

- C4 No external lighting shall be installed on the dwelling or anywhere within the site unless otherwise agreed in writing by the Local Planning Authority. This exclusion shall not prohibit the installation internal lighting or of sensor-controlled security lighting of 1,000 lumens or less, which shall be designed and shielded to minimise upwards light spillage.**
Reason: To protect the amenities of the locality, including the amenities of neighbouring residential properties and to protect the amenities of this rural area and preserve the dark night skies of the Isles of Scilly and the Garrison Dark Sky Discovery Site (Milky Way Class) in accordance with Policy OE4 of the Submission Draft Isles of Scilly Local Plan (2015-2030).
- C5 The development hereby approved shall be undertaken in accordance with the Preliminary Roost Assessment (PRA) (24-7-4) dated 20th July 2024 and the Bat Presence/Absence Surveys (PAS) (24-7-10) dated 3rd September 2024.**
Reason: To safeguard protected species and their habitats, in accordance with Policy SS2(g) and Policy OE2 of the new Isles of Scilly Local Plan (2015-2030).

PRE-COMPLETION CONDITION: Submission of Planting Scheme

- C6 Prior to the completion of the development hereby approved, a detailed scheme of planting proposals shall be submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, following the completion of the development, in strict accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.**
Reason: To ensure the development delivers biodiversity enhancements in accordance with OE2 of the Isles of Scilly Local Plan (2015-2030).
- C7 Before the first occupation of the building hereby permitted any window/windows(s) of any room in use as a bathroom on the front elevation shall be fitted with obscure glazing. The window(s) shall be permanently retained as such thereafter.**
Reason: To safeguard the privacy of the occupiers of the adjoining property in accordance SS2 and LC8 of the Isles of Scilly Local Plan (2015-2030).
- C8 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**
Reason: In the interests of protecting the residential amenities of the islands.

PRE-COMMENCEMENT CONDITION: Submission of a Site Waste Management Plan

- C9 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.**
Reason: This is a pre-commencement condition that requires details that were not submitted as part of the application but are required to fully understand the impact upon landscape and management of waste, to be submitted and agreed by the Local Planning Authority. This is to ensure those characteristics which contribute to the status of the Isles

of Scilly as a Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast are not eroded by uncontrolled mineral extraction or the tipping of waste. In accordance with the requirements of Policies SS2(2) and OE5 of the Isles of Scilly Local Plan (2015 - 2030).

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and proactive manner, in accordance with paragraph 38 of the National Planning Policy Framework 2023.
2. In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. In accordance with the Town and Country Planning (fees for Application and Deemed Applications, Requests and Site Visits) (England) (Amendment) Regulations 2017 a fee is payable to discharge any condition(s) on this planning permission (where discharge is required). You are advised to check the latest fee schedule at the time of making an application as any adjustments including increases will be applied: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
4. The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately, and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.
5. This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
6. Due to the potential for new rooflights to give rise to light pollution the occupants are encouraged to install blackout blinds, ideally of sensor-controlled to minimise upwards light spillage.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 07 October 2024

submitted to and approved in writing by the Local Planning Authority. Planting should consist of native species. The scheme design shall include a layout of planting to show plant species, planting sizes, locations, densities and numbers. All such work as may be approved shall then be fully implemented in the first planting season, following the completion of the development, in strict accordance with the approved details. Any plants or species which within a period of 5 years from the time of planting die, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

PRE-COMMENCEMENT CONDITION

C9 Prior to the commencement of the development, hereby approved, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎ 01720 424455

✉ planning@scilly.gov.uk

**THIS LETTER CONTAINS IMPORTANT INFORMATION
REGARDING YOUR PERMISSION – PLEASE READ
IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE
APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW
OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any un-authorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £43per application
- Other permissions - £145 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). NMA can only be made to planning permissions and not a listed building consent. They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £43 for householder type applications and £293 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals:](#)

[How long they take page.](#)

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:

<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

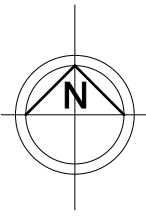
Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 08000831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.



Application Site outlined in red

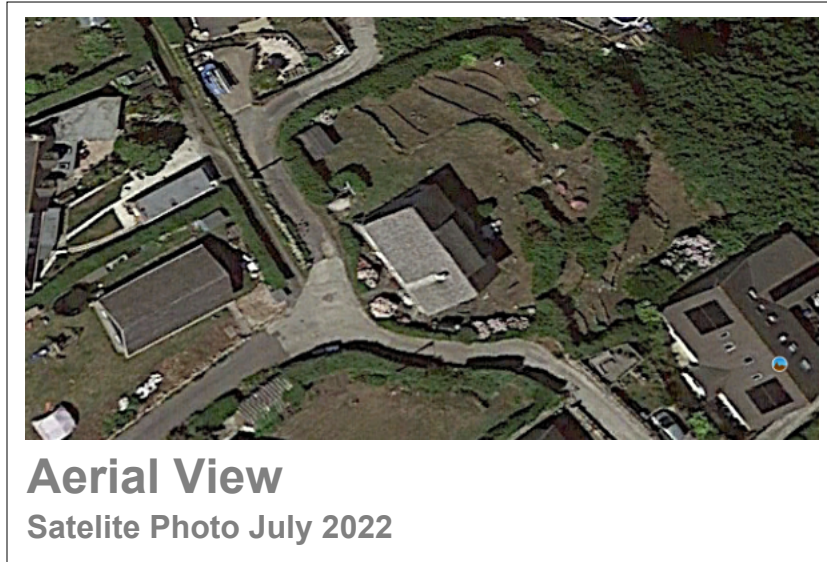
APPROVED
By Lisa Walton at 9:50 am, Oct 07, 2024

Location Plan
Scale 1:1250 @ A3

RECEIVED
By Liv Rickman at 11:37 am, Aug 09, 2024

Note: OS Map reproduced under 'Landmark'
Paper Map Copy Licence (PMCL) number
670690383.708409

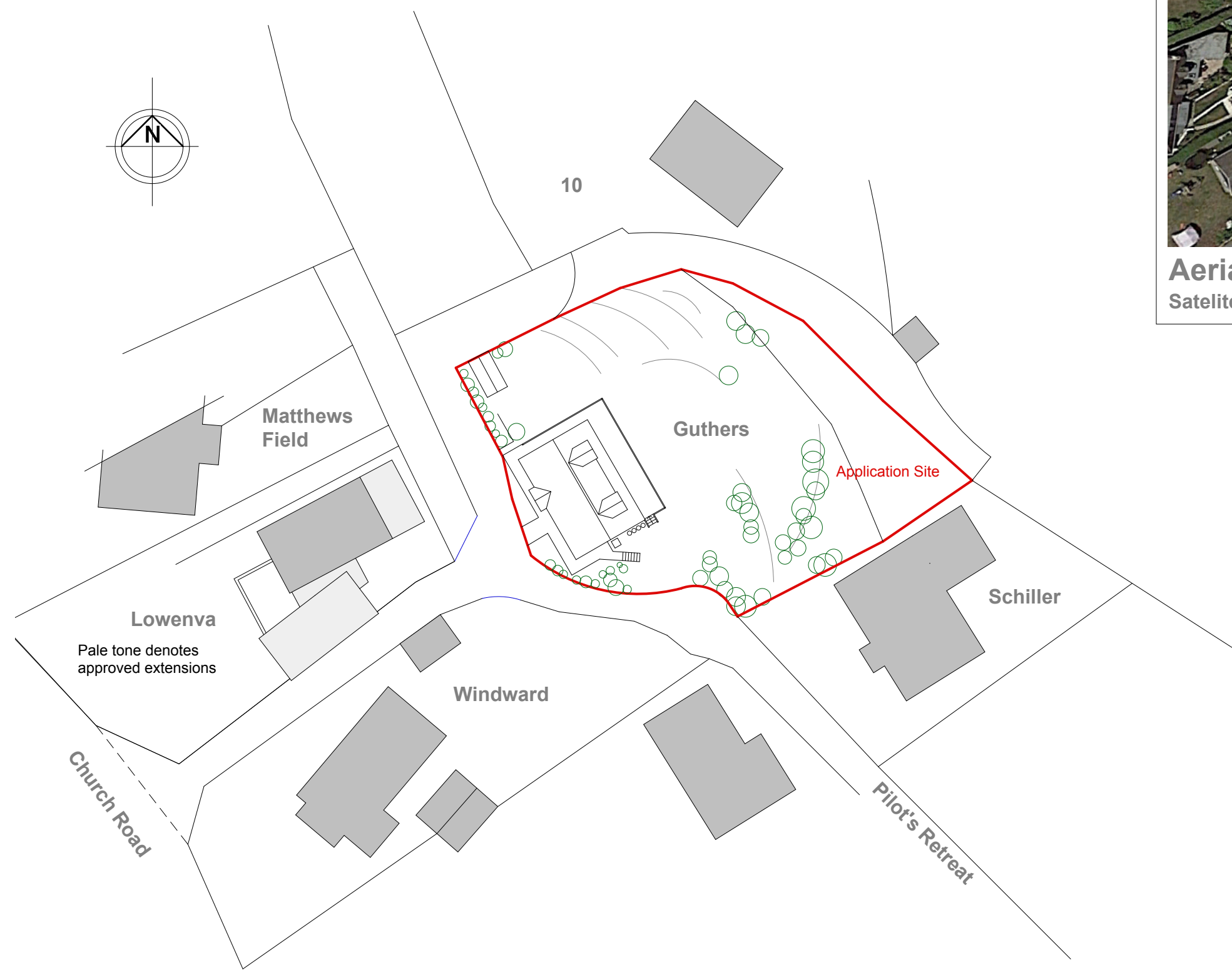
NOTES	
1 THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT LICENCE 2 ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR BEFORE COMMENCEMENT OF WORK AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT 3 NO RESPONSIBILITY CAN BE ACCEPTED FOR ERRORS ARISING ON SITE DUE TO UNAUTHORISED VARIATIONS FROM THE ARCHITECTS DRAWINGS.	
AMENDMENTS	
<p>PLANNING</p> <p>Porthmeor View Carthew Way St Ives TR26 1RJ 07968 824045</p> <p>MIKE BRADBURY DESIGN</p> <p>PZ</p>	
JOB Alterations to Guthers Church Road St.Mary's Isles of Scilly for Mike and Karrie Skaife	
TITLE Location Plan	
DRNG. NO. 2045-P01	REVISION
SCALE 1:1250 @ A3	DATE June 2024
OFFICE USE / PRE-ISSUE	



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AMENDMENTS



APPROVED
By Lisa Walton at 9:50 am, Oct 07, 2024

RECEIVED
By Liv Rickman at 12:15 pm, Aug 16, 2024

PLANNING

Porthmeor View
Carthew Way
St Ives
TR26 1RJ
07968 824045

**MIKE BRADBURY
DESIGN**

PZ

JOB

Alterations to Guthers
Church Road
St.Mary's
Isles of Scilly
for
Mike and Karrie Skaife

TITLE

Proposed Site Plan

DRNG. NO. 2045-P06 **REVISION**

SCALE 1:500 @ A3 **DATE** Aug 2024

OFFICE USE / PRE-ISSUE

RECEIVED

By Liv Rickman at 9:11 am, Sep 10, 2024

APPROVED

By Lisa Walton at 9:51 am, Oct 07, 2024

Construction Materials

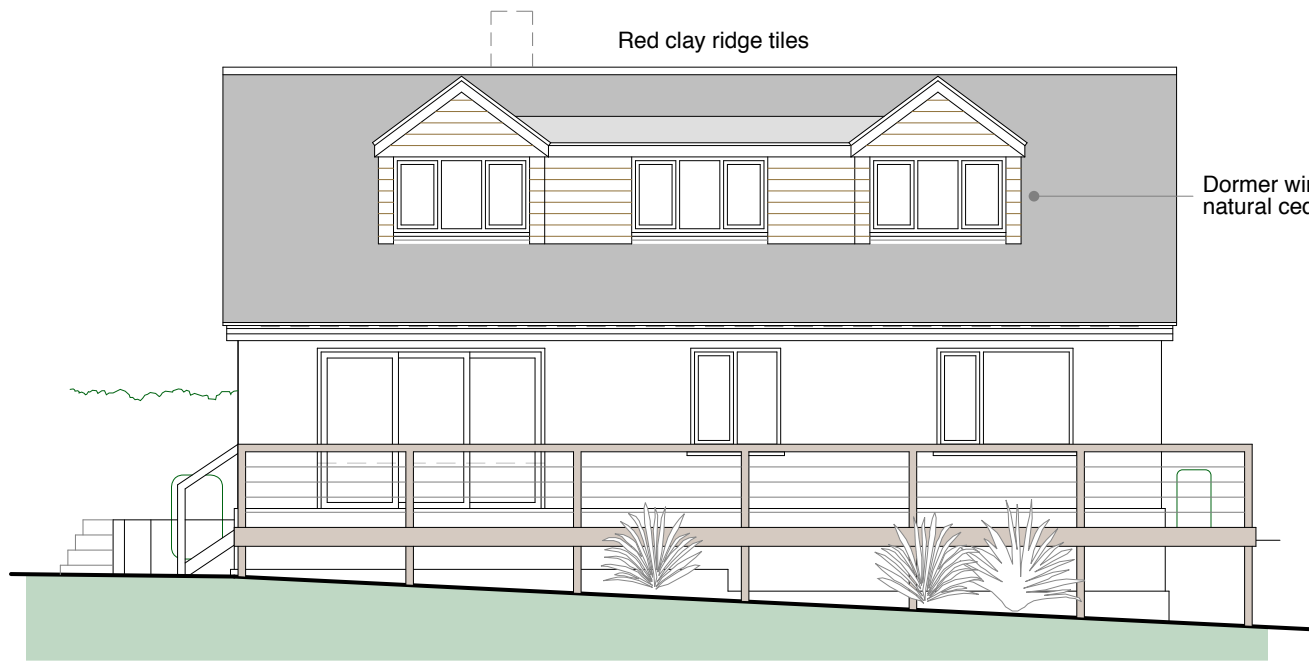
External walls: Painted render at ground floor. Natural unpainted horizontal cedar boarding at first floor level and around dormers
Roof: Dru laid natural slate with red clay ventilating angled ridge tiles
Fascia boards and soffits: Painted timber
Doors and windows: White aluminium or Upvc with slate sills
Rainwater goods: Black round section upvc

NOTES

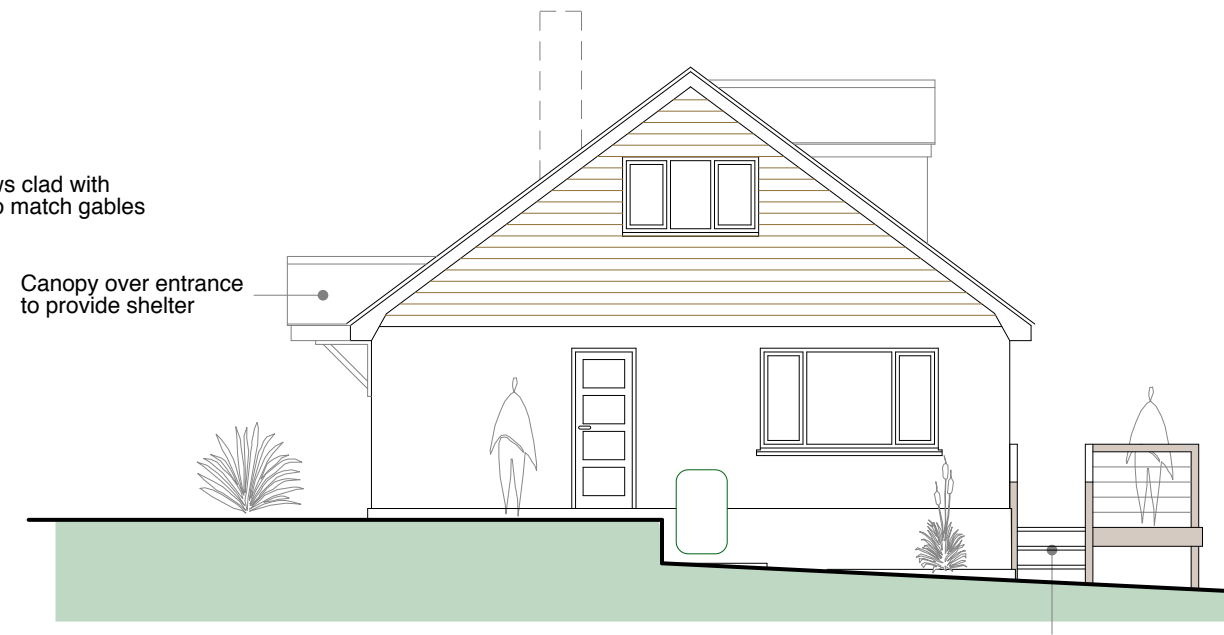
- 1 THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT LICENCE
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AMENDMENTS

- A Roof window added on SW Elevation
MRB 310824



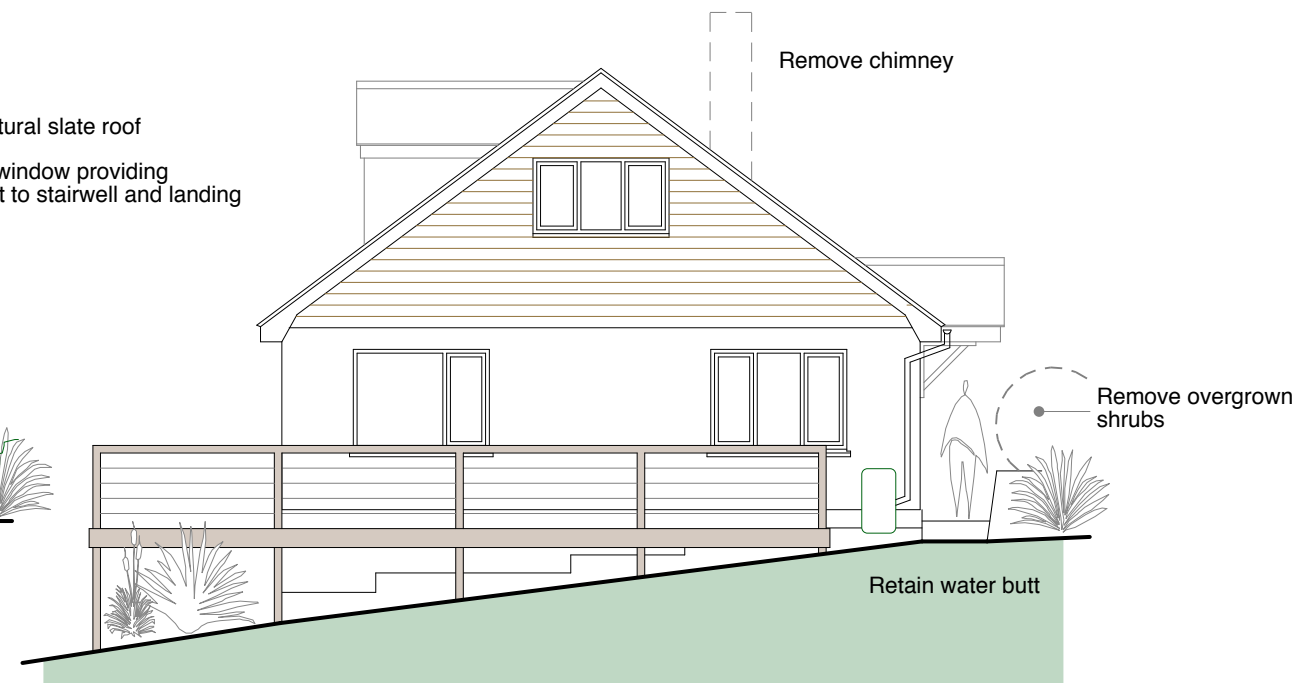
Rear (NE) Elevation



Side (SE) Elevation



Front (SW) Elevation



Side (NW) Elevation



PLANNING

Porthmeor View
Carthew Way
St Ives
TR26 1RJ
07968 824045



**MIKE BRADBURY
DESIGN**

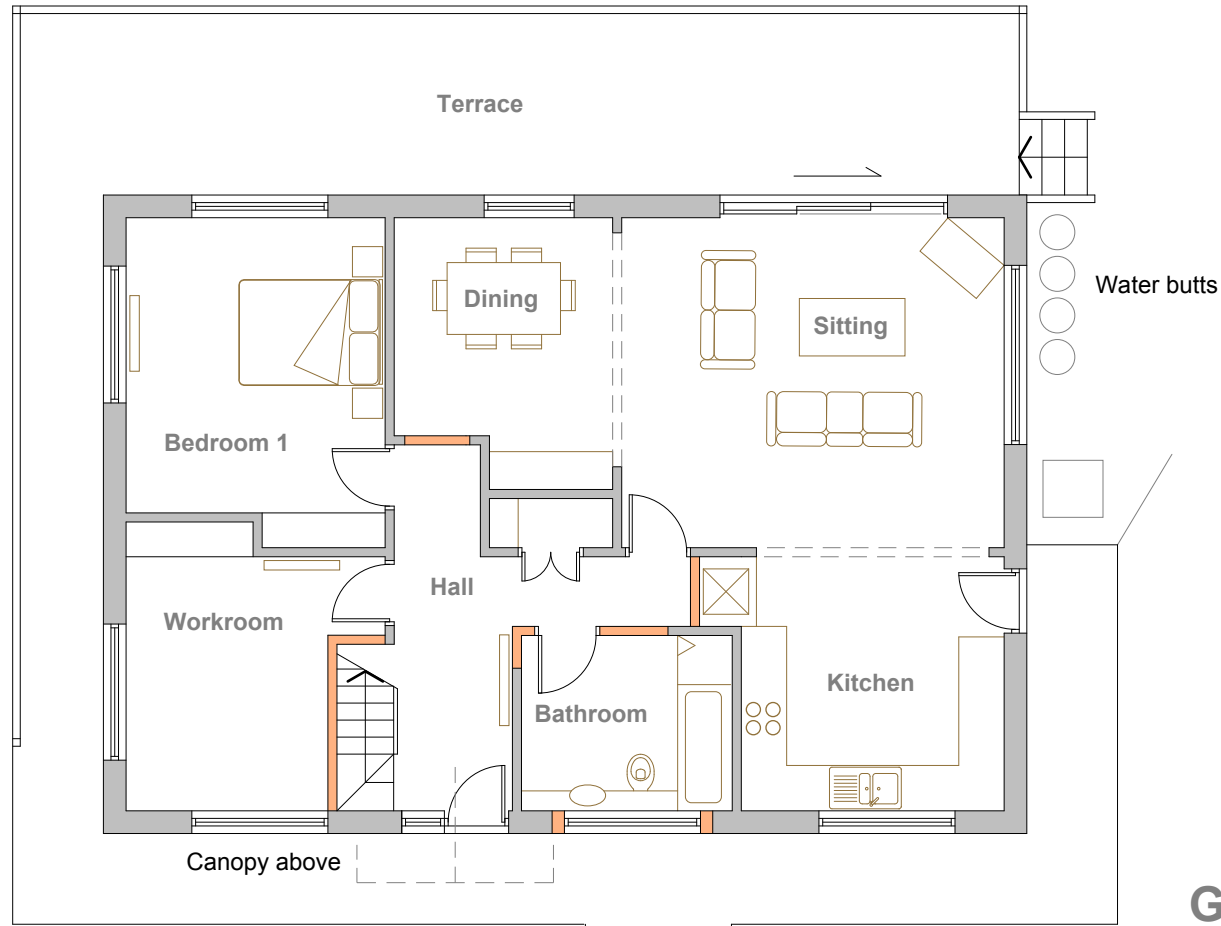
JOB
**Alterations to Guthers
Church Road
St.Mary's
Isles of Scilly
for
Mike and Karrie Skaife**

TITLE
Proposed Elevations

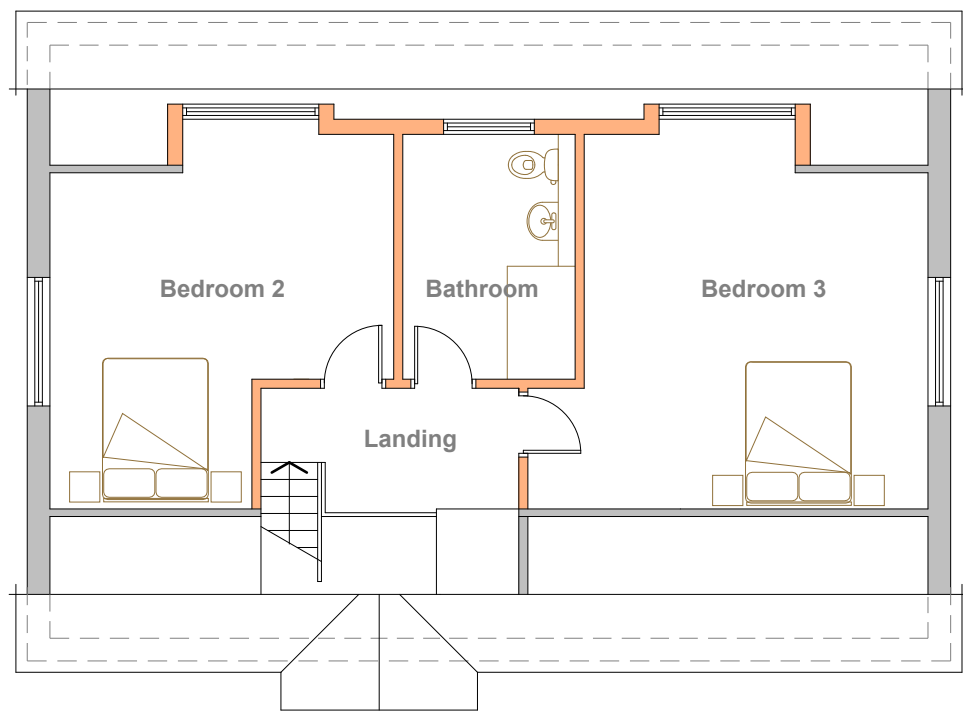
DRNG. NO. REVISION
2045-P05 A

SCALE DATE
**1:50 @ A1
1:100 @ A3 July 2024**

OFFICE USE / PRE-ISSUE



Ground Floor



First Floor

Key

Existing Construction

New Construction

NOTES

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AMENDMENTS

PLANNING

Porthmeor View
 Carthew Way
 St Ives
 TR26 1RJ
 07968 824045

**MIKE BRADBURY
 DESIGN**

JOB

Alterations to Guthers
 Church Road
 St. Mary's
 Isles of Scilly
 for
 Mike and Karrie Skaife

TITLE

Proposed Floor Plans

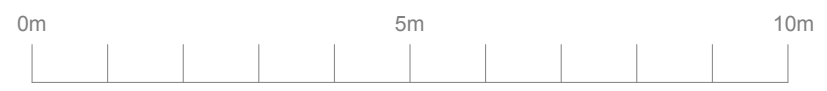
DRNG. NO. 2045-P04

REVISION

SCALE
 1:50 @ A1
 1:100 @ A3

DATE
 July 2024

OFFICE USE / PRE-ISSUE



RECEIVED

By Liv Rickman at 11:33 am, Aug 09, 2024

**Alterations to
Guthers, Church Road
Hugh Town, St.Mary's
Isles of Scilly, TR21 0NA
for
Mike and Karrie Skaife**

DESIGN AND ACCESS STATEMENT

August 2024

Background

Mike and Karrie Skaife have recently purchased Guthers, a dormer bungalow set back from Church Street in Hugh Town, St.Mary's. They have relocated from another property on St.Mary's, and Guthers will become their new permanent home. The previous owner was an elderly lady who enjoyed living in this impressive location with garden views overlooking Lower Moors, but she was unable to devote time and effort to ongoing maintenance. There is therefore a long list of improvements and alterations the new owners would like to undertake to tailor the house to suit their own needs. The Council have already been consulted on these planned changes and have provided useful feedback in the form of a pre-app report. This advice has helped to inform the current planning application proposals. This document explains to proposed regeneration of Guthers and should be read in conjunction with drawings 2045-P01 to P05 inclusive.



Above: View of Guthers from the private garden on the NE side of the property

Existing Property / Design Brief

Guthers is typical of many 50's buildings and now looks its age! External walls are finished in natural smooth sand:cement render and have a rather drab appearance. Fortunately, the building appears to be very built and there are no obvious signs of settlement or cracking. The gabled pitched roof is clad with timber shingles, matching adjacent properties. This type of roofing was popular at the time but is seldom used today due to fire risks and poor durability. There are currently leaks around the chimney stack that need attending to. Windows are either white plastic at the front or standard wooden casement windows at the sides and rear. All of them are in need of replacement. Internally, there is access to the first floor up a steep non-compliant timber ladder. The landing at the top is also unprotected.



Side view looking back towards Guthers

The bungalow sits at the front of a 0.12 hectare plot incorporating a large sloping garden at the rear. Pathways run around the property and there is a small terrace behind the boundary hedge close to the front door. Drains run down the approach drive to Church Road serving the kitchen and bathroom / WC on the SW side of the property.

Guthers is in a prominent location at the end of the access lane but is partly obscured by some established shrubs and a roughly constructed stone hedge (see photo above). It is one of a number of similar properties that appear to have been built around the same time. The most notable is Lowenva on the North side of the drive, more commonly known as Harold Wilson's bungalow. This property is also rather outdated and the owners intend to extend and alter it to meet current expectations and regulations (see planning approval P/23/031/HH). The immediate neighbourhood will therefore hopefully experience something of a regeneration in the near future.



Extract from the Sibleys website illustrating Guthers

Mike and Karrie Skaife would like to make a number of changes and improvements to their new home which can be summarised as follows:

- **Bedroom Accommodation:** The current layout provides up to six bedrooms – depending on the designation of rooms – sharing a rather compact bathroom. Mike and Karrie only require three bedrooms plus a workroom
- **Bathroom Accommodation:** The ground floor bathroom and adjacent toilet can be improved by combining both rooms and absorbing part of the hallway to provide a more spacious room. Upstairs a second shared bathroom will significantly improve the facilities in the house
- **Access:** The dangerous access ladder to the first floor must be replaced as soon as possible with a building regulations compliant staircase
- **Windows and Entrance Doors:** All are outdated and must be replaced
- **Open-Plan Living:** The sitting / dining / kitchen spaces will be dramatically improved if internal partitions are removed to open up the living space. The whole area will then benefit from extra daylight and the best views from the property towards Porthmellon and Tresco
- **Improved Entrance:** A new glazed door with side glazed screen will allow more daylight into the entrance hall. A projecting roof canopy will provide shelter from the elements when entering the house and will also clearly identify the front door
- **Roof:** The timber shingles are to be replaced with natural dry-laid slate
- **Chimney:** This has become redundant and is a source of leaks around the flashings so is to be removed
- **Dormer Window:** The off-set rather unsightly existing dormer is in a very prominent location looking back at Guthers from the garden or valley below. A centralised dormer with gables over the bedroom windows will significantly improve the garden elevation
- **Outdoor terrace:** A timber deck linked to the sitting room with a new sliding patio door will connect the inside of Guthers to the outside space. Steps down from the deck will improve access to the garden and encourage healthy outdoor living

Pre-App Enquiry (Ref PA-24-062)

A pre-app enquiry was submitted to the Isles of Scilly Council in June 2024 and was dealt with by Andrew King. The sketch elevations below are one of the drawings submitted. We spoke to Andrew King by phone and a formal response was issued by email on Friday 19 July. The feedback to the sketch designs can be summarised as follows:

- The proposals appear to be acceptable in principle and no major planning problems are envisaged
- New windows and the front door on the SW elevation require planning permission as they face the highway but new windows on the other elevations do not
- The dormer bungalow is not listed and there do not appear to be any restrictive conditions
- The policies in the Isles of Scilly Guide should be taken into account
- New windows should not create overlooking issues
- As there are proposed changes to the roof, a Preliminary Roost Assessment (PRA) is required to assess impact on protected species
- External works require planning permission
- As this will be classed as a 'householder application' it is exempt from Biodiversity Net Gain requirements



Proposed Designs

The planning proposals can be considered under the following planning categories:

A. Use

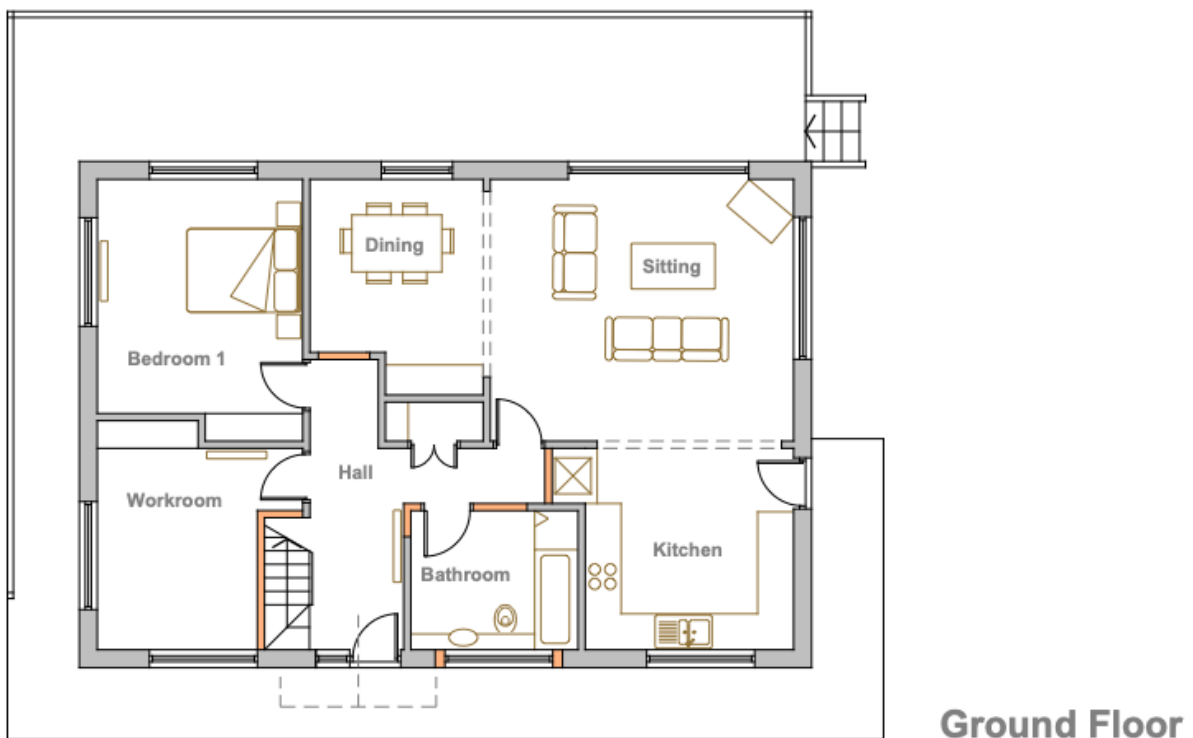
The dormer bungalow currently has an unrestricted residential use and the applicants do not want to change this. This will be Mike and Karrie's permanent home.

B. Amount

Guthers currently provides 91.12m² of accommodation at ground floor and 52.96m² as room-in-the-roof space at first floor. This represents a total internal floor area of just over 144m². As there are no changes to the footprint there is no significant increase in the size of the property. The re-modelled dormer window will add a small amount of space to the first floor but the change will be minimal. The pre-app report confirms that the policy limiting extensions to the minimum space standards does not apply to this householder application.

C. Layout

A number of changes and improvements are proposed to the interior of the property. Although these do not necessarily require planning approval, they are shown on the planning drawings. New structure has been coloured orange so changes can be seen at a glance (see plan below). At ground floor level, the removal of two internal partitions will create a much more practical and attractive living space. The toilet and bathroom have been combined into one larger room with enough space for a bath and shower. Another major improvement will be the introduction of a new staircase serving the first floor. This encroaches on the existing front bedroom which will become a workroom for Karrie. Upstairs, the attic rooms will be changed from three potential bedrooms into two bedrooms plus a shared bathroom.



D. Scale

As the footprint is not being increased and the height of the roof is not being raised, there is no change to the scale of the building. In fact, the cladding of the two gables and decoration of the external walls will reduce the apparent bulk of the two end elevations and expanse of unpainted render.

E. Landscaping

Mike and Karrie are looking forward to tackling the garden and either pruning or removing some of the overgrown shrubs. The main proposed change, however, will be the construction of a

timber deck at the back of the house extending 2.5m into the garden. This will be one step down from the internal finished floor level and three steps above the garden at the South East end of the terrace. The decking will be constructed in treated non-slip timber to match the timber balustrading. Stainless steel tension cables will be a neat and effective way of making the handrails safe and secure and will preserve the view from the living rooms and terrace.



Proposed style of timber balustrading

F. Appearance

A key design brief target is to improve the overall appearance of Guthers. The property is prominent from Porthmellon and the improvements to the roof will be visible from this direction. The change in cladding from timber shingles to natural slate will give the property a more robust, traditional feel. The twin roof dormers to the first-floor bedrooms (see below) are to be symmetrically arranged around the central axis of the property to create a more balanced appearance. The pitched dormers will be infilled with a flat roofed section with a centrally positioned obscure glazed bathroom window set very slightly back from the main dormers. On the roadside elevation, the gabled roof canopy will provide shelter and a focal point clearly identifying the front door. Roof-windows above the porch align with the ridge and will provide welcome natural light on the landing. All of the windows and external doors will be replaced with white double glazed Upvc units. The gable cladding will be a softer treatment than the oppressive expanse of render, punctuated with new gable windows on either end. The remainder of the external walls will be painted with white masonry paint to complete the facelift.



Impact on Neighbours / Consultation

Before the application is submitted, Mike and Karrie will approach their immediate neighbours. However, the external changes are of a minor nature so there should be no detrimental impact. Hopefully the re-roofing will be considered an improvement and the general refurbishment will be welcomed. As mentioned above, the planning department have already been consulted and

their views have been taken into account. For example, a Preliminary Roost Assessment has already been carried out by James Faulconbridge and no bats, nesting birds or protected wildlife have been found.

Access

Karrie Skaife has had four hip replacements and suffers from osteo-arthritis so creating a home that addresses future health and mobility issues is a high priority. Accessibility is being improved in a variety of ways. Externally, the entrance to Guthers from the approach lane will become more legible with a clearly visible front door and wider pathways. The garden is also becoming more accessible from the living space via generous patio doors onto the outdoor terrace.

Internally the opening up of the living area will make circulation easier and wheelchair friendly. A safe staircase leading to the first floor will be a significant improvement. Improvements to glazing will increase internal daylight levels benefiting any occupant who is visually impaired. Small restricted spaces, such as the current downstairs toilet and first floor small bedroom, are being 'designed out' thereby improving living conditions.

Sustainability

There is an opportunity to improve the thermal performance of Guthers here by utilising green technologies, selecting the right building materials and building in a sensitive manner. The following sustainable 'gains' have been adopted in the design project:

- **High Levels of Insulation:** Where elements of the building are being upgraded, construction will conform with the new 2022 Building Regulations. These require much higher insulation standards. For example, when the roof is re-clad, new insulation will be inserted into the roof construction between and below the rafters
- **Cedar Cladding:** The gable walls and dormers will be clad with sustainably sourced cedar cladding. This pays homage to the original timber roof shingles on Guthers and surrounding properties. It is a natural building material that does not require treatment. If carefully detailed it will weather well and will mellow into a silver / grey shade in time
- **Water harvesting:** Roof water will be harvested in a number of water butts and used for watering the garden, cleaning, etc
- **Windows:** New windows will be white Upvc double glazed units, suitable for a marine environment
- **Considerate Construction:** Mike and Karrie are very keen to ensure that the construction process minimises any disruption for neighbours or the local community. There is space on site for storage of materials so these will not be left on a public highway. A Construction Management Plan will be prepared to control working hours, noise levels, waste control, etc. A Planning Condition to agree a mutually acceptable plan is welcomed

The proposed designs will conform with the latest version of the building regulations that place a high priority on energy conservation, accessibility and high standards of construction.

Summary

Guthers is clearly a property with great potential for improvement. The applicants want to embrace this challenge and carry out as many of the improvements as possible within the constraints of their allocated budget. They have already commissioned an architect and structural engineer to help to steer them through the project and are in discussion with a local building contractor.

They are encouraged by the results of the pre-app planning enquiry that indicate that this should be a non-contentious householder planning application. The bat survey (PRA) has already been carried out and two further bat emergence surveys are underway. These will be completed during the planning application process. Other planning requirements, such as a Waste Management Plan, can hopefully be dealt with by planning condition. If any other queries arise during the application period, the applicants or their agent will do their best to deal with them.



Above: View from Guthers towards Porthmellon and Tresco in the distance

Michael R Bradbury RIBA
Mike Bradbury Design
Porthmeor View
Carthew Way
St.Ives
TR26 1RJ

August 2024

PRELIMINARY ROOST ASSESSMENT (PRA)

GUTHERS,
ST MARY'S, ISLES OF SCILLY



Client: Mike & Karrie Skaiife

Our reference: 24-7-4

Planning reference: Report produced in advance of submission

Report date: 20th July 2024

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Bats - Results and Findings

The preliminary roost assessment (PRA) survey of the property concluded that there is **Moderate Potential** for use by roosting bats.

Bats - Further Survey Requirements

The following recommendation is provided in order to ensure a suitable baseline to inform a Planning Application, ensure legislative compliance and to avoid negative impacts to Protected Species:

- **Two further Presence/Absence Surveys (PAS)** should be undertaken to characterise and assess the potential use of the property by bats in order to meet the standard of survey required by Best Practice Guidance to support a Planning Application.

Nesting Birds - Results and Findings

The property itself may provide suitable nesting habitat for species such as house sparrow which will commonly utilise nesting opportunities within damaged soffits and similar structural features within Hugh Town. Further potential nesting habitat is associated with the garden areas surrounding the property.

Nesting Birds - Recommendations

Timing of works to avoid the breeding season is recommended as the optimal way to avoid impacts to nesting birds; alternatively pre-commencement inspections are recommended to ensure that nesting birds are not impacted by the proposed works.

Other Ecological Receptors

No further ecological impacts relevant to planning are identified.

Report Status

As the requirement for two further PAS surveys is identified in accordance with the Best Practice Guidance, this report **does not provide a comprehensive baseline to inform Planning** until these surveys have been completed and their results used to inform appropriate mitigation measures.

PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Isles of Scilly	Location: SV 90835 10463	Planning Application ref: Report produced in advance of application
Planning application address: Guther's, Church Road, Hugh Town, St Marys		
Proposed development: The proposed works were identified by the client when instructing the PRA inspection and should accord with the proposals submitted for Planning including: <ol style="list-style-type: none">1) Replacement of the existing cedar shingle roof covering;2) Structural works to replace the existing dormer and add new dormers to the roof pitch;3) Installation of additional windows in the gables of the property;4) Further external and internal renovation works.		
Building references: The building comprises a single residential dwelling which is identified in the plans provided in Appendix 1.		
Name and licence number of bat-workers carrying out survey: James Faulconbridge (2015-12724-CLS-CLS)		
Preliminary Roost Assessment date: The external visual inspection was undertaken on 16 th July 2024 in accordance with relevant Best Practice methodology ¹ .		
Local and Landscape Setting: The building is located to the south-eastern end of Hugh Town, where the land rises and the character of the housing becomes more widely spaced with larger gardens in contrast to the more tightly spaced buildings which characterise the main town. The land use immediately surrounding the building is residential development to the north, south and west with associated gardens, roads, hardstanding and access features. To the east of the property is a large garden which extends down the slope towards a wooded treeline and further open habitat. Beyond the residential edge of the town to the east, there is abundant suitable habitat. Approximately 160m to the east is Lower Moors SSSI – a topogenous mire with areas of elm woodland and scrub as well as a series of pools and marshy grassland. Records from the Local Bat Group indicate that this is an important foraging resource for bats on the island. Small-scale agricultural fields and associated trees and hedge lines occur to the east. The desk study did not reveal any records of bats recorded roosting within the building		

¹ Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition).
The Bat Conservation Trust, London

historically; however a common pipistrelle roost is recorded in an adjacent building.

Five species of bat have been recorded on St Mary's. The species conclusively identified were common pipistrelle (*Pipistrellus pipistrellus*), soprano pipistrelle (*Pipistrellus pygmaeus*) and brown long-eared bat (*Plecotus auritus*). Leisler's bat (*Nyctalus leisleri*) and Nathusius pipistrelle (*Pipistrellus nathusii*) records were also returned though these species are not known to be resident on the island and are likely associated with vagrant or migratory individuals. Five records of common pipistrelle roosts are identified in relatively close proximity to the property – these relate to individual bats utilising features such as hanging slates around dormer windows or gaps behind fascias within Hugh Town to the west.

Building Description

The property is a single-storey dormer bungalow with the first floor accommodation built into the roof space of the property.

The walls are rendered externally – the covering appears to be in generally good condition except in discreet locations associated with the windows, as detailed below.

The windows and doors of the property are a combination of timber-frame single-glazed units and uPVC double-glazed units. The more modern windows are well-fitted, but there are frequently small gaps around the frame or sill of the older timber windows which could potentially offer minor roosting opportunities for individual bats. The more easterly window on the southern gable has significant damage in the lower corner which provides access to the cavity wall and would represent a potential opportunity for bats, including larger colonies, to access roosting features associated with this void.

There are soffits running along the eaves and a fascia board on the gable at the roof verge. The soffits are generally well-fitted with the exception of the south-eastern corner where a gap is present allowing potential access for bats or nesting birds to utilise roosting opportunities associated with the void. There is a gap behind the fascia on the gable on this same corner which would similarly provide access to roosting opportunities.

There are cedar shingles on the underside of the gable overhang on both aspects and occasional gaps occur between the shingle and the gable wall which may provide access to roosting opportunities.

The roof covering itself comprises multiple layers of overlapping cedar shingles. There are minor lifted elements throughout the roof, and at the gable verge, though the nature of the construction means these are relatively superficial and are unlikely to be used on a routine basis by roosting bats – occasional use on a transient or exploratory basis is possible. The cedar ridge appears well-sealed.

There is a rendered chimney set within the western pitch of the roof – the junction with the cedar shingle roof is sealed with flashing which appears to be in good condition.

The soffit on the existing dormer on the eastern aspect of the property is well-sealed and the shingle tiling both on the roof and on the sides of the dormer appear to be in a similar condition to the remainder of the roof, offering only minor, superficial gaps. There is flashing at the apex of the valley junction between the dormer and roof which appears to be well-fitted.

Internally, the upper floor accommodation is built into the roof space with boxed voids at the eaves and at the apex above the tie-beam of the A-frame trusses.

There is no underfelting in the property with tiles attached directly to battens and visible from the internal inspection. There is insulation between the joists in places, and the breeze block gable walls are visible – these appear well-pointed internally. The eaves voids were fully accessed and inspected for evidence of roosting bats – no droppings or other evidence was identified although rodent and bird droppings were identified confirming the scope for access

to the voids. Daylight visible between gaps in places further supports this. The apex void was viewed from a hatch but could not be fully accessed for inspection due to constraints on the size of the void – this appears to represent an equivalent roof structure and condition to the eaves voids.

In summary, the following potential roosting opportunities were identified associated with the property:

- Access to the cavity wall in the south-eastern corner of the property below a window-frame;
- Access to roosting opportunities within, or accessible via, the eastern soffit;
- Access to roosting opportunities within, or accessible via, the southern fascia;
- Roosting opportunities within the eaves and apex voids;
- Roosting opportunities above the gable wall plate, accessible by gaps between cedar shingles on the gable overhang and the gable wall;
- Superficial transient/occasional roosting opportunities associated with gaps between cedar shingles;
- Superficial transient/occasional roosting opportunities associated with minor gaps around deteriorating timber window frames.

Survey Limitations

The following limitations on survey were noted:

- The internal voids at the apex of the roof could not be fully inspected, though it was accessed and visually assessed with regards to structure and condition;
- It was not possible to inspect at height features such as gaps in the verge or gable fascia;
- There are locations within the building where evidence of bats, if present, would not have been apparent from a PRA survey, such as roosts which might be present above the wall plate or within the cavity wall.

These are taken into account when concluding the assessments of building potential and are addressed by the recommendations for further surveys.

Assessment of Potential for use by Roosting Bats

The property is identified as providing **Moderate Potential** for use by roosting bats. This assessment also acknowledges the position of the property on the periphery of Hugh Town backing directly onto suitable foraging habitat to the east.

Recommendations and Justification (Bats):

In accordance with the criteria outlined in the Best Practice Guidance², the following surveys would be required to provide an appropriate evidence-base upon which to support a planning application:

- 2x Presence/Absence Surveys (PAS) with 2x surveyors.

The purpose of the PAS technique is to allow the building to be watched at dusk to observe bats emerging from concealed roosting locations. This uses the predictable emergence behaviour of bats to allow the detection of roosting locations which cannot be directly visually inspected.

² Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

The PAS surveys should be led by Licenced Bat Worker(s) between mid-May and mid-September. The survey would require two surveyors in order to achieve a comprehensive view of the relevant features. A minimum of two Night Vision Assistance (NVA) cameras would be required to cover the relevant features and allow the results of the surveys to be reviewed and confirmed in accordance with the Best Practice Guidance.

These surveys should be completed and submitted in support of a Planning Application in accordance with the guidance provided by Circular 06/05 (ODPM, 2005) which states that “*it is essential that the presence or otherwise of protected species, and the extent that they may be affected by the proposed development, is established before the planning permission is granted, otherwise all relevant material considerations may not have been addressed in making the decision*”.

For the avoidance of doubt, the current survey baseline is not sufficient to support a Planning Application with reference to the Circular 06/05.

The results of the survey would be used to inform the development of mitigation or Reasonable Avoidance Measures (RAMS) which would be submitted in support of the Planning Application.

Assessment of Potential for use by Nesting Birds

The property itself may provide suitable nesting habitat for species such as house sparrow which will commonly utilise nesting opportunities within damaged soffits and similar structural features within Hugh Town.

No evidence of nesting birds utilising features associated with the building structure was however recorded at the time of survey.

Further potential nesting opportunities are associated with the garden and surrounding vegetation which may be directly or indirectly impacted by the proposed work including during erection of scaffolding and contractor presence.

Recommendations and Justification (Birds):

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981).

Timing of Works

The proposed works could be undertaken outside of the breeding season which runs from March – September inclusive, where practicable. This would provide the most robust means of avoiding risk of impact to nesting birds.

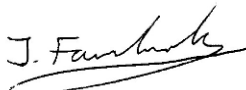
Pre-commencement Inspection

If the recommended timing of works is not possible, then contractors should visually inspect the work area internally and externally before they are affected by the works, in order to confirm that no nests are present. In the event that a bird nest is present, it must be left undisturbed until chicks have fledged the nest, at which point works can proceed.

Care must also be taken to ensure that the works do not cause disturbance or damage to proximate nesting areas through indirect impacts including vibration, noise or contractor presence. This includes the shrubs and other vegetation associated with the garden areas.

Signed by bat worker(s):

Date: 21st July 2024



APPENDIX 1

-

LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating the location of the property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



Map 02 – Showing the property within the local environs – the open access to green space and the wider countryside beyond can be seen to the east of the site.



Photograph 1: Showing the southern gable of the property



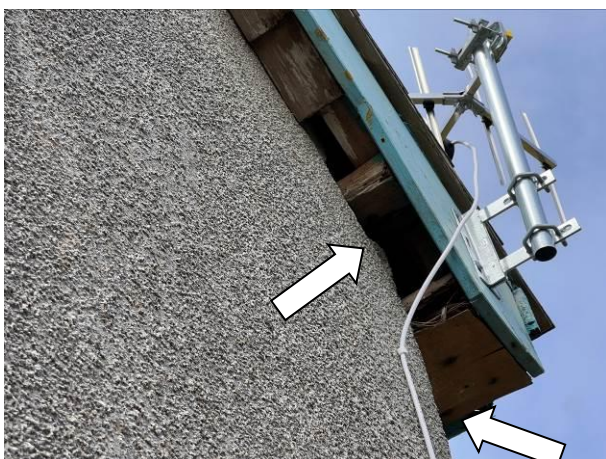
Photograph 2: Showing the cedar shingles lining the overhang on the gables – an example of the potential access points between the wall and the shingle is indicated.



Photograph 3: Showing the chimney set within the shingle roof



Photograph 4: Showing the potential access to the cavity wall below the window frame on the south-eastern corner of the property



Photograph 5: Showing the damage to the gable fascia and eaves soffit on the south-eastern corner of the property



Photograph 6: Showing the dormer window set within the eastern roof pitch of the property



Photograph 7: Showing an example of the soffit voids within the property – the cedar shingles directly attached to the roof battens are visible



Photograph 8: Showing the apex void as viewed from the access hatch. The structural framework of the contiguous dormer void can be seen on the RHS of the image.

APPROVED
By Lisa Walton at 10:12 am, Oct 07, 2024

BAT PRESENCE/ABSENCE SURVEYS (PAS)

GUTHERS,
ST MARY'S, ISLES OF SCILLY



Client: Mike & Karrie Skaiife

Our reference: 24-7-10

Planning reference: P/24/062/HH

Report date: 3rd September 2024

Revision: -

Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Contact: ios.ecology@gmail.com

Executive Summary

Overview

Two Presence/Absence Surveys (PAS) were undertaken on the residential property known as Guthers to assess the use of the structure by roosting bats in advance of proposed works.

This was to provide an evidence base which meets Best Practice Guidance following the initial findings of the Preliminary Roost Assessment (PRA) report.

Results

A maximum of two common pipistrelle bats were recorded emerging from a roosting location on the south-eastern gable of the building on one of the two PAS surveys. These results are considered to be consistent with a non-breeding summer roost of individual common pipistrelle bats.

No other emergence activity was recorded from elsewhere within the structure.

The surveys generally recorded relatively low activity levels of common pipistrelle bats foraging or commuting around the building.

Mitigation Strategy

A European Protected Species Mitigation Licence (EPSML) must be obtained before works affecting the roof of the property are undertaken. The works must then comply with the mitigation strategy outlined in the EPSML. This would include ecological oversight of relevant aspects of the roof removal; and the restoration of a roosting feature at the completion of works

It is recommended that the EPSML progresses via Site Registration under the Earned Recognition (ER) scheme as this pathway offers the benefits both of reduced cost from Natural England and a streamlined timeframe for approval. The standard EPSML application pathway would also be appropriate.

The evidence baseline presented in this report is considered appropriate to support both the current Planning Application and the proposed EPSML application in line with Best Practice Guidance. The number of surveys required to characterise a roost are based on the expert judgement of the Licenced Bat Worker and the baseline gathered to date is considered to be appropriate and proportionate to identify impacts; outline mitigation proposals; build in additional precautionary safeguards to control residual risk; and provide a long-term compensation roost with reference to Licencing Policy 4.

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1. Introduction

1.1. Background to Survey

The property is the residential property known as Guthers which is located to the south-eastern end of Hugh Town.

The proposed schedule of works involves the replacement of the existing cedar shingle roof covering; structural works to replace the existing dormer and add new dormers to the roof pitch; installation of additional windows in the gables of the property; and further external and internal renovation works.

A Preliminary Roosting Assessment (PRA) was carried out in July 2024 - this assessment identified Moderate Potential for use by roosting bats.

The PRA report stated that further PAS surveys would be required to provide an evidence base sufficient to identify the status of the building with regards to bats, and inform any mitigation measures required to ensure legislative compliance. This PAS report provides the results of the recommended surveys. It should be read alongside the PRA report to provide a comprehensive assessment of the buildings with regards to roosting bats.

1.2. Survey Objectives

In accordance with the Best Practice Guidance¹ for a Moderate Potential building, the structure was subject to two PAS surveys with two surveyors positioned to observe those locations where potential access or roosting features were identified.

The overall objective is to provide a comprehensive ecological baseline upon which to assess the potential impact of the proposed works to roosting bats.

¹ Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition).
The Bat Conservation Trust, London

2. Survey Methodology

2.1. Surveyor Details

The survey design, NVA review, assessment and reporting were completed by James Faulconbridge, trading as IOS Ecology. James is a Level 2 Licenced Bat Worker with over 15 years' experience in undertaking ecological assessments to support Planning and Development.

The PAS surveys were led by Rob Carrier. Rob has over three years' experience undertaking emergence, re-entry and activity surveys on the Isles of Scilly working alongside licenced bat workers. Additional surveyors are experienced in undertaking emergence and re-entry surveys.

2.2. Survey Methodology

The dusk emergence surveys were conducted following Best Practice methodology for bat surveys².

The two PAS surveys were carried out on the evenings of 7th August 2024 and 28th August 2024 – scheduled three weeks apart in accordance with Best Practice guidance.

The dusk emergence surveys commenced from approximately 15 minutes before sunset and continued until 90 minutes after sunset. The surveys were undertaken with regard for the appropriate weather conditions ($\geq 10^{\circ}\text{C}$ at sunset, no/light rain or wind).

Frequency division bat detectors were used to detect and record all bat passes. The surveyors recorded metadata including the time the pass occurred, the behaviour observed (foraging/commuting) and where possible, the species of bat observed. Results from the bat detector recordings were analysed using BatSound/Analook sonogram analysis computer software.

Night Vision Aids (NVAs) were used on both survey positions – these were two Nightfox Whisker infra-red cameras with additional infra-red torches. The footage from these NVAs was watched back to verify or update the survey results confirmed in the field.

2.3. Survey Validity and Update

Bats are transient in their use of habitats such as these, and apparently minor changes in condition or use of the building can affect suitability. However in the absence of significant changes in condition or building use, the nature and character of the site suggest that the results of the PAS surveys can be

² Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

considered proportionately valid to inform a Planning Application until the next active season in May 2025.

3. Results

3.1. Surveyor Positions

In order to ensure that the different elements of the building received a survey effort appropriate to a Moderate Potential building (in line with the Best Practice Guidance), two surveyor positions with associated NVAs were deployed. These are identified in Map 01 below.



Map 01 – showing surveyor positions (S1-S2).

3.2. PAS Survey 1

3.2.1. Survey Conditions

The first dusk survey was undertaken on 7th August 2024. The survey commenced at 8:41pm, approximately 15 minutes before sunset at 8:56pm. It was completed at 10:26pm.

The temperature throughout the survey was 17°C - the evening was dry with a south-westerly breeze but conditions were relatively still on site. The sky was overcast at the beginning of the survey, clearing slightly towards the end.

3.2.2. Survey Results - Emergence

The emergence survey did not identify any emergence of bats from roost sites on the property.

3.2.3. Survey Results - Activity

No species other than common pipistrelle bats were identified during the survey.

The surveyor on in position S2 on the western side of the property recorded occasional passes throughout the survey, believed to be associated with foraging on adjacent land to the west. The first bat was recorded at 9:28pm with the last recording at 10:12pm. Activity levels for S1 on the eastern side of the property were considerably lower with two brief passes recorded at 9:47pm and 9:56pm.

3.3. PAS Survey 2

3.3.1. Survey Conditions

The second dusk survey was undertaken on 28th August 2024. The survey commenced at 8:01pm, approximately 15 minutes before sunset at 8:16pm. It was completed at 9:46pm.

The temperature at the beginning of the survey was 16°C dropping to 15°C by the end. The evening was dry with a light south-westerly breeze and 30% scattered cloud cover.

3.3.2. Survey Results - Emergence

Two common pipistrelle bats were recorded emerging from a roost access feature on the overhang of the south-eastern gable of the property in the location indicated in Photos 01 and 02. The emergence was at 8:37pm and 8:38pm, 21 and 22 minutes after sunset respectively.

No other emergence behaviour was recorded throughout the rest of the building.



Photos 01 - 02 – showing the confirmed emergence location (indicated with the arrow) – the emerging bats can be seen just below the emergence point.

3.3.3. Survey Results - Activity

No species other than common pipistrelle bats were recorded during the survey.

Activity levels after the confirmed emergence were low - both surveyors recorded infrequent foraging between 9:05pm and 9:44pm but these were brief,

quiet recordings and the bats were not seen – it is likely that these records are associated with foraging offsite

3.4. Survey Conclusion

The surveys undertaken in early-August 2024 during the peak maternity season did not identify any emergence behaviour and very low levels of activity.

The presence of 2x bats in late August would be characteristic of a non-breeding summer roost used by individual bats.

The results would not indicate that the building is used as a maternity roost.

As individual bats were confirmed roosting in the feature in late-August, it would be an appropriate assumption that use as a transitional roost is also possible. The nature of roosts in the transitional period would make it highly unlikely that significantly higher numbers of bats would be recorded compared with the two individuals confirmed in the late-August survey. As a precautionary measure, transitional use by individual bats is therefore assumed.

3.5. Limitations and Constraints

3.5.1. Seasonal Timing

The surveys were undertaken within the main active season in 2024 and spaced more than three weeks apart – this conforms with the recommended survey timings within the Good Practice Guidelines.

The first survey is within the peak maternity season for bats; the second is later within the maternity season window, approaching the transitional roosting period.

3.5.2. Survey Effort

The surveys undertaken conform with the recommended survey effort with regards to a Moderate Potential building. However once a roost is confirmed, the survey effort required is that which is necessary to characterise the roost appropriately and this relies on expert judgement.

In this instance, the second of the two PAS was undertaken at the end of August 2024. It is not considered that further surveys undertaken in September 2024 are likely to yield additional information which would affect the characterisation of the roost and the outline of the mitigation measures – transitional roost is assumed as a precaution (see 3.4).

The baseline data gathered to date is considered to be appropriate and proportionate to:

- Characterise the use of the building by roosting bats;
- Identify the impacts arising from the proposed works;
- Outline mitigation proposals necessary to avoid negative impacts to roosting bats; ensure continued provision of the roost in the long term; and secure the Favourable Conservation Status (FCS) of the population;
- Build in additional precautionary safeguards to control residual risk including timing of works outside of the maternity season and an extended scope of ecological oversight on other suitable features during roof removal;
- Provide an appropriate compensation roost and enhancement roosting features within the property and grounds.

The information gathered to date is considered sufficient to support an EPSML with reference to Licencing Policy 4³, taking into account the proportionality of delaying the project for 10 months until additional surveys could be completed in summer 2025.

3.5.3. Survey Conditions

The weather conditions were optimal with no precipitation or other adverse conditions which might be expected to affect bat behaviour.

3.5.4. Visibility and Coverage

The surveys were comprehensive with regards to surveyor visibility.

3.5.5. NVA Footage

The NVA footage comprehensively covered the aspects of the building where potential roosting or access features were identified, almost exclusively associated with the gable ends.

The surveyors observed the eaves and roof pitch as a precaution, but the limited FOV of the NVAs was focussed upon those locations where suitable access features were identified.

³ <https://www.gov.uk/guidance/european-protected-species-policies-for-mitigation-licences>

4. Mitigation Strategy

4.1. Impact Assessment

The PAS surveys confirmed behaviour indicative of the following roosts:

- A non-breeding summer roost used by individual common pipistrelle bats.

As a precaution, the following additional roost use is also assumed:

- A transitional period roost used by individual common pipistrelle bats.

The re-roofing proposals, in the absence of mitigation, would result in the modification/destruction of the roost and the potential to disturb, kill or injure the roosting bats. This can be controlled through appropriate method of working which would be secured by an European Protected Species Mitigation Licence (EPSML).

4.2. Additional Survey Requirements

It is not considered that further surveys are required to characterise the roost – see Section 3.5.2 for full discussion of this point.

4.3. European Protected Species Mitigation Licence (EPSML)

4.3.1. Overview

The works affecting the roof of the property must be completed under an EPSML which would need to be in place prior to works commencing. The works must then proceed in accordance with the requirements of the EPSML.

An EPSML is a derogation licence which allows an otherwise-unlawful act to be undertaken – in this case the destruction of a bat roost and the disturbance of roosting bats. The method of working would ensure avoidance of impacts such as killing/injuring of bats. The EPSML would include mitigation measures and other commitments which must be met in order for the licence to be valid.

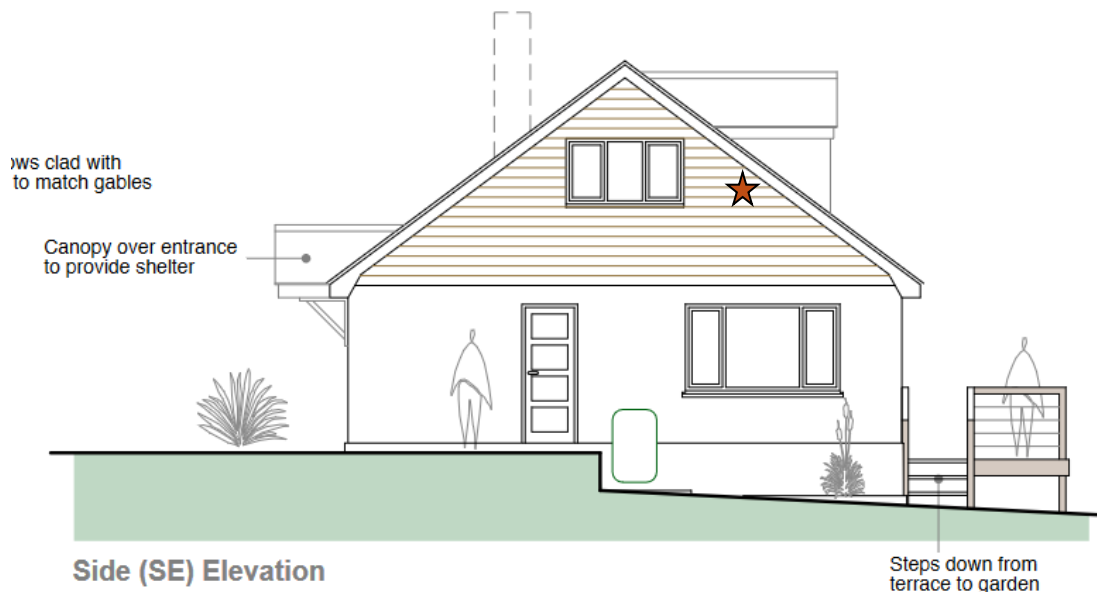
Planning Permission must be secured prior to application for Natural England for the EPSML derogation.

Works must adhere to the methodology and measures outlined in the EPSML.

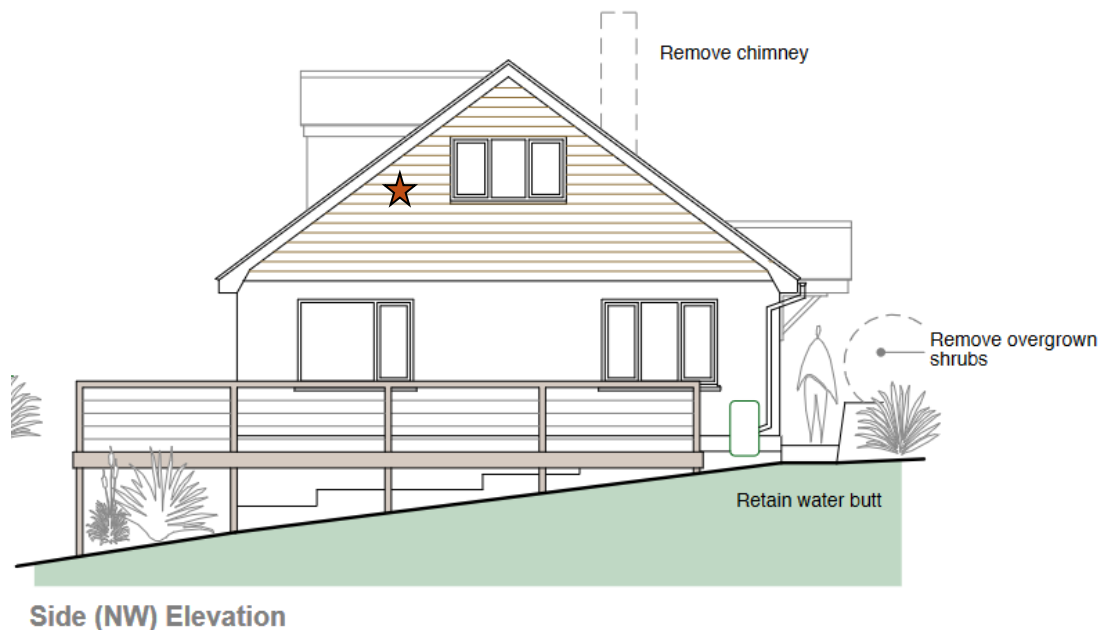
4.3.2. Mitigation Measures

The following conditions and caveats would be included within the EPSML and must be strictly adhered to during the works in order to ensure legislative compliance. Please note this is broadly comprehensive though additional minor constraints or requirements may be necessary in the final EPSML document through dialogue with Natural England.

- Works can proceed during the transitional or winter periods from mid-September to end-April inclusive;
- Prior to the commencement of licenced works, the Licenced Bat Worker would provide a Toolbox Talk to contractors to ensure they understand the locations where bats may be found; the methodology which would minimise the risk of harm to bats; and the protocol to follow if a bat is identified.
- Installation of a bat box in a suitable location within the grounds of the property to ensure that there is a place where any bats encountered during works can be safely placed. This should then be retained undisturbed and in perpetuity.
- Key elements of the works should be undertaken under a 'soft strip' methodology whereby the south-eastern gable structure including overhang, soffits and cedar shingles within 1m of the gable would be removed under the ecological oversight of a Licensed Bat Worker. If bats are identified, they would be captured by hand and moved to a place of safety.
- As an additional measure to control residual risk associated with the application of LP4 to this application (see Section 3.5.2), the removal of shingles within 1m of the north-western gable as well as those within 1m of the eaves on both aspects would also be subject to ecological oversight.
- Once the soft-strip works have been completed, further works to the property can proceed with distance supervision.
- Following completion of the works, a bat box designed for use by common pipistrelle bats would be situated on the south-eastern gable in the location where the confirmed roost was located (see Plan 01). A second bat box would be installed on the north-western gable to provide further enhancement (see Plan 02). The installation of these features would be completed under the direction of the Licensed Bat Worker who would confirm and sign off the installation at the end of works.
- Any replacement of woodwork in locations where bats may access should ensure that wood treatments are safe for bats – a list of approved treatments will be provided by the Licenced Bat Worker.
- The proposals would involve the sealing of the roof space to prevent access by bats – as no roosting features would be restored associated with the roof structure itself, it would not be necessary to control roofing membrane specifications.



Plan 01 – showing the proposed location of the compensation bat box (indicated by the red star) at the location of the confirmed roost on the south-eastern gable.



Plan 02 – showing the proposed location of the mitigation/enhancement bat box (indicated by the red star) on the north-western gable.

4.4. Precautionary Method of Working (PMW)

The works involving the replacement of existing windows can proceed without further ecological oversight, but the contractors undertaking the works should be aware of locations where there is a low risk of bats being present; how to

undertake works in such a way that the risk to bats is minimised; and the procedure to follow if bats are encountered.

The PMW strategy is provided in Appendix 2 of this document in order to provide an individual document tailored to specific working areas. This detail is not repeated here for brevity.

Appendix 1 – NVA Screenshots



NVA1 – showing footage from the Nightfox Whisker at position S1. This is covering the south-eastern side of the building and includes all identified potential access features on this aspect.



NVA2 – showing footage from the Nightfox Whisker at position S2. This is covering the north-western side of the building and includes all identified potential access features on this aspect.

Appendix 2 – PMW for Non-Licensed Works

Rationale

Potential access features for bats were identified associated with one of the window frames; however no emergence was identified following two PAS surveys which is sufficient to conclude Likely Absence from this feature. It would not therefore be necessary to undertake replacement and repair of these features under an EPSML.

However as individual bats can be exploratory or make transient use of roosting opportunities, it is important that contractors undertaking the works are aware of the low risk for bats to be encountered and for works to proceed with appropriate caution and vigilance.

These works do not require ecological oversight by a Licensed Bat Worker or to be undertaken under an European Protected Species Mitigation Licence (EPSML).

Features where additional care and vigilance are required

The contractors undertaking the works should be aware that the following structural features have potential to support exploratory or transient use by roosting bats.

Features on the building which could provide roosting opportunities for bats:

- Gaps around the window frame on the south-eastern gable of the property.

Further details of these features along with illustrative photographs are provided in the PRA report.

Methodology Guidance

The following guidance outlines measures required to ensure that contractors are suitably informed of the potential for bats to be present, and undertake works in a manner which minimises the risk of impact to bats in the unlikely event of their presence.

Measures entailed by a Precautionary Method of Works

- Contractors undertaking the works should be informed of the potential for bats to be present in the features outlined.
- Contractors should be aware of their own legal obligations with regards to bats;

- Where possible, any gaps or cavities around the window frames should be visually inspected by contractors before works. If no bats are identified, the window frames should be removed carefully and by hand such that in the highly unlikely event of bats being present, they are not injured and can disperse freely.
- In the event of bats being encountered, works should cease and the Licensed Bat Worker contacted immediately for advice. If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed. Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm and if the Licensed Bat Worker cannot be contacted for advice.