on upper floors must be either equal or smaller than windows on the ground floor.
- Windows shall be placed no closer than 900mm to the centre line of the nearest party wall or to a corner of the building.

## Finishes

- Windows should be painted white or off white or neutral tones.

## Details

- Shutters are not allowed externally.
- Clip on mullions or applied glazing bars should be avoided where possible. Where clip or glazing bars are used, integral spacers in the double-glazed unit are to be incorporated in a colour to match the window frame.
- Glazing with stick on lead strips are not acceptable.

# Building Elements and Materials : BE08

## Roofs

- Roofs on the Isles of Scilly are characterized by a limited palette of materials, simple forms and details. These are essential features of the roofscape and the palette should be limited to materials that are traditional to the Isles of Scilly as follows such as slate and clay roof tiles. Concrete plain tiles or interlocking tiles are not permitted.
- Materials samples must be submitted to the Planning Department for approval.
- Roofs should be simple in form and symmetrical.
- Gables must have a simple design.
- Roof overhangs and thickness should be kept to a minimum
- Roof-top solar collectors, such as solar panels or photovoltaic cells, must be incorporated into the roofscape wherever possible but they must be positioned to mitigate visual impact.

## Eaves Details

- Eaves must be simple in design and not decorative.
- Eaves must generally not extend any further than 300mm from the external envelope of the building.
- Eaves generally must be constructed with no or minimal exposed timber boxing. Rafter ends are acceptable.
- UPVC and other manmade materials are not acceptable.

## Close Clipped Eaves

- Eaves should be closed with just a rake board, clipped tight against the building, no soffit boards.
- Underside of gutter must be placed at rake board level and not below.

## Open Rafter Eaves

- Exposed rafters must be made of timber.
- Installation of fake rafter ends for decorative purposes only will not be permitted.
- The wall finish must either carry on to the under-eaves or a rake board may be inserted between the rafter ends.





# Building Elements and Materials : BE09

## Verges

- Verges generally should be simple with the wall finish taken up to the underside of the roof. Slates or tiles should project between 35–50 mm.
- Slate verges may be used where appropriate.
- Projecting timber bargeboards, for reasons on maintenance, may be used occasionally; if used they must be: simple painted white, cream, black or classic dark tones.
- Timber boards must have a regular maintenance plan in place.
- The use of UPVC or any other manmade material will not be acceptable in place of timber bargeboards.

## Ridges

- Ridges shall be finished with either angled, half round or hogback clay ridge tiles. Where used with slate roofing these shall be generally be black, although warm orange tiles will be permitted on some buildings. Where used with clay roofing tiles these shall be the same colour as the main roof. Lead roll ridges will be permitted on slate roofs.

## Valleys

- To slate roofs valleys shall be constructed of lead. To clay tiles roofs valleys may be constructed of either lead or clay valley tiles.

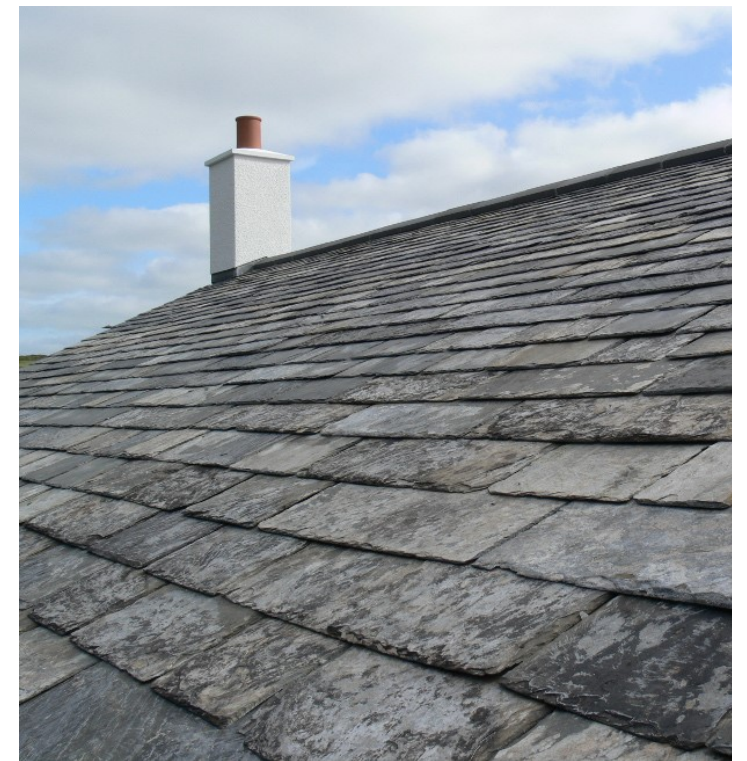




# Building Elements and Materials : BE010

## Slate Roofs

- Natural slate with a rough edge should be specified.
- Mid/pale grey slates from local quarries from the mainland should be used wherever possible.
- Slate clips should be avoided by double nailing.
- Slates must not be cut to less than 150mm wide.
- Slates in any one course are to be of the same thickness to prevent kicking slates or unsightly gaps.

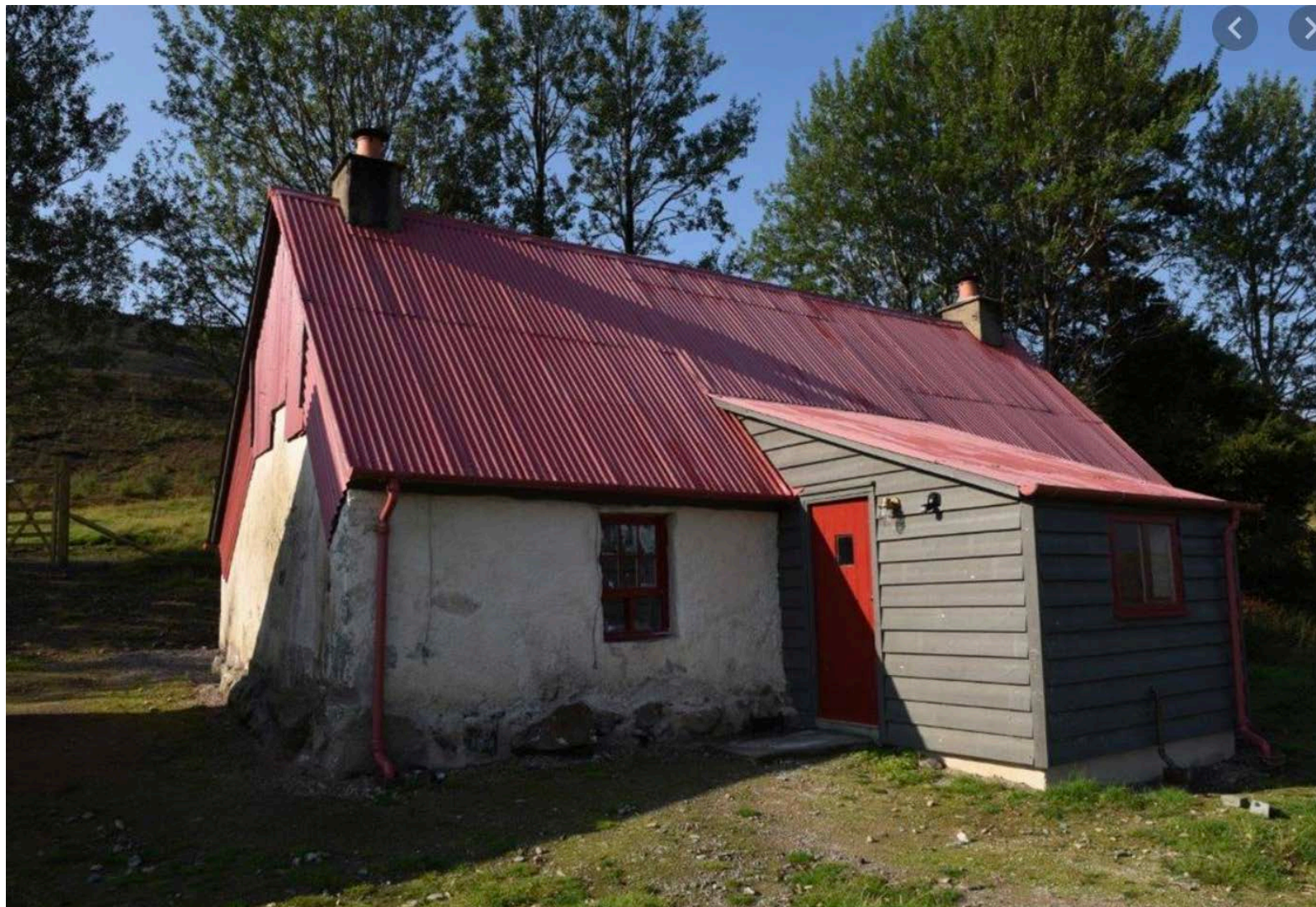




# Building Elements and Materials : BE11

## Corrugated Roofs

- Corrugated metal roofing material is found on many agricultural buildings and outbuildings.
- This material may be a suitable alternative depending on the situation and should only be used on subservient elements like small sheds, garages or covered car parking.

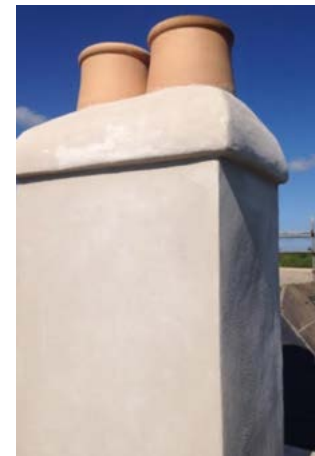




# Building Elements and Materials : BE12

## Chimneys

- Chimneys are integral components of traditional houses on the Isles of Scilly.
- The majority of chimneys on dwellings are of a simple design, traditionally sitting on the gable end of a building. Chimneys tend to be made of stone, render or brick with a corbel detail at the top and finished with a slate or terracotta pot.
- Every dwelling must have at least one Class 1 chimney.
- Chimney stacks may be used to disguise a ventilation system within.
- Chimneys should usually be placed on the gable-end of the building unless on a terrace where it should be located on the party wall.
- Smaller houses should generally have short and squat chimneys with a very simple corbel and pot.
- Chimneys should complement the façade finish.
- Chimney pots are available in a variety of forms and those used should reflect this variety but remain simple in design. Generally pots will be made of terracotta





# Building Elements and Materials : BE13

## Dormers

- Dormer windows are seen in later buildings from the 19th Century onwards.
- They must be in proportion and subservient to the main roof.



## Rooflights

- Rooflights are to be 'flush' with the roof surface and be of a suitable scale.





# Building Elements and Materials : BE14

## Rainwater Goods and Plumbing

- Rainwater goods shall generally be in cast iron, zinc or aluminium painted black, white, cream or classic dark tones..
- Gutters shall generally be half round or ogee profile.
- Plastic uPVC gutters will not be allowed.
- On buildings without fascia boards it is recommended that 'rise and fall' or 'rafter and gutter' support brackets are used.
- Flue terminal and extract ventilation terminals will not be permitted in walling on front elevations, or elevations facing public areas.
- Vent stacks should be enclosed within a chimney. Where this is not practical, vent pipes should be clad in lead where they emerge above the roof slopes or should be terminated within the roof space by an air admittance valve where accepted by Building Control.



Swan neck gutter on rafter brackets



Rise and fall gutter



Plastic gutters are not acceptable.





# Building Elements and Materials : BE15

## Renewables

### Definition of Sustainability

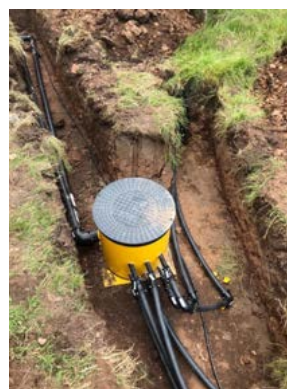
- The ability to meet the needs of the present without damaging the ability of future generations to provide for themselves. When a process is sustainable, it can be carried out over and over without negative environmental effects or impossibly high costs to anyone involved.

**Sustainable Development:** a process of change in which exploitation of resources, the direction of investments, the orientation of technological development, and institutional change are made consistent with the future as well as present needs.

### Sustainable design principles

Efficient and responsible use of resources – water management (meters, low water use appliances and sanitaryware); rainwater and/or grey water systems; sustainable drainage

- Improved building performance beyond the building regs – high level of insulation, double glazed windows, mechanical heat recovery and ventilation, minimising cold bridges.
- Optimising natural daylight and thermal gain.
- Energy efficient systems and appliances.
- Air tight external envelope – draught free to reduce heat loss
- Ventilation options include: having opening windows; local timed mechanical ventilation; passive stack ventilation; mechanical supply ventilation; whole house mechanical ventilation with heat recovery providing both supply and extract in one system and chimneys.
- Low carbon energy generation either communal or individual– air source heat; solar hot water; photovoltaics;
- Monitor energy consumption post occupation
- Sign up to Green Energy Providers
- Smart meters
- The storm water run-off system from the Development through the SUDS system will be designed to ensure that the new housing does not increase run-off from undeveloped land and for redevelopment to reduce run off.



# Building Elements and Materials : BE16

## Integrated Services

A common trench containing services, utilities and water should be provided wherever possible in accordance with best practice for future proofing service installations within each plot.

Generally, all services wherever possible must be underground and suitable manholes must be provided for access points.

- All meter housings must be concealed in a chamber or recessed into walls.
- Meter boxes, air extractors and rooftop solar must not be visible from the street.
- No waste or soil pipes may be attached to the exterior of any building. Combined internal drainage systems are to be used.
- There will be no flue terminals, balanced flues, extract ventilation terminals, vents, exposed stacks or other plumbing pipes except rainwater pipes visible on front elevations, or elevations facing public areas.
- Generally external individual television aerials, satellite dishes or any other radio or television receiving devices are not permitted externally but can be accommodated within roof spaces.
- Vent stacks must be enclosed within chimneys where possible, otherwise vent pipes must be clad in lead where they emerge above roof slopes, or should be terminated within the roof space by an air admittance valve wherever acceptable to Building Control or the Council.
- Plastic meter housings must match the colour of surrounding material as much as possible but not be visible from the front of the property.





# Building Elements and Materials : BE17

## Landscape Boundaries

- A key characteristic of the islands is the way buildings integrate with the landscape. The boundary to a property provides the linking element between the dwelling and its surroundings.
- A typical boundary treatment is a local stonewall softened by planting or an informal hedge.
- Hedging and trees provide shelter from prevailing winds and help to soften or screen a property.
- There are not many native trees on the Isles of Scilly but Elm, Elder, Hawthorn and some Grey Sallow are evident.
- The use of Pittosporum, Ragwort, Escallonia, Euonymus and Veronica to form informal hedges is a distinctive feature of the islands and should be encouraged.
- All hedging & planting must be from a certified UK provenance source.
- Robust treated timber post and rail stock fencing is acceptable when used in conjunction with native hedge planting.
- Panelled fencing is not acceptable.





# Building Elements and Materials : BE18

## Fences

- Fences may occasionally be used, although stonewalls and Cornish hedges are preferable. Picket fences would be appropriate and can be painted white or left unfinished.
- Close boarded fences are acceptable in rear gardens.
- Post and rail fences 1.0 metres high, may be used to define boundaries between building plots in front or rear gardens.

## Railings

- Railings dividing buildings plots in front gardens will be metal
- All railings will be 1.1m high maximum and will be painted black or a dark colour – blue or green.
- Railings will not be used for more than 25 metres in any single length of frontage

## Gates

- Garden gate and pergola piers should be no less than 450mm wide. Where heavy gates are to be hung on hinges, they should be in stone blocks built into the piers
- Garden gates shall be built of painted timber, mild steel or wrought iron

## Copings

- Coping stones to finish a wall up-stand or to close a cavity must be made of natural stone. Careful detailing, water runoff, appropriate proportions and overhangs must be carefully designed.





# Building Elements and Materials : BE19

## Extensions

Extensions include any types of additions to the main building that create further space. It is anticipated that extensions may be permissible under Permitted Development Rights. The effects of the extension on neighbouring properties and the impact on the integrity of the existing building and surrounding dwellings within the streetscape must be carefully considered. Each Plot Passport will define the extent of development, however in the absence of any other control:

- Any extension must be respectful and subordinate to the parent building in terms of style and design, scale, siting, materials and finishes, complementing not competing with its presence in its surrounding.
- An extension must not detract from the quality of the existing building and must be architecturally attractive in its own right.
- Simple forms must be achieved and it must be constructed from good quality, natural materials.
- Extensions in excess of 25% of the volume of the original building would likely prove to be visually unacceptable.
- Development above the existing roof line will not be allowed.
- The pitch and form of an extension must match that of the existing roof, except where it forms a subservient roof when it can be of a lower pitch.
- Eaves heights of extensions must either match or be lower than the existing eaves.
- A rear roof terminating at a similar or equivalent height as the existing roof must be no greater in length than 50% of the depth of the original building.
- Flat roofs are unacceptable except for modest, single storey extensions.
- There is a general presumption against extensions that project beyond the front building line. Modest porches may be acceptable where they do not detract from the design of the original building.
- Extensions into the roof space make the most of a building's volume and will generally be encouraged. Great care must be taken to ensure that the design of dormers and roof lights are sympathetic to the original building.
- The form, materials and detailing of the extension must match those of the existing building.
- The position and design of a proposed extension must not be detrimental to the ability of neighbours to add similar or equivalent extensions.
- All extensions and alterations will be required to meet the provisions of daylighting, sunlight and privacy guidelines.
- Any extension must retain a reasonable proportion of private external amenity space and must not occupy more than one third of the applicant's original rear garden area.
- The use of sustainably sourced, long lasting materials, being locally sourced, with the potential for later recycling must be considered.



# Building Elements and Materials : BE20

## Conservatories

Conservatories must be single storey and of a modest size in relation to the ground floor of the house. They must not be complex or overly elaborate in design and must have their windows and other elements in proportion to each other and to the main building. Conservatories will not normally be permitted on principal elevations, although this may be acceptable when concealed behind the property boundary wall.

Conservatories are to be made of timber and painted white or very neutral tones. Natural hardwoods such as oak can be left untreated but all softwoods must have some form of opaque finish. uPVC structures are not allowed.

Conservatories which form an extension or part thereof should also comply with the requirements for extensions as noted above.





# Building Elements and Materials : BE21

## Bin stores & Recycling Bins

- Bin stores should be located at the rear or sides of houses and generally out of sight.
- Communal bin stores may be appropriate subject to the site landscape strategy and refuse arrangements, however this should be fully integrated into the landscape design.
- Bin stores & recycling bins must not be exposed on front elevations.



# Sustainable Design Principles

## Efficient and Responsible Use of Resources

### Water Management

The efficient supply and use of potable water, coupled with sustainable techniques for disposal of waste water are all important considerations for the development at Old Town.

### Water Efficiency

The use of water should be minimised by the careful selection of sanitary ware and appliances to ensure that they meet the standards of low water use. All buildings should utilise dual flush toilets and efficient taps and showers. If possible, water meters should be installed in all houses. This will enable occupants to make money savings as a result of the water saving measures installed.

### Rainwater and Grey Water Systems

Rainwater harvesting and recycling is an integral component in achieving efficient water management. Subject to a detailed appraisal and design, dwellings should aim for 70% of the water for flushing toilets to be supplied from roof water, together with the water for the irrigation of gardens and landscaped areas generally within the site. It is anticipated that this will form part of a site wide infrastructure design for water management and sustainable drainage.

Similarly, grey water recycling is a technology that could be used instead of rainwater collection if wished and should be considered as part of any site wide design.

### Sustainable Drainage Systems

The drainage infrastructure for the site will be designed to appropriate Environment Agency and local water authority guidelines. The design strategy developed to date ensures that the new development does not increase surface water run-off from undeveloped areas and that it is reduced in developed areas.

A sustainable approach to regulating storm water is to be adopted within the site and this will be based upon best practice and aims to utilise the principles of Sustainable Urban Drainage Systems (SUDS) incorporating the existing pond as a catchment area to collect and attenuate the discharge of surface water.

Porous paving materials could also be used wherever possible to enable stormwater to percolate into the ground, further reducing the volume of run-off.





# Landscape & Ecology

## Site Landscape Design

- The site plan will set the framework for the hard and soft landscape design.
- The landscape design should respond to the character of the surrounding countryside and areas of settlement.
- The landscape design should reinforce the built form and open spaces contextually and create a cohesive environment reflecting the collective aspiration of its inhabitants.
- Open space should be clearly defined and the landscape treatment must relate to its function.
- Sustainable principles should inform the landscape design, its implementation and use.
- Site permeability should be encouraged, integrating cycle and pedestrian movement.
- Full accessibility should be integrated in the design of external spaces.
- Where appropriate shading should be provided to help prevent any summertime overheating.
- A hard and soft landscape strategy should be prepared by a specialist Landscape Architect.
- Trees and planting species will be carefully selected, suited to location, use and maintenance of the spaces.
- Structural planting will generally be native species. Plants, where possible, should be sourced locally.
- All planting, new and retained, is to be protected throughout the construction of the site.
- Habitats that have been identified will require stringent protection during the construction phase of the development. Any works to be carried out in any of these areas should be timed to minimise any disturbance to wildlife.
- A site wide Sustainable Urban Drainage Systems (SUDS) strategy shall be developed incorporating the pond to collect and attenuate the discharge of surface water.
- A long-term management strategy shall be prepared to conserve and enhance the quality of the external hard and soft landscaped areas.

## Hard Landscaping

- All hard landscaping and surface materials should comprise a co-ordinated limited palette of materials will enable different areas of responsibility to be distinguished and enhance the legibility.
- It is understood that generally a soft approach to landscaping is preferred, however secondary roads are likely to be adopted and finish may be governed by highways.
- Roads should be edged by rough surfaced granite kerbs and will have dropped kerb details at junctions with access points to rear courts or individual properties.
- Paths must comply with the requirements of the Disability Discrimination Act.



# Landscape & Ecology

## External Lighting

- The street lighting shall be selected from a range of fittings approved by the Duchy of Cornwall
- The site landscape design shall be reinforced by the choice of lights and height of lights. Street lighting columns shall be low level or wall mounted on more remote areas.
- The fitting type should be selected to reduce their impact on the environment in the form of light pollution.
- Fittings should be shielded or hooded to minimize sky glow by controlling upward light spillage and to avoid pedestrian glare.
- Lamp sizes and spacing of fittings will be designed to provide adequate illumination without over-lighting.
- Column heights will be restricted to 4m generally.
- Wall mounted light fittings should be used wherever possible away from the main routes to minimize clutter of the public realm. Their locations should be carefully selected in relation to window openings to ensure light pollution does not create a problem to residents.
- Ceramic Discharge Metal Halide lamps should be utilised as far as possible, particularly on and around buildings to ensure that the resultant white light does not pollute the colours of materials.
- If High Pressure Sodium lights are used, these should be restricted to public open space areas.





# Outline Proposals



Private gardens



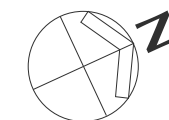
Community Orchard



Communal car parking



Pedestrian landscaped paths



SITE ARRANGEMENT



Painted & roughcast render BE1.3



Rendered chimney stack with terracotta pot BE1.2



Planted hedge boundary feature BE1.1



Timber front door with simple entrance porch BE1.1



## Outline Proposals – elevation studies



EAST ELEVATION I

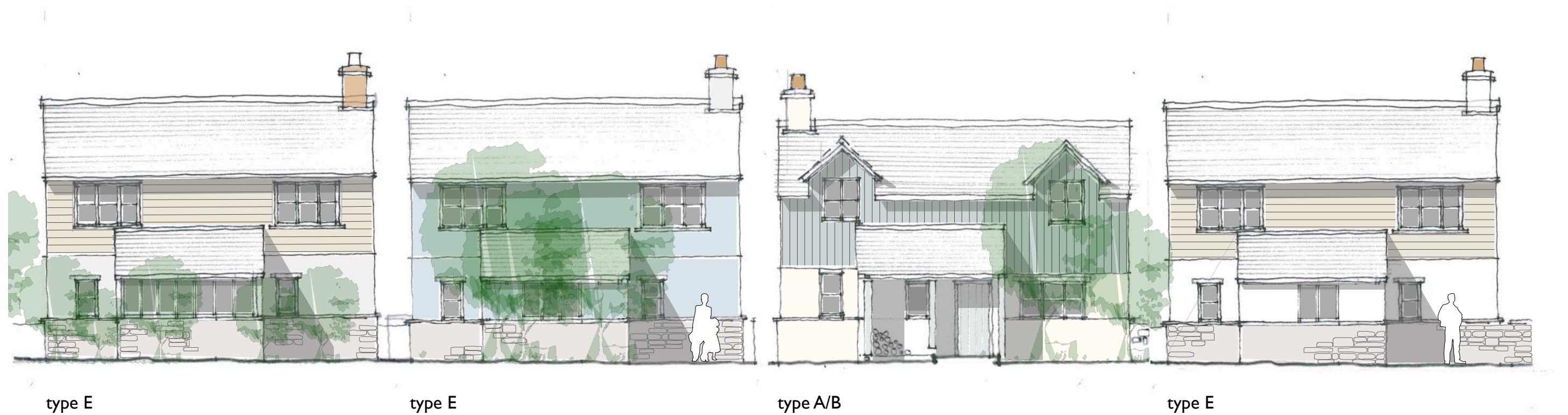
## Outline Proposals – elevation studies



WEST ELEVATION 2



## Outline Proposals – elevation studies



### EAST ELEVATION 3

boundary walls omitted for clarity

## Outline Proposals – elevation studies



### WEST ELEVATION 4

showing stone wall boundary features with gates & planting





Weatherboarding with extended eaves



Brickwork chimney stack



In roof PV's or solar slates at rear



Roughcast render



Stonework with timber joinery







**RECEIVED**

*By Liv Rickman at 3:07 pm, Mar 26, 2024*

**APPROVED**

*By Lisa Walton at 9:55 am, Sep 05, 2025*

Cornwall Community Land Trust

# Ennor Farm, Isles of Scilly

**Design Statement -  
To Support Reserved Matters Planning Application**

March 2024

2002\_Ennor Housing, Isles of Scilly

**KTA**

Architects | Urban Designers

Document Revision

Revision	Date	Author	Checked
P1	MARCH 2024	OMS/AC	AC
P2	MARCH 2024	OMS/AC	AC

Subject to design development, statutory and local authority approvals.

Awaiting further survey information.

KTA Architects  
Winslade House  
Winslade Park Manor Drive  
Clyst St. Mary  
Exeter EX5 1FY



<b>1.0</b>	<b>INTRODUCTION</b> ABOUT THIS DOCUMENT RESERVED MATTERS THE TEAM BRIEF & VISION DESIGN CODE PLOT PASSPORT NDSS ISLES OF SCILLY DESIGN GUIDE OUTLINE CONSENT CONDITIONS
<b>2.0</b>	<b>SITE CONTEXT</b> SITE LOCATION EXISTING SITE PHOTOS CONSTRAINTS & OPPORTUNITIES
<b>3.0</b>	<b>PROPOSALS</b> DESIGN PROPOSAL SITE LAYOUT GROUND LEVEL SITE PLAN MEANS OF ENCLOSURE (MOE) ROOF LEVEL SITE PLAN INFRASTRUCTURE LAYOUT SOFT INFRASTRUCTURE STREET VIEW ELEVATION SITE SECTIONS
<b>4.0</b>	<b>HOUSETYPE PROPOSALS</b> HOUSETYPE D HOUSETYPE E HOUSETYPE F



## 1.1 ABOUT THIS DOCUMENT

KTA Architects have been appointed to prepare this document in order to provide design justification for the proposed 12 detached and semi detached self/custom build homes on land at Ennor Farm, Isles of Scilly. The development and plots are guided by design principles outlined in the Design Code, approved as part of the outline planning permission (P21/002/OUT), alongside Plot Passports that define the scope and scale of each dwelling.

This document seeks to provide a clear narrative for the development of the proposed housetypes and layout of site.

## 1.2 RESERVED MATTERS

This document is a Reserved Matters Application (RMA) for the development of detached and semi detached self/custom build homes that have received outline planning permission for development (P21/002/OUT) for 12 homes.

## 1.3 THE RMA TEAM

- Council of the Isles of Scilly, St Mary's  
(*Cornwall Community Land Trust*)
- KTA Architects. Exeter
- Campbell Reith (CR)

## 1.4 BRIEF & VISION

The brief is for detached and semi detached self/custom build homes, with their appearance considered as a reserved matter. All the homes are to meet Nationally Described Space Standards (NDSS) and Building Regulations Approved Documents Part M(4) Category 2.

*There are a total of three proposed housetypes:*

**Housetype D:** 2 Bed, 4 Person, Detached or Semi Detached.

**Housetype E:** 2 Bed, 4 Person, Detached.

**Housetype F:** 3 Bed, 6 Person, Detached or Semi Detached.

The dwellings comprise detached/semi detached two storey properties. Dwelling sizes are guided by NDSS and design principles in the Design Code, alongside the Plot Passports. Dwelling heights respect the limits imposed by planning condition C11 of P21/002/OUT.

Parking is limited to reduce visual impact. Communal Parking and Electric Vehicle (EV) Charging Points are proposed. All parking locations that are shown have been approved already by the outline of consent.

## 1.5 DESIGN CODE

Dwellings have the opportunity to be constructed to each self/custom builders desired plans, subject to the principles set out in the Design Code and constraints in the 'Plot Passport' that accompanies each plot.

However, house layouts have previously been seen by the respective purchasers/self builders and the layouts in this application are in effect 'agreed' with them and will form this Reserved Matters Application.

The approved Design Code prepared by the Duchy of Cornwall is supplementary to the Islands Design Guide. The house proposals have previously been shown as illustrative in the outline application. The same are now provided in this Reserved Matters Application and have been refined against the Design Code and Isles of Scilly Design Guidance.

The approved Design Code describes the rules and quality standards expected, which will guide each plot on the character of the scheme including, but not limited to:

- The Form & Sitting of the Development - Boundaries and Set-backs
- Building Heights, Scale, Massing and Building Relationships
- Building Materials and Options for different configurations
- Colour Palette Options
- Roofs, Floors and Windows
- Bin Storage/Recycling
- Car Parking

All housetypes and Means of Enclosure (paths, gardens etc) have been designed in adherence to the Design Code. The use of a Design Code is to outline the preferred materiality and compatibility with the architectural style present and appropriate to the islands, as well as the Duchy of Cornwall. This Design Code will ensure that any future build-ings are appropriate in terms of local distinctiveness and character.

## 1.6 PLOT PASSPORTS

The approved 'Plot Passport' details the parameters that each dwelling must be designed to. This includes; the dwellings location in the plot, it's principle frontage, window placement, building height, build zone opportunities, co-ordinates and scale. These ensure the overall site development is harmonious. This Reserved Matters Application adheres to the Plot Passports.

## 1.7 NDSS

All houses proposed here are in accordance with the 'Technical Housing Standards - Nationally Described Space Standard'.

## 1.8 ISLES OF SCILLY DESIGN GUIDE

The Isles of Scilly Design Guide ensures that the islands special character and qualities are retained. The Design Guide identifies 15 'essential components of a good design':

1. Prominence
2. Visual Impacts and Views
3. Shelter
4. Landscape and Boundary Treatment
5. Overlooking (Privacy)
6. Scale of Dwellings
7. Energy Conservation
8. Drainage (Water Conservation)
9. Fuel and Water Storage
10. Waste and Recycling
11. Infrastructure/Utilities
12. Access
13. Getting the car off the street
14. Safe Place to Play
15. Live/Work

These components have been outlined in the site/housetype plans, sections and elevations. There are three housetypes of varied scale, positioned to ensure privacy and ease of access throughout site, for both pedestrians and vehicles. Boundary treatment includes five MOE types that align with the Design Code. CR have developed detailed infrastructure, landscape and drainage solutions.

## 1.9 OUTLINE CONSENT - CONDITIONS

The following is the status of conditions on the outline planning consent on P21/002/OUT:

### Fully Discharged:

- C6 - FRA and Drainage Strategy
- C12 - Historic Landscape: Detailed and Targeted Trial Trenching
- C13 - Submission of Written Scheme of Investigation
- C14 - Submission of Construction Environmental Management Plan
- C15 - Submission of Ground Levels

### Outstanding:

*Agreed with CIOs Planning. These will be dealt with by planning conditions outlined in the RMA.*

- C17 - Sustainable Design Measures
- C18 - Site Waste Management Plan for Occupation

### Partially Discharged:

- C16 - Protected Species Enhancement Measures
  - C19 - Biodiversity Enhancing Landscaping Scheme
- Bat and Bird Boxes, Hedgehog Gaps and Bee Bank shown on Site Plans.*



## 2.1 SITE LOCATION

The site is located on a 0.53 Ha (1.32 Acres) vacant field at Ennor farm, to the North of Old Town, St Marys. Old Town Lane runs adjacent to site for vehicular access into Old Town. Current use of the site includes greenfield agriculture use.

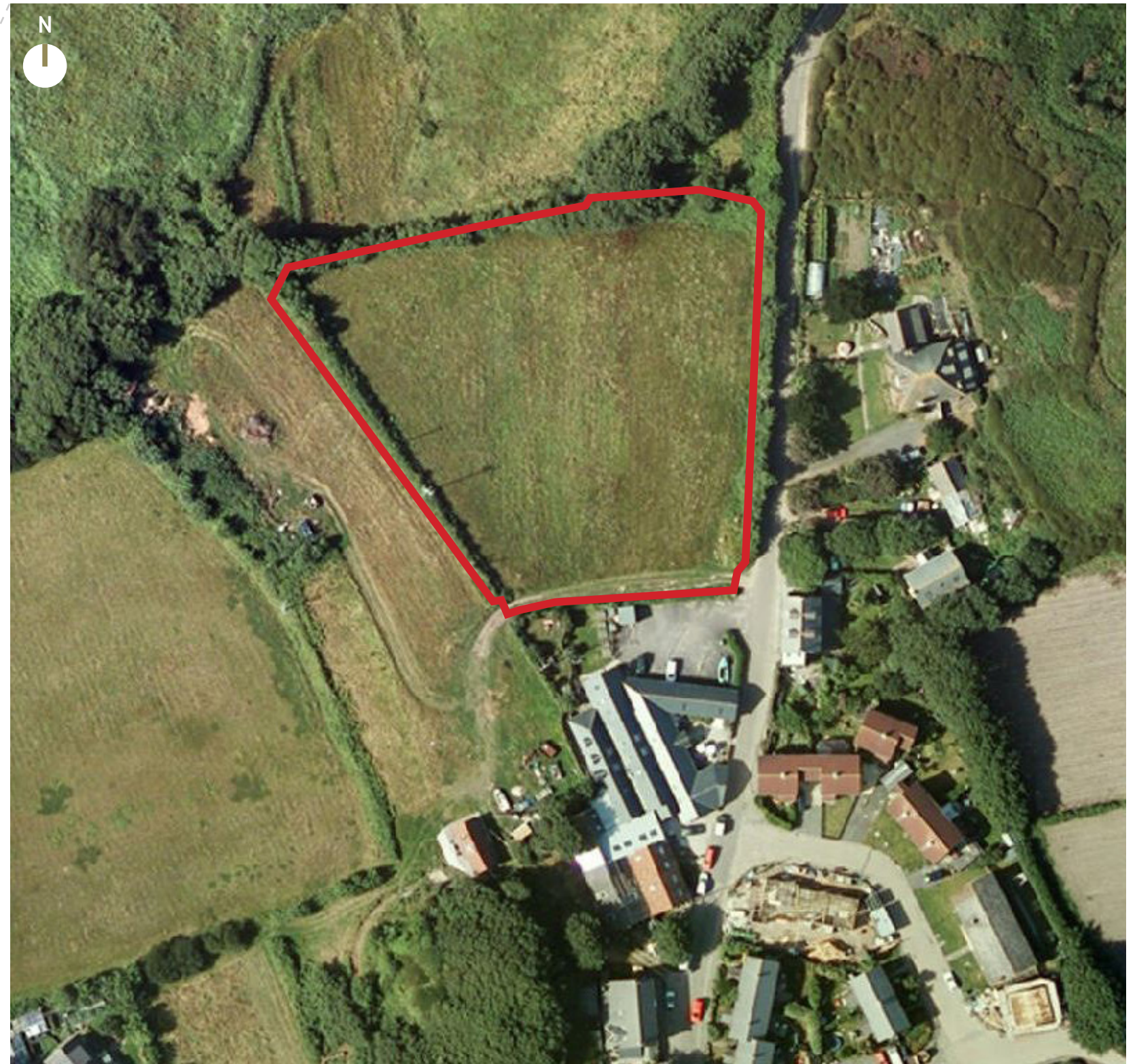
Access on to and across site is given by an existing track along the southern site application boundary, that continues to an adjoining field. Currently, Cornish hedgerow frames the site, with a modest treeline extending along the north-eastern boundary.

Adjacent properties comprise of the Old Town Inn and Car Park, Ennor Orchard Chapel, Orchard Cottage and other residential properties. These are all domestic in scale and comprise typical materials including slate roofing, slate tile hanging, granite walls and rendered walls.

This site is located on the Lower Moors Nature Reserve and is close to the Lower Moors SSSI. It is within an Area of Outstanding Natural Beauty (AONB) which encompassess all of the islands. To the South of Site is lay the ramins of Ennor Castle, a Scheduled Monument.



OS Satellite Image



Site Location Illustration



## 2.2 EXISTING SITE PHOTOS

Images taken on and around site location, Old Town, Isles of Scilly. These images depict the site as a green field, generally bordered by a Cornish Hedgerow/Stone and includes a modest treeline that runs along the main road and into the northern boundary.



*Existing Cornish hedgerow along Site*



*Existing track towards adjoining field*



*Old Town Inn*



*Adjacent Properties*

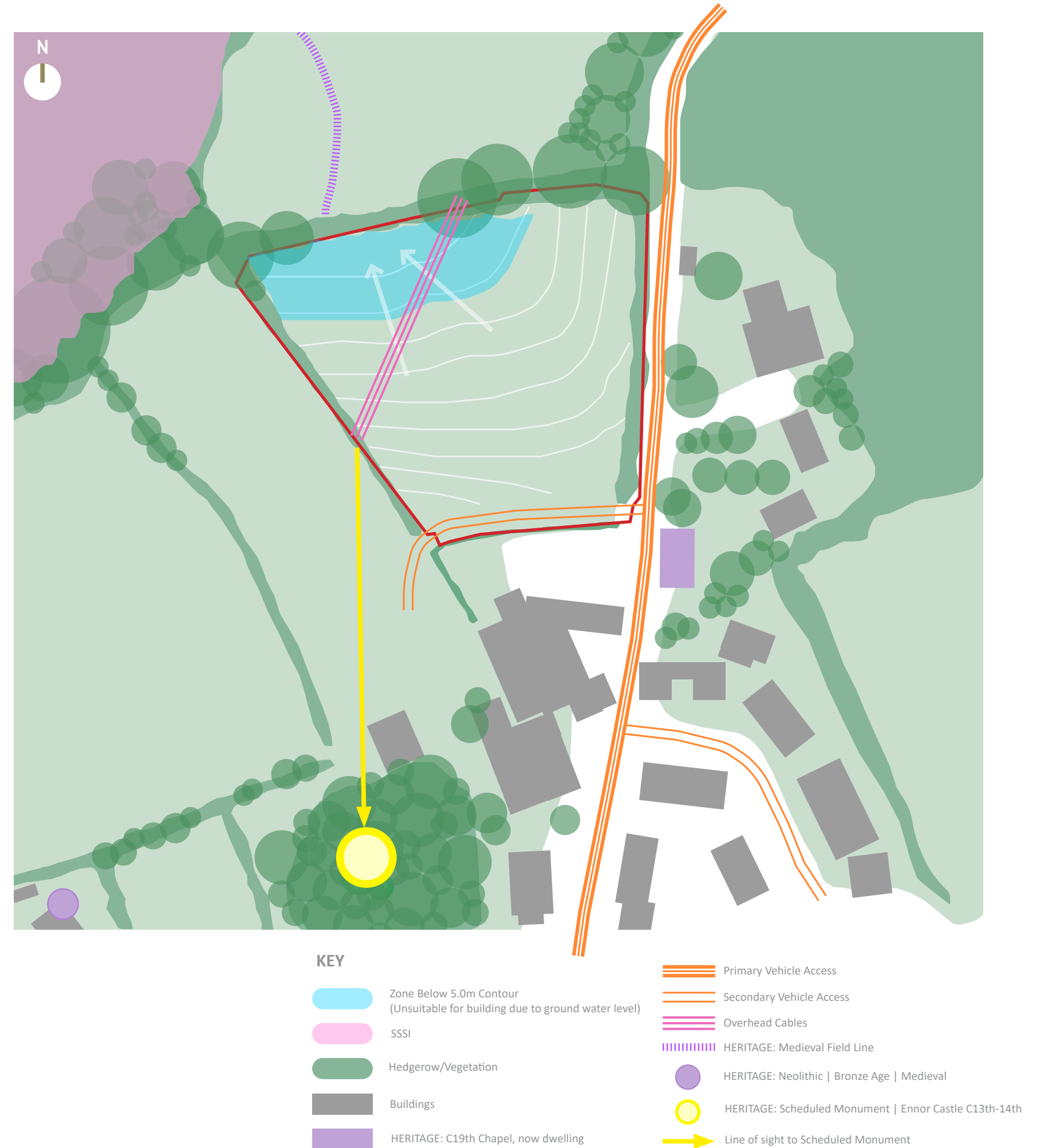


*Panorama of Site*



## 2.3 CONSTRAINTS & OPPORTUNITIES

The site constraints and opportunities are illustrated in the diagram to the right. These are unchanged from the outline application in which the consulted site layout proposals were defined. The diagram is provided as a point of reference.



### 3.1 THE DESIGN PROPOSAL

The design proposal is for 12 self/custom build plots as per the approved outline consent layout. Each plot layout is guided by design principles in the Design Code, alongside Plot Passports. The site layout has been carefully considered by the design team and informed through the brief, site constraints, site opportunities and consultations with the local community.

### 3.2 SITE LAYOUT

The dwellings comprise detached/semi detached two storey properties. Dwelling sizes are guided by the Design Code and Plot Passports. Dwelling heights accord with building height in planning condition C11 of P21/002/OUT. The proposal includes 3 housetypes:

Housetype D: 2 Bedroom, 4 Person, Semi-Detached (Plot 11/12)

Housetype E: 2 Bedroom, 4 Person, Detached (Plot 1/2/3)

Housetype F: 3 Bedroom, 6 Person, Detached (Plot 4/5/6/7/8/9)

Plot 10 may be designed by others but for the purposes of this RMA we have proposed our standard Housetype E dwelling.

External Areas also include a communal orchard using local species where available, a communal allotment garden, and associated landscaping.

In summary, as the layout has already been approved in Outline Consent P21/002/OUT and remains unchanged, it is not proposed to discuss further with the exception that Plot 01 and 02 are now Housetype E (previously Housetype A/B) and Plots 04-09 are now Housetype F (previously varied).





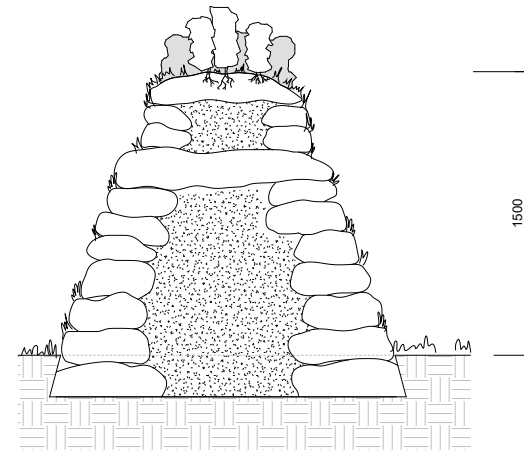
### 3.3 GROUND LEVEL SITE PLAN



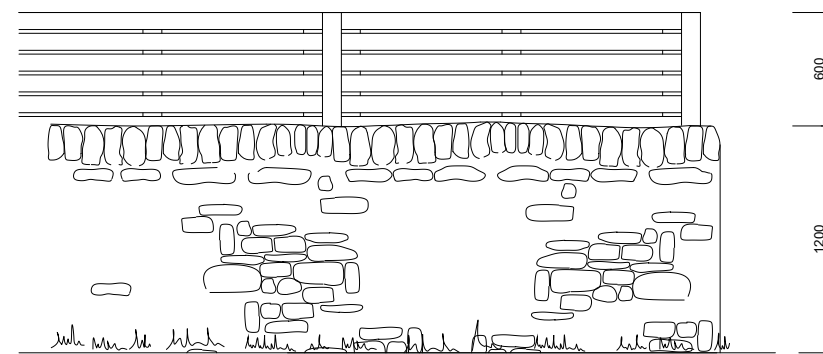
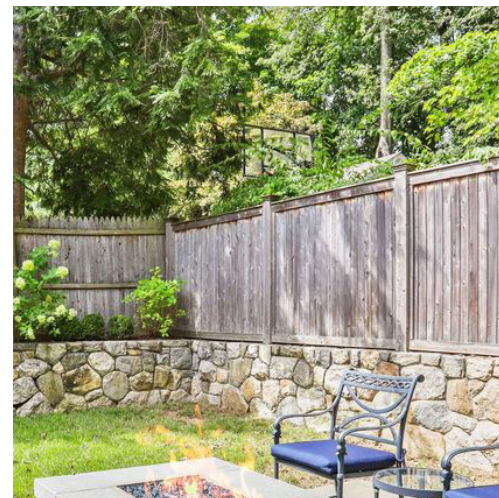


### 3.4 MEANS OF ENCLOSURE (MOE)

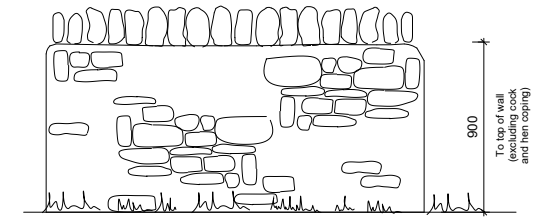
All Means of Enclosure adhere to Design Code preferences.



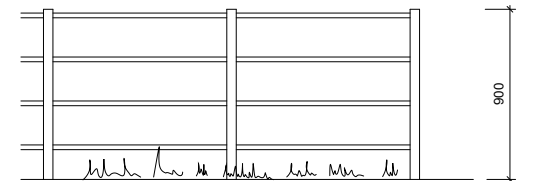
**MOE 1**  
1500mm high Landscaped Cornish Hedge with Planting (Section)



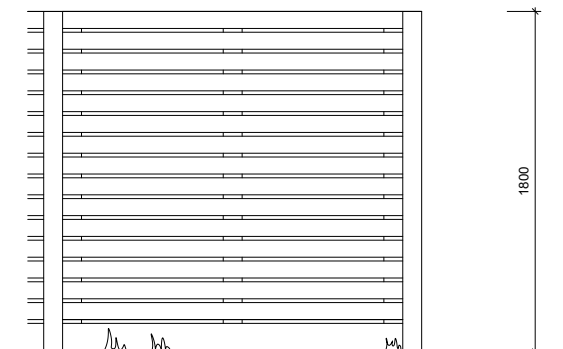
**MOE 2**  
1200mm high Stone Faced Wall with Rendered Back and Stone Soldier Course - Topped with 600mm Double Slatted Fence (stone to match houses)



**MOE 3**  
900mm high Stone Faced Wall with Cock and Hen Coping in front of selected dwellings



**MOE 4**  
900mm high 'Parkland Railings' in front of selected dwellings



**MOE 5**  
1800mm high Double Slatted Fence in rear of selected dwellings



### 3.5 ROOF LEVEL SITE PLAN



## 3.6 INFRASTRUCTURE LAYOUT

### 'Proposed Levels and Contours Plan'

Drawing provided from Campbell Reith Engineers.

The site slopes uniformly by approximately 4.5m down to the North-West corner from the site access point. The Topographic Survey is illustrated by Campbell Reith in this document. A ground investigation has been undertaken (Jan 2020) by Wheal Jane Consultancy. Ground conditions are considered good and generally include dark clayey topsoil over sandy clayey granular material to bedrock.

Levels have previously been discharged by conditions in the outline consent.



- Proposed Retaining Wall
- Proposed Gravel Board
- Proposed Underbuild
- Proposed Damp-Proof Course

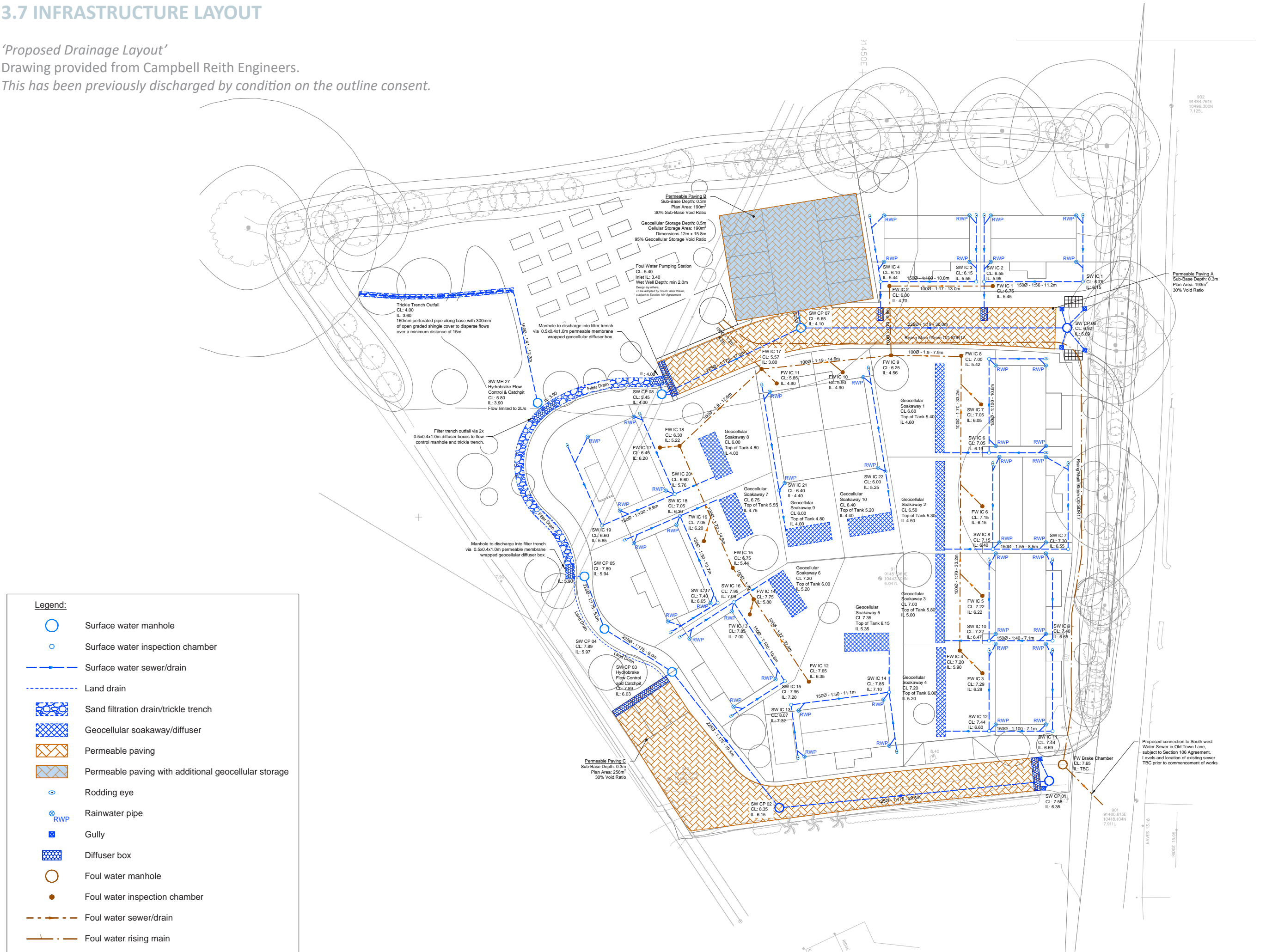


### 3.7 INFRASTRUCTURE LAYOUT

*'Proposed Drainage Layout'*

Drawing provided from Campbell Reith Engineers.

*This has been previously discharged by condition on the outline consent.*



Proposed connection to South west Water Sewer in Old Town Lane, subject to Section 108 Agreement. Levels and location of existing sewer TBC prior to commencement of works

### 3.8 SOFT INFRASTRUCTURE - LANDSCAPE PLAN

*'Landscape Masterplan'*

Drawing provided from the Environment Partnership.

*This has been previously discharged by condition on the outline consent.*



## Notes

**Exact locations of landscape proposals subject to minor alterations.**

Refer to the Biodiversity Enhancement Plan (TEP ref: 8128.01.003) for further details of measures to relocate the stone wall, bird and bat box installation, invertebrate hotel installation, and hedgehog connectivity measures.

Refer to the Detailed Planting Plan (TEP ref: D8128.01.009) and Planting Schedules and Notes (TEP ref: D8128.01.010) for further details of the number, type and density of proposed planting.

Refer to the Biodiversity Enhancement Plan (TEP ref: 8128.01.003) for landscape management recommendations.

Drainage proposals shown on drawing taken from Drainage Layout Plan  
(Campbell Reith ref: 13847-CRH-XX-XX-DR-C-5050 Rev P1).

A	Amendments in line with CCLT and CIOs comments	AL	CH	31.05.22
Rev	Description	Drawn	Approved	Date



Genesis Centre, Birchwood Science Park, Warrington WA3 7BH  
Tel 01925 844004 e-mail [tep@tep.uk.com](mailto:tep@tep.uk.com) [www.tep.uk.com](http://www.tep.uk.com)

Project  
Ennor Farm, Isles of Scilly

Title  
**Landscape Masterplan**

Drawing Number  
**D8182.01.008A**

Scale <b>1:250 @ A1</b>		Date <b>26/04/2022</b>	
Drawn <b>AL</b>	Checked <b>RR</b>	Approved <b>CH</b>	



3.9 SOFT INFRASTRUCTURE- DETAILED PLANTING PLAN

Drawings provided from the Environment Partnership.  
This has been previously discharged by condition on the outline consent.



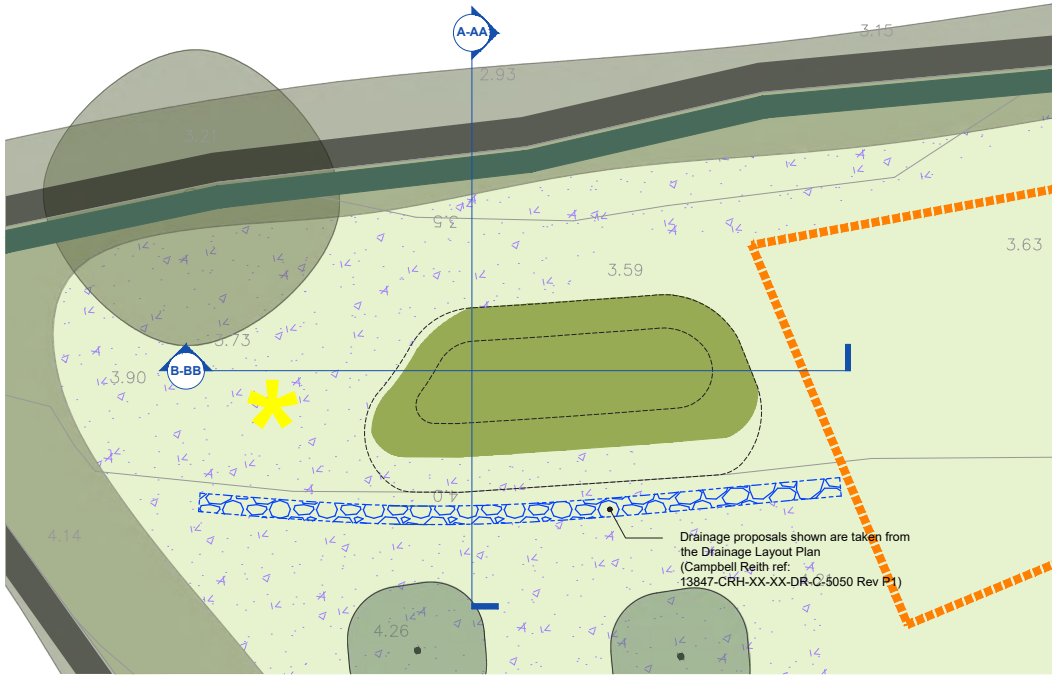
3.10 SOFT INFRASTRUCTURE - BOG GARDEN

*This has been previously discharged by condition on the outline consent.*

Location of Bog Garden within Public Open Space Scale 1:500



Inset 1: Bog Garden Layout Scale 1:100



Key

- Existing**
- Trees to be retained
  - Hedgerow / wall to be retained (indicative location)
- Proposed**
- Orchard tree planting
  - Re-located landscaped stone hedge bank with planting
  - Native enhancement hedge planting
  - Ornamental hedge planting
  - Ornamental planting
  - Amenity grass
  - Wildflower meadow grass
  - Wet meadow grass
  - Seasonal bulb planting
  - Damp/marginal planting
  - Bog garden
  - Indicative location of allotment raised beds (to be designed by plot owners)
  - Private gardens (to be designed by individual plot owners)
  - Indicative landform contours
  - Bee bank with 50% seeded with wildflower grassland mix

Notes

**Exact locations of landscape proposals subject to minor alterations.**

**To be read in conjunction with the Detailed Planting Plan (TEP ref: D8128.01.009).**

**To be read in conjunction with the Detailed Planting Schedules and Notes (TEP ref: D8128.01.010).**

Refer to the Biodiversity Enhancement Plan (TEP ref: 8128.01.003) for landscape management recommendations.



A	Amendments in line with CCLT and CLOS comments	AL	CH	31.05.22
Rev	Description	Drawn	Approved	Date



Genesis Centre, Birchwood Science Park, Warrington WA3 7BH  
Tel 01925 844004 e-mail tep@tep.uk.com www.tep.uk.com

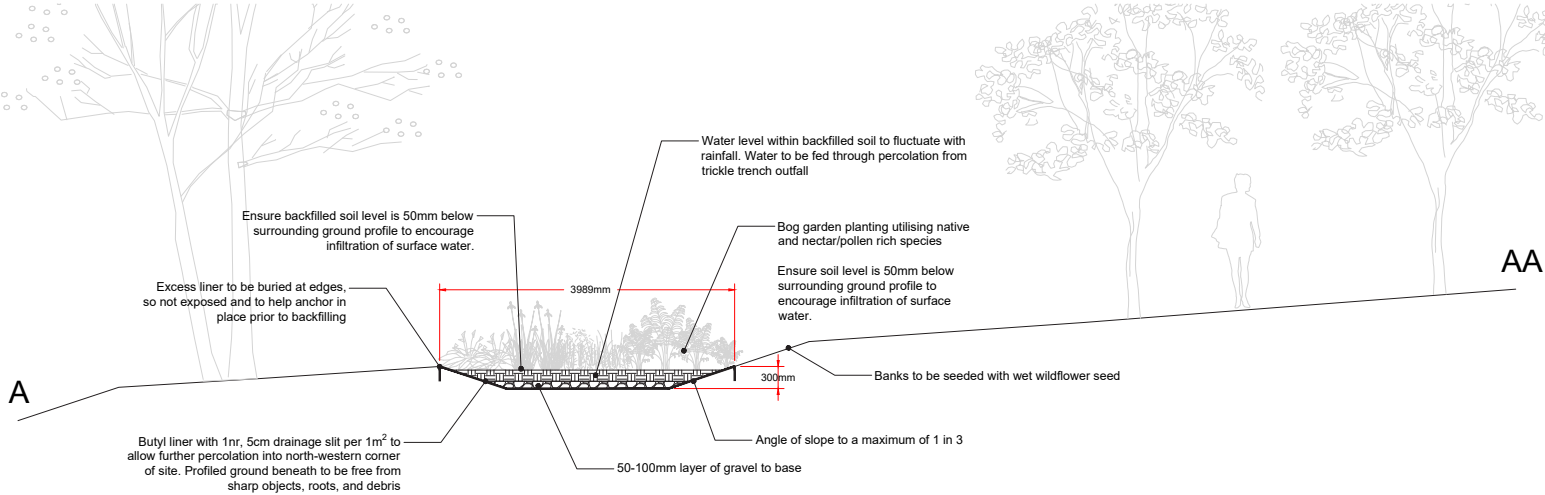
Project  
**Ennor Farm, Isles of Scilly**

Title  
**Bog Garden Details**

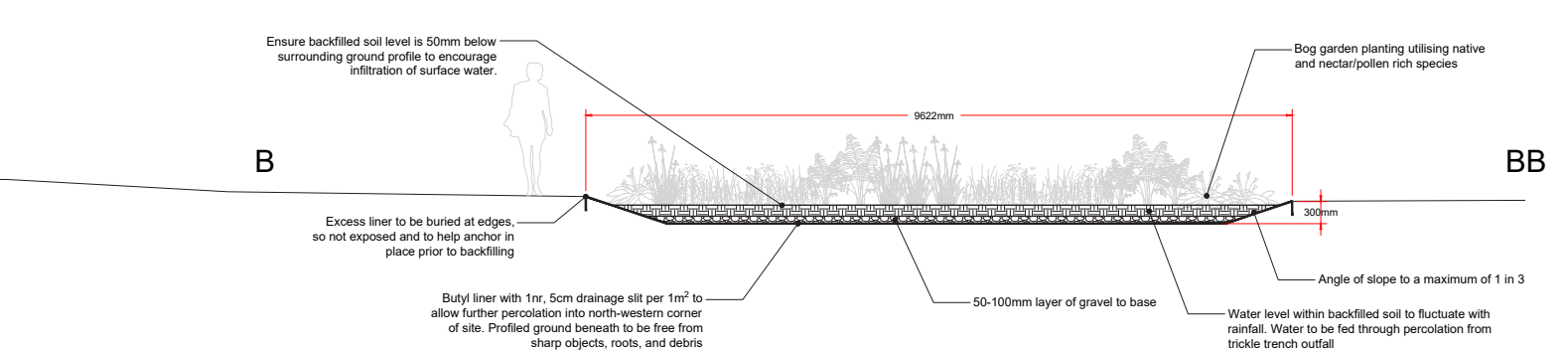
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**D8182.01.011A**

Scale <b>As stated @ A1</b>	Date <b>26/04/2022</b>
Drawn <b>AL</b>	Checked <b>RR</b>
	Approved <b>CH</b>

Section A - AA Scale 1:50



Section B - BB Scale 1:50



NOTES

- Excavate hole to 300mm depth.
- The subgrade should be rolled or tracked to remove any wheel ruts, footprints, or other abrupt grade changes.
- Protrusions extending more than 12mm from the subgrade surface shall either be removed, crushed, or pushed into the surface.
- The finished surface must be firm and unyielding, without abrupt elevation changes, voids, cracks, ice or standing water.
- Lay butyl liner and make drainage slits. At no time during or subsequent to installation of the liner will plant equipment be permitted to travel on the liner.
- Add gravel to depth of between 50-100mm.
- Backfill the hole with nutrient poor subsoil or aquatic soil to avoid algal build up. The soil is to be free of all debris, roots, sharp objects and any stones larger than 32mm. Ensure soil level is 50mm below surrounding ground profile to encourage infiltration of surface water.
- Water the soil, with rainwater if available.
- Leave soil to settle for one week before planting.
- Planting to be carried out in Spring. Refer to the Detailed Planting Plan (TEP ref: D8128.01.009) and Planting Schedules and Notes (TEP ref: D8128.01.010) for further details of the number, type and density of proposed planting.
- The bog garden will be irrigated with rainwater from the trickle trench outfall, but may require additional watering in times of drought.



### 3.11 STREET ELEVATION

Proposed Street Elevation situated facing the main road.



**Street View Elevation**  
1 : 200

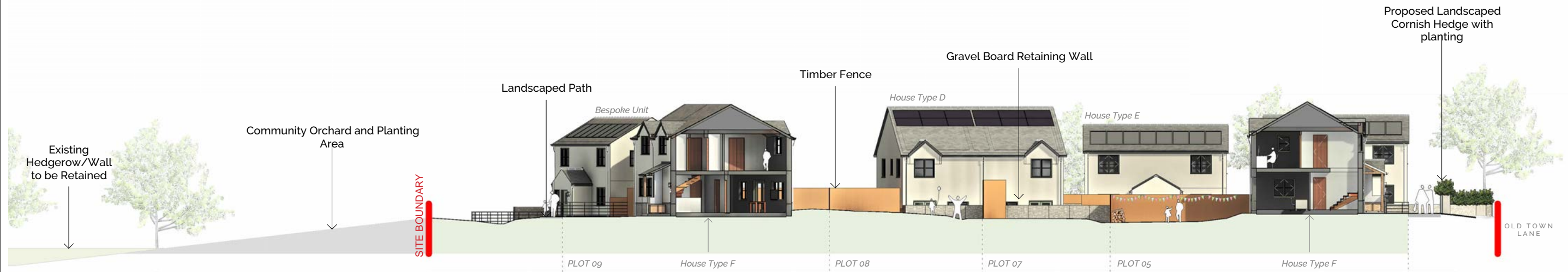


### 3.12 SITE SECTION

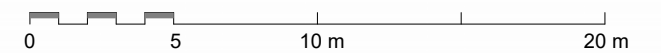
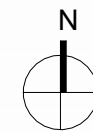
Proposed Site Sections.



**Proposed Site Section 1**  
1 : 200



**Proposed Site Section 2**  
1 : 200





# 4.1 HOUSETYPE D - ELEVATIONS

- Materials Key**
- 1 Painted Render - colour tbc
  - 2 Natural Stone Plinth
  - 3 Natural Slate Tile Roof
  - 4 Composite Timber Doors - colour tbc
  - 5 Timber Windows - colour tbc
  - 6 Colour Coated Aluminium Gutters/Downpipes - colour tbc
  - 7 Integrated Solar Panels

**HOUSETYPE D**  
2 Bed 4 Person  
Semi Detached

Part M(4) Category 2

**2B/4P Housetype D - Front Entrance**  
GIA: 89.2m²  
Storage Area: 4.21m²  
Minimum GIA = 79m²  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.



Front Elevation  
1 : 50



Rear Elevation  
1 : 50



Side Elevation A  
1 : 50

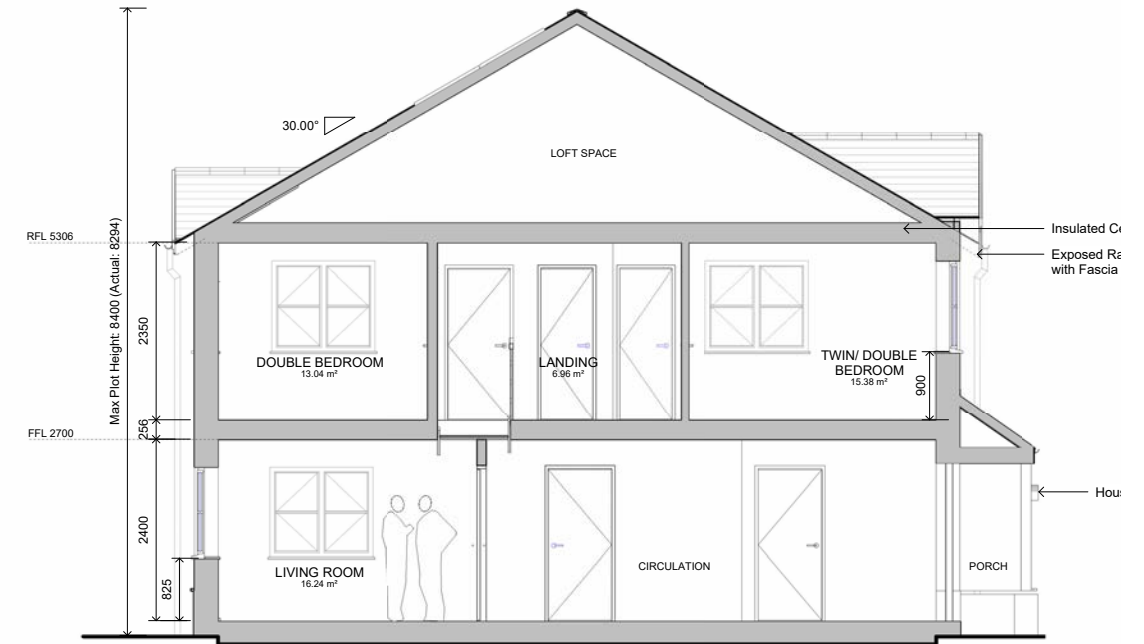


Side Elevation B  
1 : 50

## 4.2 HOUSETYPE D - PLANS AND SECTION

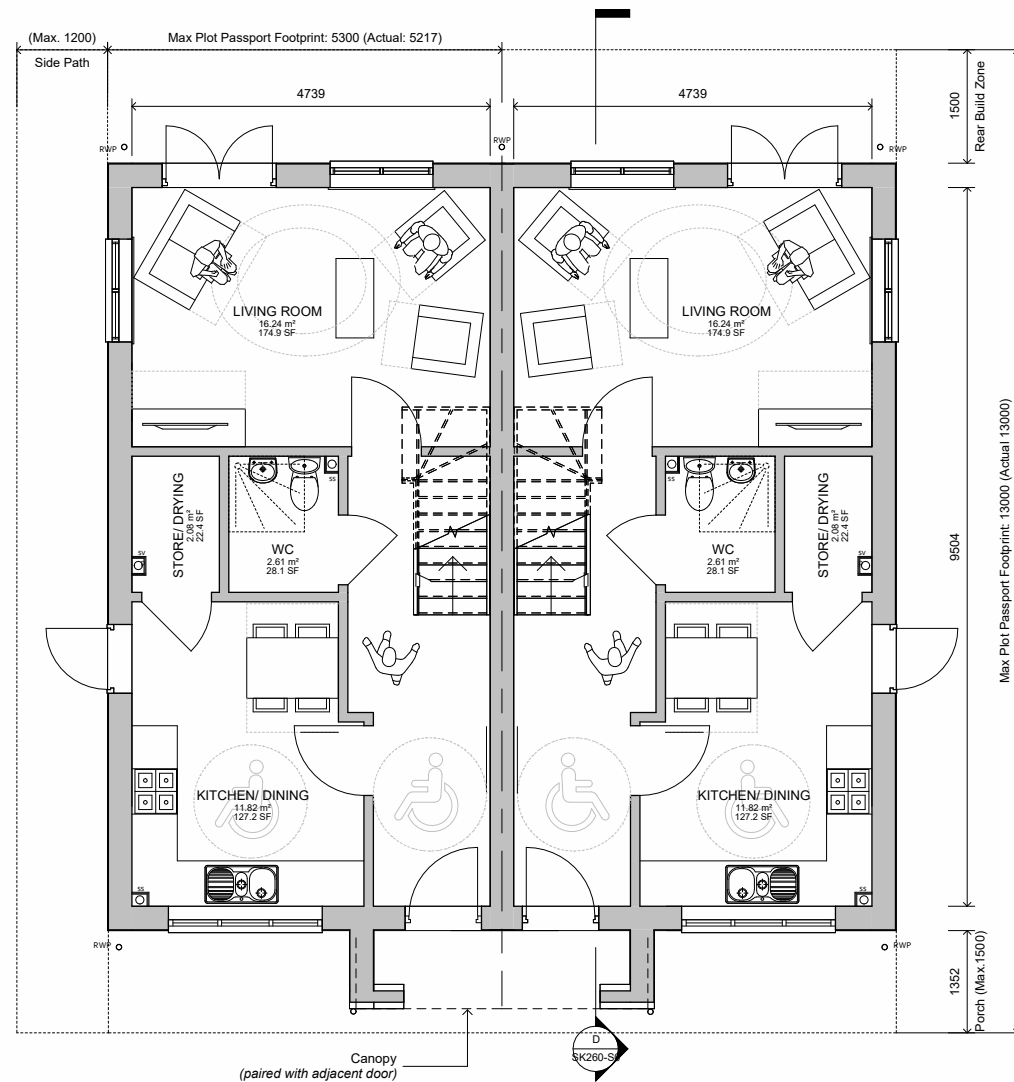
<b>HOUSETYPE D</b> 2 Bed 4 Person Semi Detached		
Part M(4) Category 2		
<b>2B/4P Housetype D - Front Entrance</b> GIA: 89.2m <sup>2</sup> Storage Area: 4.21m <sup>2</sup> Minimum GIA = 79m <sup>2</sup> (Technical housing standards - nationally described space standard)		
Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.



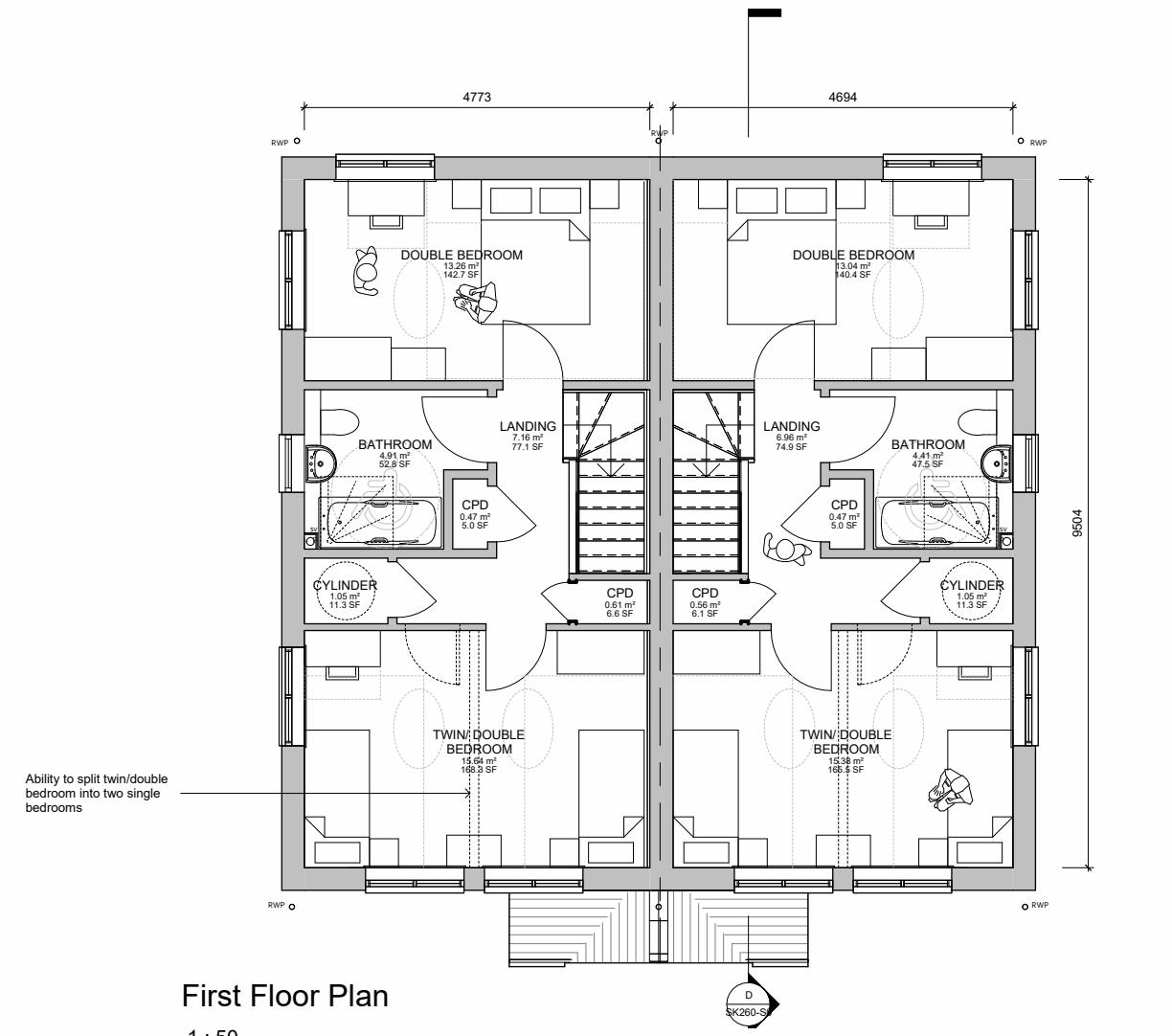
Section D

1 : 50



Ground Floor Plan

50



First Floor Plan

1 : 50

0 5m 1.50 @ A1



## 4.3 HOUSETYPE E - ELEVATIONS

**HOUSETYPE E**  
2 Bed 4 Person  
Detached or Semi Detached

Part M(4) Category 2

**2B/4P Housetype E - Front Entrance**  
**GIA:** 87.3m<sup>2</sup>  
**Storage Area:** 4m<sup>2</sup>  
Minimum GIA = 79m<sup>2</sup>  
*(Technical housing standards - nationally described space standard)*

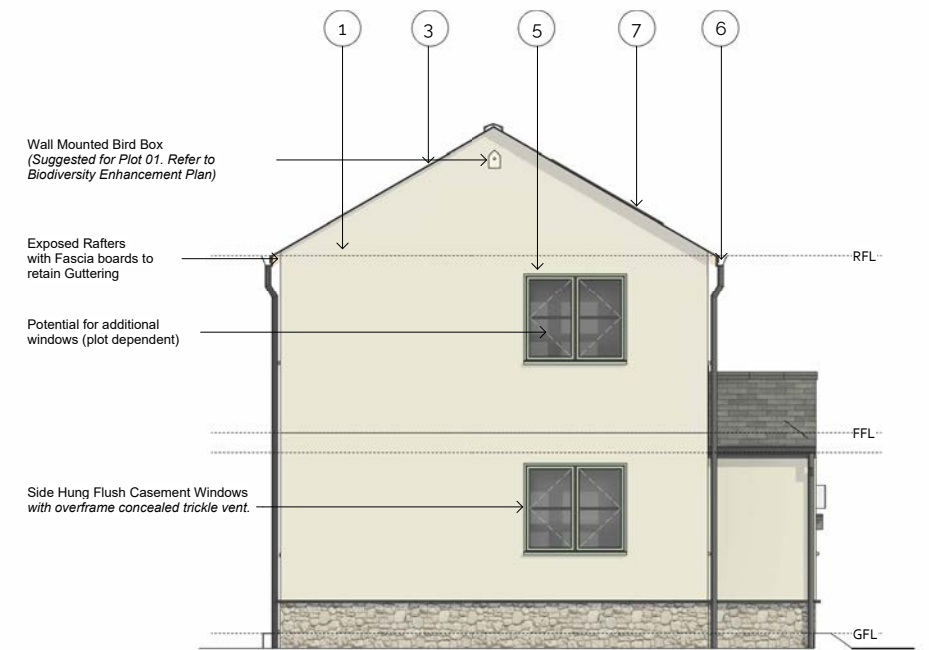
**Materials Key**  
1 Painted Render - *colour tbc*  
2 Natural Stone Plinth  
3 Natural Slate Tile Roof  
4 Composite Timber Doors - *colour tbc*  
5 Timber Windows - *colour tbc*  
6 Colour Coated Aluminium Gutters/Downpipes - *colour tbc*  
7 Integrated Solar Panels

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

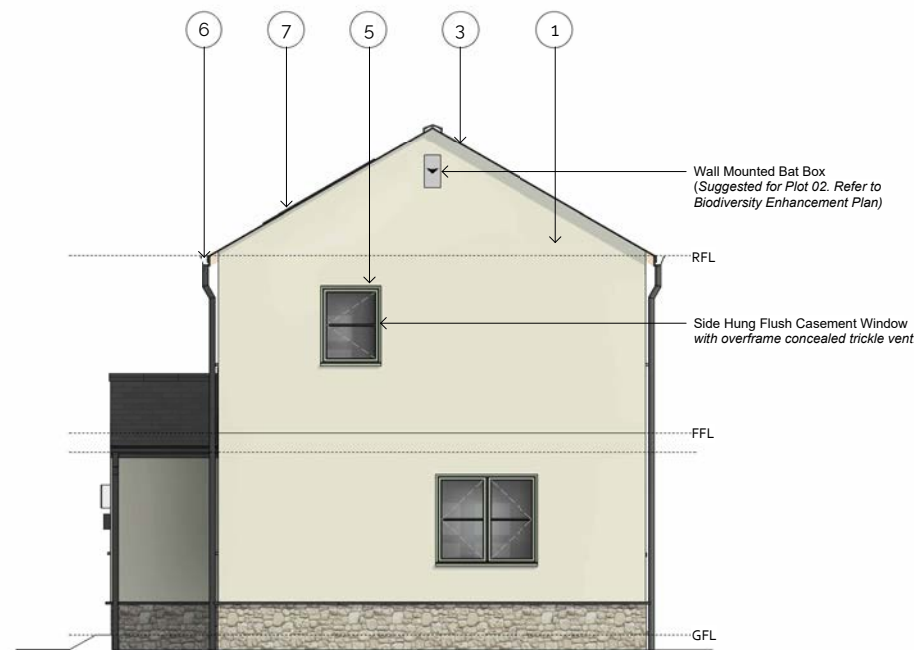
*\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.*



**Front Elevation**  
1 : 50



**Side Elevation A**  
1 : 50



**Side Elevation B**  
1 : 50



**Rear Elevation**  
1 : 50

4.4 HOUSETYPE E - PLANS AND SECTION

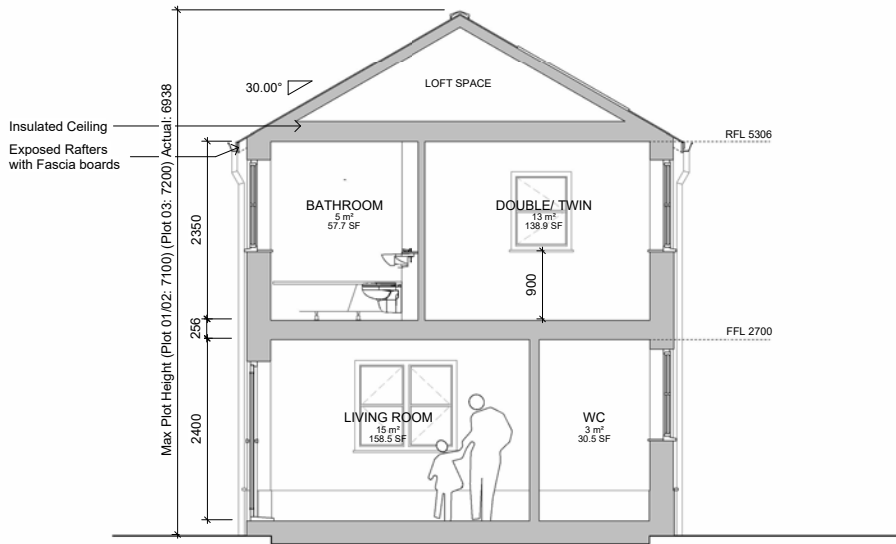
**HOUSETYPE E**  
2 Bed 4 Person  
Detached or Semi Detached

Part M(4) Category 2

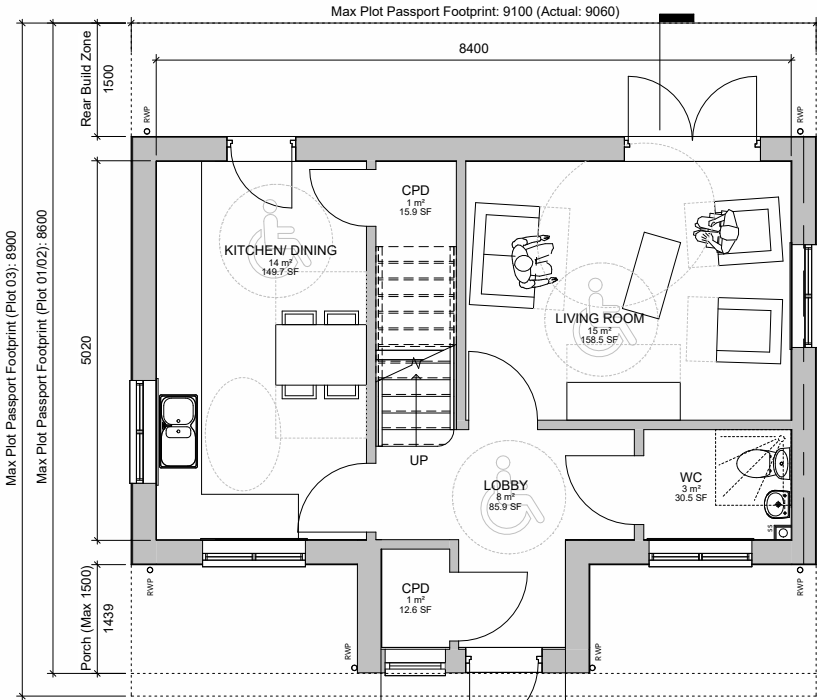
**2B/4P Housetype E - Front Entrance**  
GIA: 87.3m²  
Storage Area: 4m²  
Minimum GIA = 79m²  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

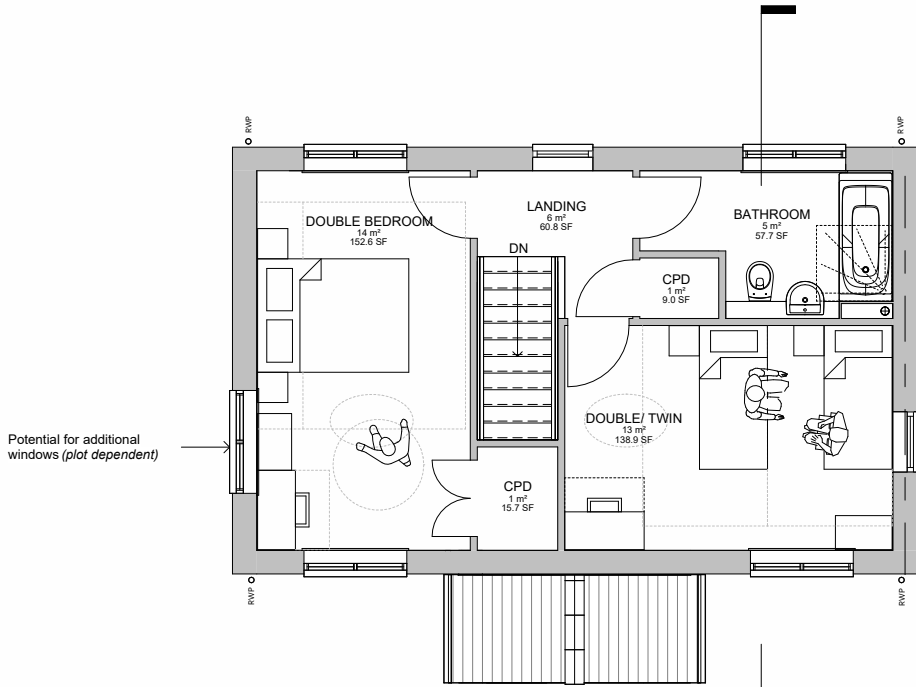
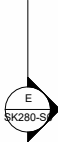
\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.



Section E  
1 : 50



Ground Floor Plan  
1 : 50



First Floor Plan  
1 : 50





4.5 HOUSETYPE F - ELEVATIONS

**HOUSETYPE F**  
3 Bed 6 Person  
Detached or Semi Detached

Part M(4) Category 2

**3B/ 6P Housetype F - Front Entrance**  
GIA: 109.2m<sup>2</sup>  
Storage Area: 4.5m<sup>2</sup>  
Minimum GIA = 102m<sup>2</sup>  
(Technical housing standards - nationally described space standard)

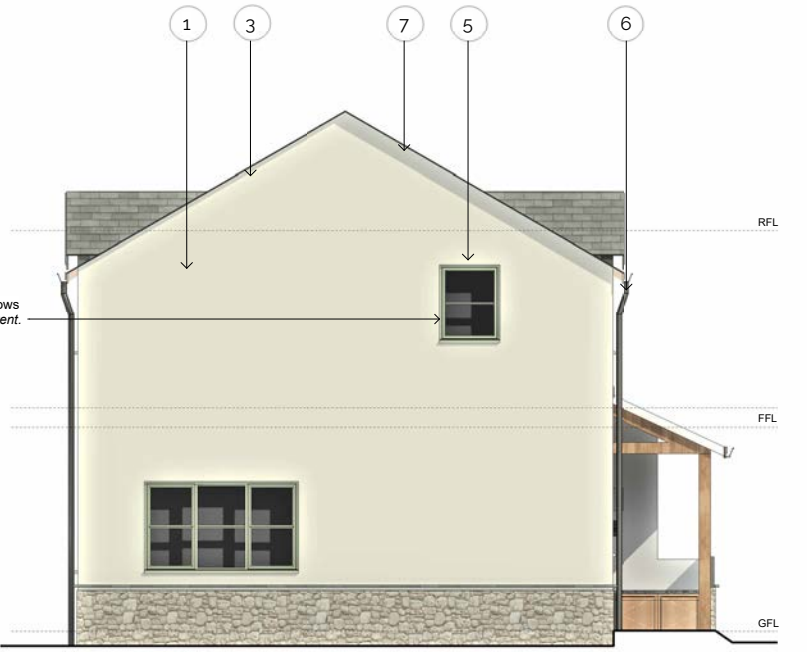
Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.

- Materials Key**
- 1 Painted Render - colour tbc
  - 2 Natural Stone Plinth
  - 3 Natural Slate Tile Roof
  - 4 Composite Timber Doors - colour tbc
  - 5 Timber Windows - colour tbc
  - 6 Colour Coated Aluminium Gutters/Downpipes - colour tbc
  - 7 Integrated Solar Panels



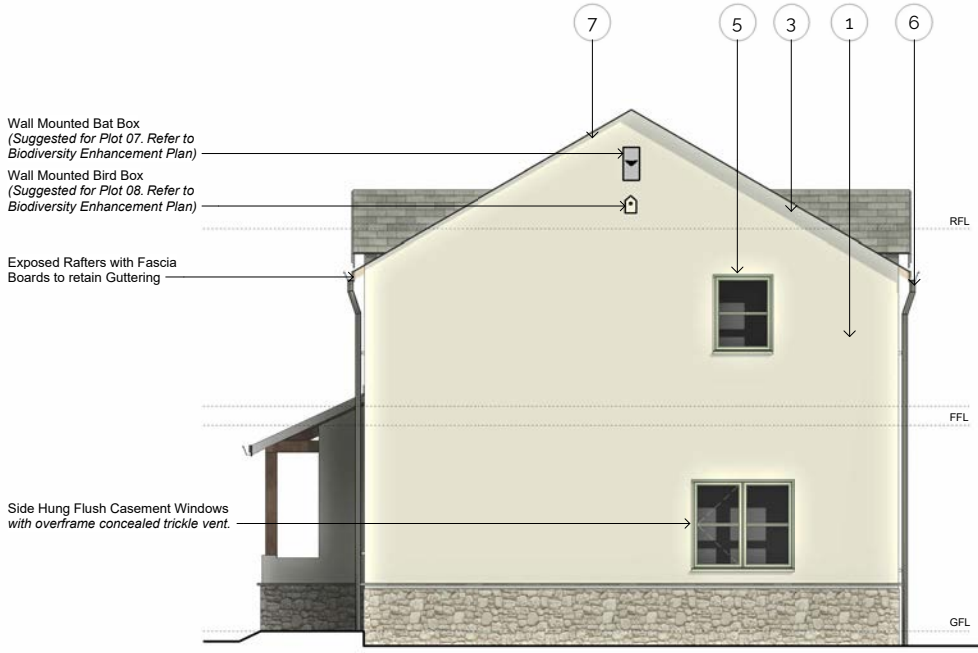
**Front Elevation**  
1 : 50



**Side Elevation A**  
1 : 50



**Rear Elevation**  
1 : 50



**Side Elevation B**  
1 : 50

4.6 HOUSETYPE F - PLANS AND SECTION

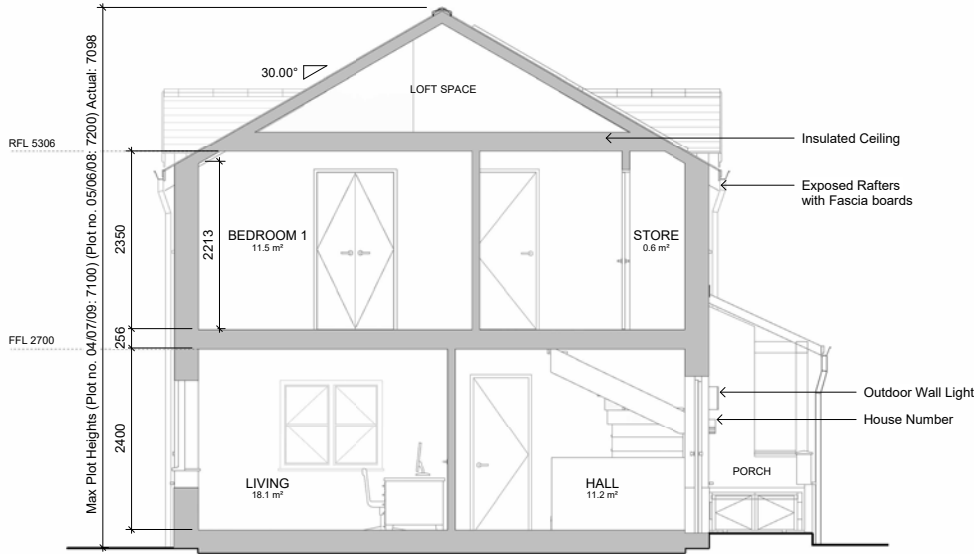
**HOUSETYPE F**  
3 Bed 6 Person  
Detached or Semi Detached

Part M(4) Category 2

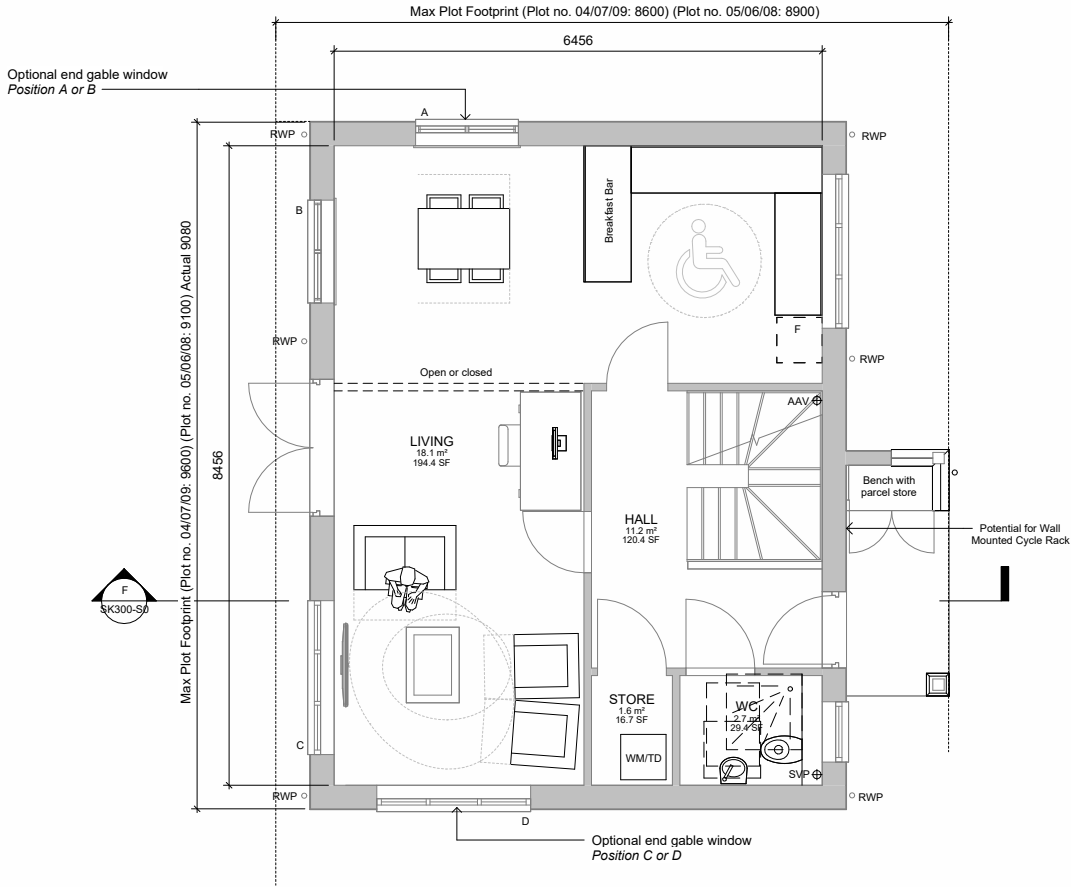
**3B/ 6P Housetype F - Front Entrance**  
GIA: 109.2m<sup>2</sup>  
Storage Area: 4.5m<sup>2</sup>  
Minimum GIA = 102m<sup>2</sup>  
(Technical housing standards - nationally described space standard)

Plot No.	House Type	Max. Plot Height
1	E	7.1m
2	E	7.1m
3	E	7.2m
4	F	7.1m
5	F	7.2m
6	F	7.2m
7	F	7.1m
8	F	7.2m
9	F	7.1m
10	Bespoke Unit	7.2m
11	D	8.4m
12	D	8.4m

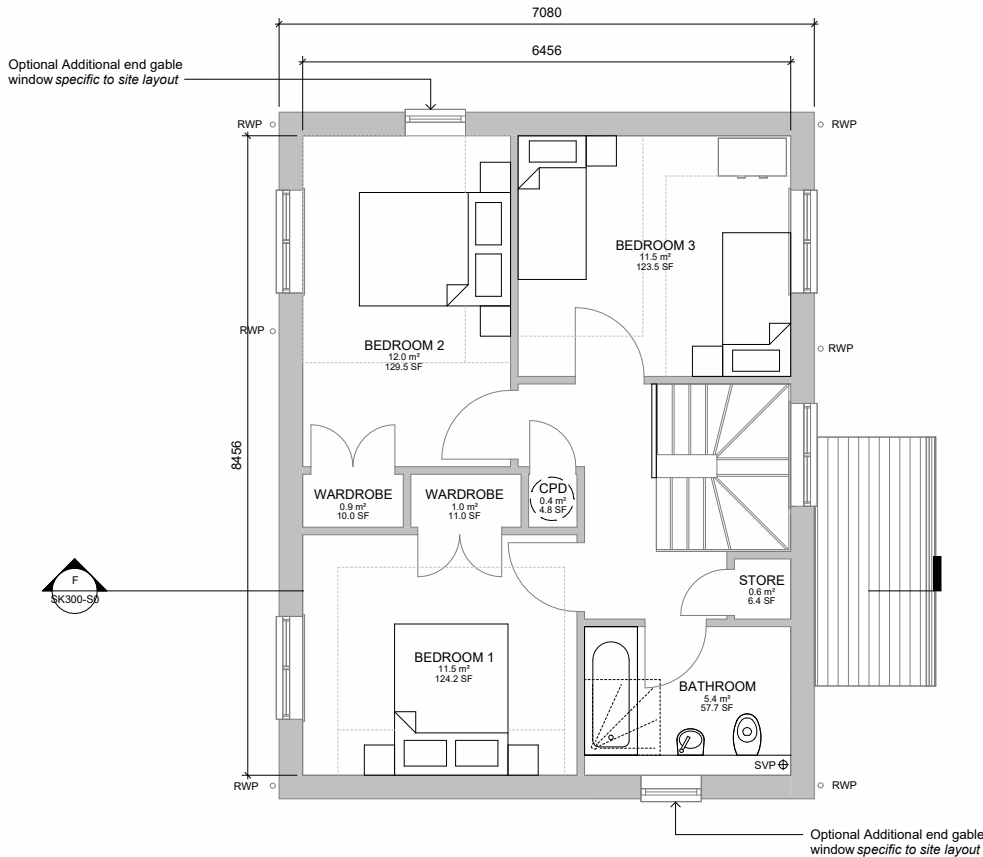
\* Refer to Outline Planning Permission for Development, Section C11: Restrictions of Building Height. Height measured from GFL to Ridge.



Section F  
1 : 50



Ground Floor Plan  
1 : 50



First Floor Plan  
1 : 50