



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Old Wesleyan Chapel, Garrison Lane, Hugh Town St Mary's Isles of Scilly TR21 0JD
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990

Town and Country Planning (Control of Advertisements) 2007

Town and Country Planning (Development Management Procedure) Order 2010

GRANTING OF ADVERTISEMENT CONSENT

Application No:	P/25/023/ADV	Date Application Registered:	27 February 2025
Applicant:	Mrs Natasha Milne St Austell Brewery 63 Trevarthian Road, St Austell, Cornwall, PL25 4BY	Agent:	Mr Sam Mayou CAD Architects, Courtleigh House, 74-75 Lemon Street, Truro, TR1 2PN
Site address:	Bishop and Wolf Inn Hugh Street Hugh Town St Mary's Isles of Scilly		
Proposal:	Application for advertisement consent for replacement signage including external illumination (Listed Building)		

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above advertisement to be carried out in accordance with the following Conditions:

- C1 This consent hereby grants permission for the display of the advertisement referred to in this notice for a period of five years from the date of this consent.**
Reason: Having regard to Regulation 14(7) the Town and Country Planning (Control of Advertisements) Regulations 2007.
- C2 The advertisements hereby permitted shall not be carried out except in complete accordance with the details shown on the approved submitted plans:**
- **Proposed Signage Elevations: drawing number: 3258-3-225 Dated Feb 2024**
 - **Location and Block Plan, drawing number: 3258-1-001 Dated April 2025**
- These are stamped as APPROVED**
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy SS2(1)i) of the Isles of Scilly Local Plan 2015-2030.
- C3 The advertisement hereby permitted shall be maintained in a condition that does not impair the visual amenity of the site.**
Reason: In the interests of amenity and in accordance with the requirements of the Town and Country Planning (Control of Advertisements) Regulations 2007.
- C4 Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.**
Reason: In the interests of amenity and in accordance with the requirements of the Town and Country Planning (Control of Advertisements) Regulations 2007.

C5 No advertisement, other than those already displayed with either deemed or express consent, shall be displayed at this site without the prior express consent of the Local Planning Authority, notwithstanding the provisions of the Town and Country Planning (Control of Advertisements) Regulations 2007 or any regulations revoking or re-enacting those regulations.

Reason: In the interests of amenity and to maintain a reasonable level of advertisement material on this building having regard to the prominent location of the site and the general character of the area in which it is located.

C6 The advertisement(s) hereby approved shall not exceed the number of lights or level of illumination stated in this application and these shall be switched off when the premises is closed to the public.

Reason: To preserve the scenic beauty of the Isles of Scilly as a designated Area of Outstanding Natural Beauty which includes its Dark Night Skies in accordance Policy OE4 of the Isles of Scilly Local Plan 2015-2030 and paragraph 198 (c) of the National Planning Policy Framework 2024.

Further Information

1. In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
2. Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements are considered to apply. These can be found in the legislation.
3. The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that, unless an exception or a transitional arrangement applies, the planning permission granted for the development of land in England is deemed to have been granted subject to the condition ("the biodiversity gain condition") that development may not begin unless:
 - (a) a Biodiversity Gain Plan² has been submitted to the planning authority, and
 - (b) the planning authority has approved the plan.The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan in respect of this permission would be the Planning Department at the Council of the Isles of Scilly.

Signed:



Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 08 May 2025



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mrs Natasha Milne

Please sign and complete this certificate.

This is to certify that decision notice: P/25/023/ADV and the accompanying conditions have been read and understood by the applicant: Mrs Natasha Milne.

1. **I/we intend to commence the development as approved:** Application for advertisement consent for replacement signage including external illumination (Listed Building) at: Bishop and Wolf Inn Hugh Street Hugh Town St Mary's Isles Of Scilly
on:
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. If the site is found to be inaccessible then contact details of the applicant/agent/contractor (delete as appropriate) are:

Name: **Contact Telephone Number:**

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane , St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

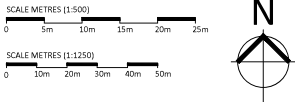
Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

RECEIVED

By Liv Rickman at 3:45 pm, Mar 05, 2025



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01 LOCATION PLAN

REF: 3258-1-001
SCALE: 1:1250 @ A3



02 BLOCK PLAN (EXISTING AND PROPOSED)

REF: 3258-1-001
SCALE: 1:500 @ A3

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE AND ONLY WORK FROM FIGURED DIMENSIONS. TAKE SITE DIMENSIONS FOR ALL FABRICATION WORK. REFER ALL DISCREPANCIES AND REQUIREMENTS FOR ADDITIONAL INFORMATION TO THE ARCHITECT FOR CLARIFICATION OF INSTRUCTION BEFORE PUTTING WORK IN HAND.

TITLE
CHANGE OF USE AT THE BISHOP AND WOLF PUBLIC HOUSE,
HUGH ST, ISLES OF SCILLY, TR21 0LL
CLIENT
ST AUSTELL BREWERY
DETAIL
LOCATION AND BLOCK PLAN

AUTHOR
JP
DATE
APR 2024
SCALE
AS SHOWN @ A3
CHECKED
CC

REV	DESCRIPTION	DATE	INS
<div><div>CAD HERITAGE</div><div>THE CONSERVATION DIVISION OF: CAD ARCHITECTS LTD COURTLEIGH HOUSE, 74-75 LEMON STREET, TRURO, CORNWALL, TR1 2FN CALL: 01872 630 041 MAIL: info@cadheritage.co.uk WEB: www.cadheritage.co.uk</div></div>			
EXISTING	3258-1-001		

RIBA
Chartered Practice



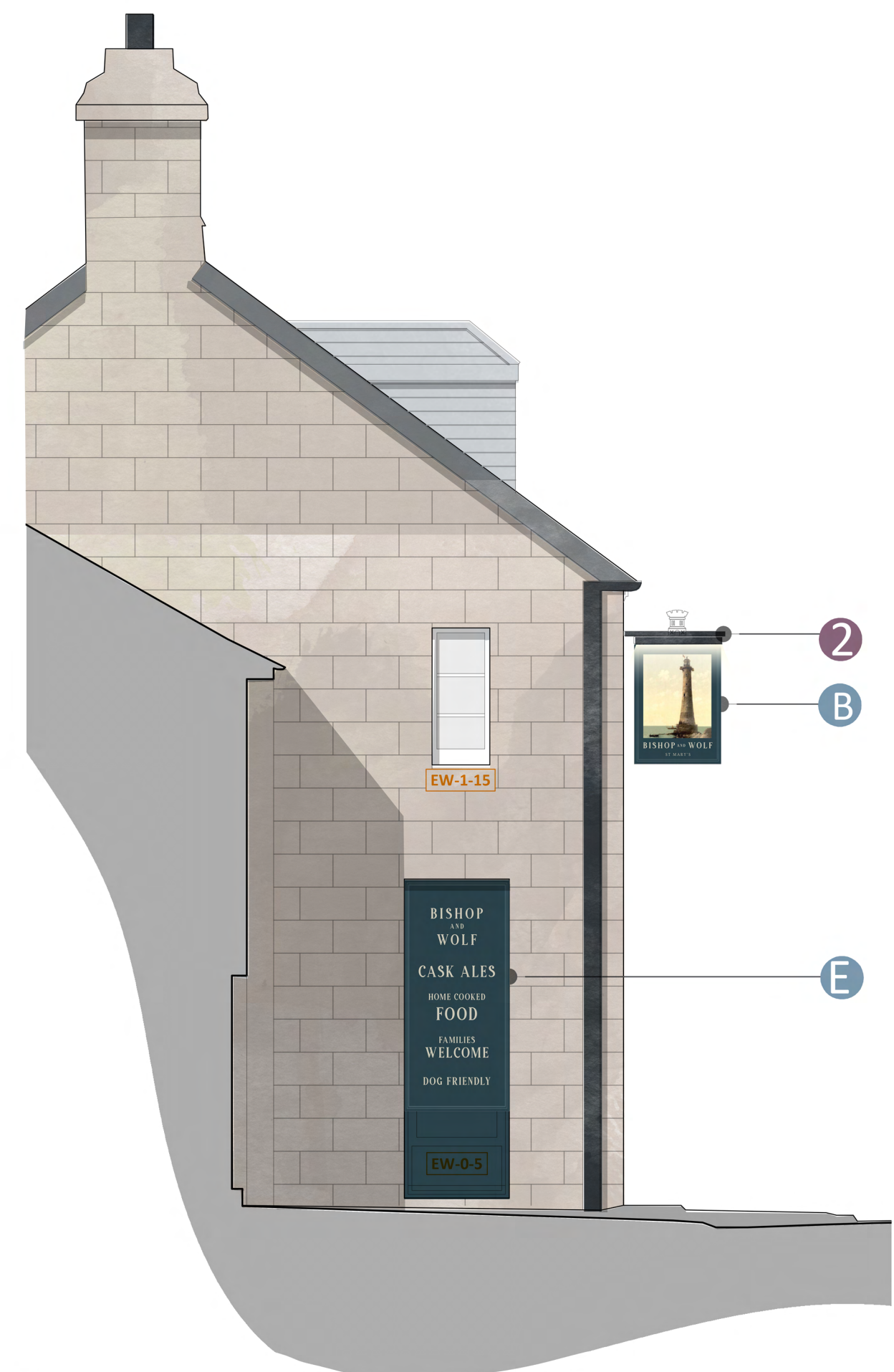
01 PROPOSED NORTH ELEVATION

REF 3258-3-225
SCALE 1:50



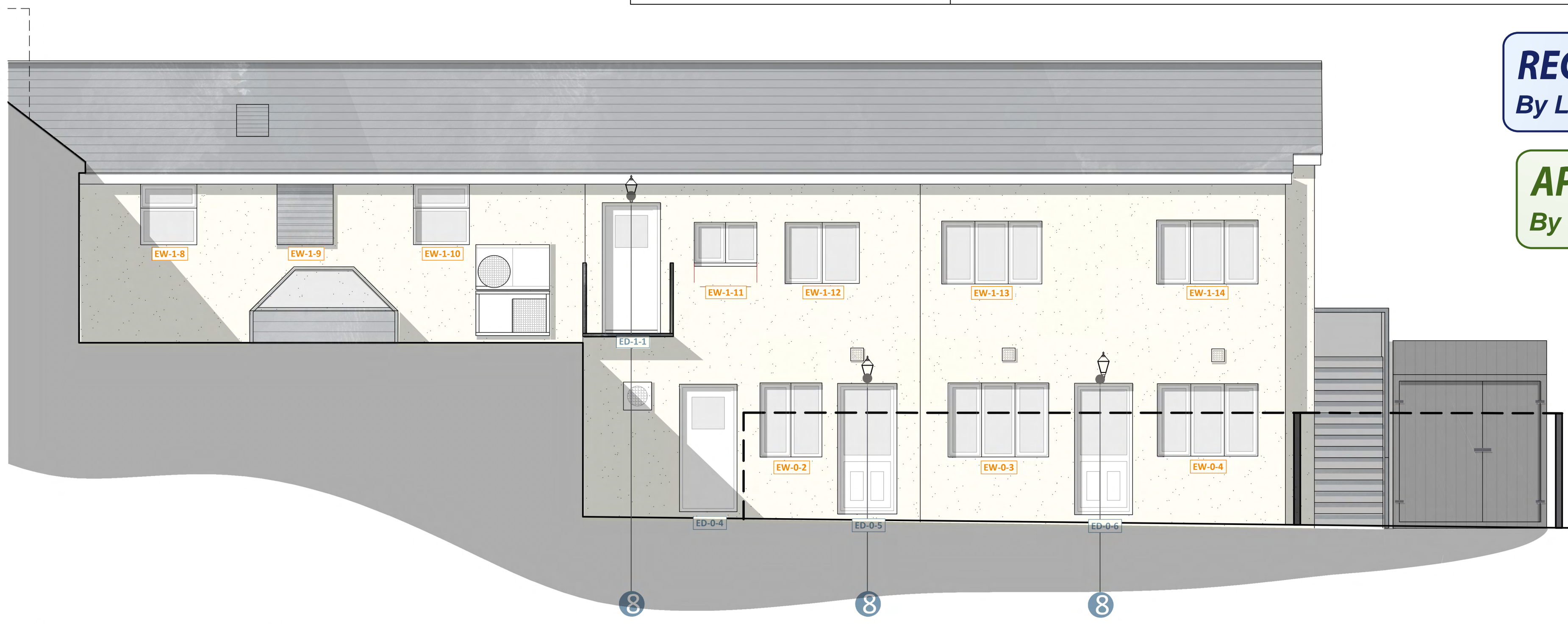
02 PROPOSED SOUTH ELEVATION

REF 3258-3-225
SCALE 1:50



03 PROPOSED EAST ELEVATION

REF 3258-3-225
SCALE 1:50



04 PROPOSED WEST ELEVATION

REF 3258-3-225
SCALE 1:50

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. TAKE SITE DIMENSIONS FOR ALL FABRICATION WORK. REFER ALL DISCREPANCIES AND REQUIREMENTS FOR ADDITIONAL INFORMATION TO THE ARCHITECT FOR CLARIFICATION OF INSTRUCTION BEFORE PUTTING WORK IN HAND.

SCALE METRES (1:50)
0 0.5m 1m 1.5m 2m 2.5m

MASTER KEY:

- A EXTG/ REPLACEMENT SIGNAGE POSITION
- A NEW SIGNAGE POSITION
- 1 EXTG/ REPLACEMENT LIGHT FITTING POSITION
- 1 NEW LIGHT FITTING POSITION

KEY:

- A REPLACEMENT PAINTED TIMBER SIGN WITH 3D ACRYLIC LETTERS 1400X1000MM
- B REPLACEMENT PAINTED TIMBER 'PICTORAL' SWING SIGN WITH NEW SUPPORTING FRAME
- C REPLACEMENT PAINTED TIMBER 'AMENITY SIGN' - IN PLACE OF TWO FORMER AMENITY SIGNS
- D ALUMINIUM MENU CASE ADJACENT TO ENTRANCE DOOR
- E REPLACEMENT PAINTED TIMBER AMENITY SIGN
- F NEW ACRYLIC 3D LETTER SIGNAGE

- 1 NEW FIXED SIGN PELMET LIGHT
- 2 NEW PELMET LIGHT ON HANGING SIGN
- 3 REPLACEMENT OF EXISTING WALL LIGHT
- 4 WALL LIGHT ABOVE AMENITY
- 5 EXISTING SIGNAGE FLOOD LIGHTS TO BE REMOVED
- 6 EXISTING LIGHT TO BE REPLACED WITH DISCRETE LIGHT
- 7 NEW EMERGENCY LIGHT
- 8 REPLACEMENT LIGHT POSITION

RECEIVED

By Liv Rickman at 3:42 pm, Mar 05, 2025

APPROVED

By Lisa Walton at 11:22 am, May 08, 2025

REV DESCRIPTION DATE INS

CAD HERITAGE

THE CONSERVATION DIVISION OF CAD ARCHITECTS LTD
COURTLEIGH HOUSE, 74-75 LEMON STREET
TRURO, CORNWALL, TR1 2PN
CALL: 01872 630 040
MAIL: info@cadheritage.co.uk
WEB: www.cadheritage.co.uk

RIBA

Chartered Practice

CHANGE OF USE AT
THE BISHOP AND WOLF PUBLIC HOUSE,
HUGH ST, ISLES OF SCILLY, TR21 0LL
CLIENT
ST AUSTELL BREWERY

DETAILS
PROPOSED ELEVATIONS
PROPOSED SIGNAGE

AUTHOR
JP
DATE
FEB 24
SCALE
As Shown @ A1
CHECKED
CC

STATUS PLANNING DRAWING NO. 3258-3-225 REVISION -