



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

PERMISSION FOR DEVELOPMENT

Application No:	P/25/061/HH	Date Application Registered:	12 August 2025
Applicant:	Mr Phillip Spence South Hill Green Bay Road Southard Bryher Isles of Scilly TR23 0PR	Agent:	Mr Jonathan Arnold Arnold Planning Ltd 5B Riverway Auckley Doncaster DN9 3LA

Site address: South Hill Southard Bryher Isles of Scilly TR23 0PR
Proposal: Extension to the first floor of South Hill to create an additional bedroom (Amended Plans)

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**
Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Plan 1 Existing Location Plan (Amended)**
 - **Plan 2 Proposed Block Plan (Amended)**
 - **Plan 3 Proposed Floor Plans and Elevations (Amended)**
 - **Bat Presence and Absence Surveys**
 - **Preliminary Roost Assessment**
- These are stamped as APPROVED**
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and Policy OE7 of the Isles of Scilly Local Plan 2005.
- C3 The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.**
Reason: To safeguard the appearance of the building and the character of the area.
- C4 Prior to the commencement of the approved development, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material**

and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.

Reason: This is a pre-commencement condition that requires details, that were not submitted as part of the application but are required to be submitted and agreed by the Local Planning Authority. This is to ensure adequate consideration is given to the minimisation of unnecessary waste generation, and adherence to the waste hierarchy, in accordance with the requirements of Policy SS2 (2) and Policy OE5 of the Isles of Scilly Local Plan 2015-2030.

C5 Prior to commencement of development, hereby approved, a Bat Mitigation Strategy shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall be based on the recommendations set out in the Bat Presence/Absence Surveys (Ecological Surveys Ltd, September 2023), and shall include:

1. Timing of Works:

- **Works affecting the roof structure shall be undertaken outside the bat active season (i.e. between October and March), unless otherwise agreed in writing following updated bat activity surveys.**

2. Supervision by a Licensed Ecologist:

- **Any roof dismantling or works to potential roost features shall be supervised by a licensed bat ecologist.**

3. Provision of Roosting Features:

- **At least one integrated bat box (e.g. Schwegler 1FR or similar) shall be installed on the new extension, in a location and orientation agreed with the ecologist.**

4. Lighting Strategy:

- **External lighting shall be designed to avoid light spill onto bat roosting and foraging areas, in accordance with BCT guidance on bats and artificial lighting.**

The development shall be carried out in accordance with the approved Bat Mitigation Strategy and retained thereafter.

Reason: This is a pre-commencement condition because the mitigation measures must be agreed and implemented before any works begin that could disturb or destroy the roost, particularly roof alterations. Delaying implementation until after commencement could result in irreversible harm to protected species and breach legal protections. To ensure the protection of a confirmed bat roost within the application site, which is a legally protected feature under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. The mitigation measures are necessary to avoid harm to bats, a European Protected Species, and to ensure compliance with statutory obligations.

C6 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of the islands.

Further Information

1. **STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
2. **POST DECISION AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf
3. **COMMENCEMENT NOTICE:** Under Section 93G of the Town and Country Planning Act 1990 (as amended), this decision notice informs you that a 'commencement notice' must be served on the Local Planning Authority - subsections (2) and (3) are set out below:
(2) Before the development is begun, the person proposing to carry it out must give a notice (a "commencement notice") to the local planning authority specifying the date on which the person expects the development to be begun.
(3) Once a person has given a commencement notice, the person:
 - may give a further commencement notice substituting a new date for the date previously given, and
 - must do so if the development is not commenced on the date previously given

The notice should be provided to the Local Planning Authority a minimum of seven (7) days before the development commences.

Failure to provide the commencement notice could lead to the Local Planning Authority serving notice on them to require information to be provided, and if that is not provided within 21 days, they will be guilty of an offence, as below:

(5) Where it appears to the local planning authority that a person has failed to comply with the requirements of subsection (2) or (3)(b), they may serve a notice on any relevant person requiring the relevant person to give the authority such of the information prescribed under subsection (4)(a) as the notice may specify.

(7) A person on whom a notice under subsection (5) is served is guilty of an offence if they fail to give the information required by the notice within the period of 21 days beginning with the day on which it was served.

(9) A person guilty of an offence under subsection (7) is liable on summary conviction to a fine not exceeding level 3 on the standard scale.

PLEASE NOTE: The requirement under Section 93G of the Town and Country Planning Act 1990 (as amended) is separate from any requirements under the Community Infrastructure Levy Regulations 2010 (as amended) or any requirements for serving notices secured through the signed Section 106 Legal Agreement.

4. **BUILDING REGULATIONS:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.
5. **COUNCIL TAX:** To ensure appropriate contributions, are made to fund services provided by or on behalf of the Council on the Isles of Scilly please ensure you contact the Council's Revenues Department: revenues@scilly.gov.uk to register new buildings or improvements to existing buildings that may impact its value.
6. **BATS:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately, and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 05 November 2025



COUNCIL OF THE ISLES OF SCILLY

Planning Department
Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD
☎0300 1234 105
✉planning@scilly.gov.uk

Dear Mr Phillip Spence

IMPORTANT: Please sign and complete this **Commencement Certificate**.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

What if plans change?

If development does not start on the stated date, a new notice must be submitted with the revised date.

What happens if you don't comply?

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

Why is this important?

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

Relation to other notices:

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/25/061/HH and the accompanying conditions have been read and understood by the applicant: Mr Phillip Spence.

1. **I/we intend to commence the development as approved:** Extension to the first floor of South Hill to create an additional bedroom (Amended Plans) at: South Hill Southard Bryher Isles of Scilly TR23 0PR **on:**
2. I am/we are aware of any conditions that need to be discharged before works commence.
3. I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

Name:

Contact Telephone Number:
And/Or Email:

Print Name:

Signed:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence (where relevant) or as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

PRE-COMMENCEMENT CONDITION(S)

- C4 Prior to the commencement of the approved development, a scheme including details of the sources of all building materials and the means/location of disposal of all demolition material and all waste arising from building works, including excess material from excavations, shall be submitted to and agreed in writing with the Planning Authority. The development shall thereafter proceed in strict accordance with the approved scheme only.
- C5 Prior to commencement of development, hereby approved, a Bat Mitigation Strategy shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall be based on the recommendations set out in the Bat Presence/Absence Surveys (Ecological Surveys Ltd, September 2023), and shall include:
1. Timing of Works:
 - Works affecting the roof structure shall be undertaken outside the bat active season (i.e. between October and March), unless otherwise agreed in writing following updated bat activity surveys.
 2. Supervision by a Licensed Ecologist:
 - Any roof dismantling or works to potential roost features shall be supervised by a licensed bat ecologist.
 3. Provision of Roosting Features:
 - At least one integrated bat box (e.g. Schwegler 1FR or similar) shall be installed on the new extension, in a location and orientation agreed with the ecologist.
 4. Lighting Strategy:
 - External lighting shall be designed to avoid light spill onto bat roosting and foraging areas, in accordance with BCT guidance on bats and artificial lighting.
- The development shall be carried out in accordance with the approved Bat Mitigation Strategy and retained thereafter.



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane, St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

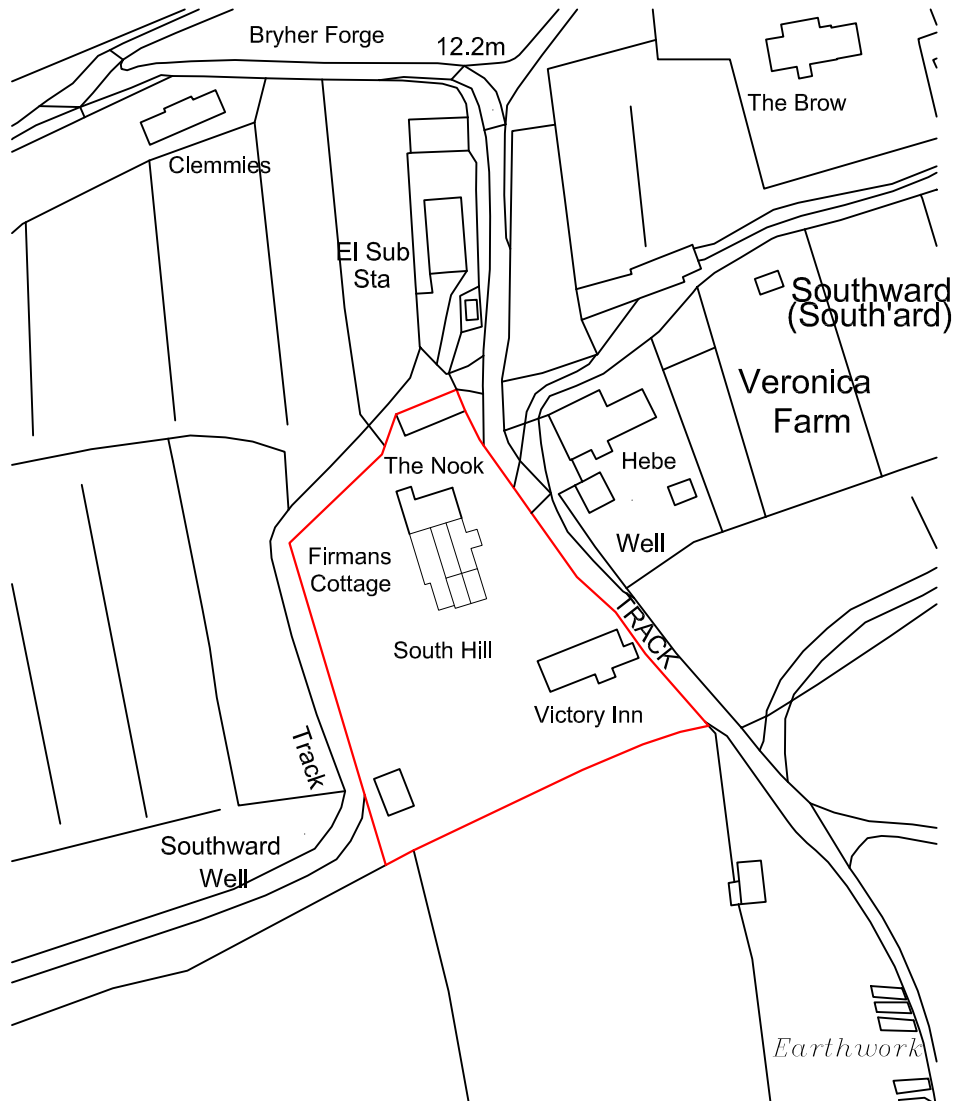
Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

APPROVED

By Lisa Walton at 1:29 pm, Nov 05, 2025



Ordnance Survey, (c) Crown Copyright 2025. All rights reserved. Licence number 100022432

Existing Location Plan



CLIENT:

Philip Spence

JOB TITLE:

South Hill, Green Bay Road, Southard Bryher,
ISLE OF SCILLY, TR23 0PR

DRAWING TITLE:

Existing Location Plan

JOB NO:

1000149

DRAWING NO:

1000149.01

REVISION:

A

SCALE(S):

1:1250@A4

DRAWN: JA

CHECKED: XX

APPR: XX

DATE: 06/25

DRAWING STATUS: PL

DO NOT SCALE FROM THIS DRAWING: CHECK ALL DIMENSIONS ON SITE

REV	DATE	BY	DESCRIPTION
A	10.07.25	JA	BOUNDARY AMENDED FROM BLUE TO RED

RECEIVED

By Tom.Anderton at 10:58 am, Jul 11, 2025

APPROVED

By Lisa Walton at 1:29 pm, Nov 05, 2025



El Sub
Sta

The Nook

Hebe

Well

Firmans
Cottage

GREEN HATCH =
PROPOSED 1ST
FLOOR EXTENSION

South Hill

TRACK

Victory Inn

Track

Southward
Well

Proposed Block Plan



CLIENT:
Philip Spence

JOB TITLE:
South Hill, Green Bay Road, Southard Bryher,
ISLE OF SCILLY, TR23 0PR

DRAWING TITLE:
Proposed Block Plan

JOB NO: 1000149	DRAWING NO: 1000149.03	REVISION: A	SCALE(S): 1:500@A4
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DRAWN: JA	CHECKED: XX	APPR: XX	DATE: 06/25
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DRAWING STATUS: PL

DO NOT SCALE FROM THIS DRAWING: CHECK ALL DIMENSIONS ON SITE

REV	DATE	BY	DESCRIPTION
A	10.07.25	JA	BOUNDARY AMENDED FROM BLUE TO RED

RECEIVED

By Tom.Anderton at 10:58 am, Jul 11, 2025

RECEIVED
By Lisa Walton at 5:07 pm, Oct 14, 2025

APPROVED
By Lisa Walton at 1:30 pm, Nov 05, 2025

REV	DATE	BY	DESCRIPTION
A	JUNE 25	JA	DOG LEG REMOVED TO PROPOSED BEDROOM
B	OCT 25	JA	STEPPING DOWN OF THE RIDGE AND EAVES LINE

Notes:

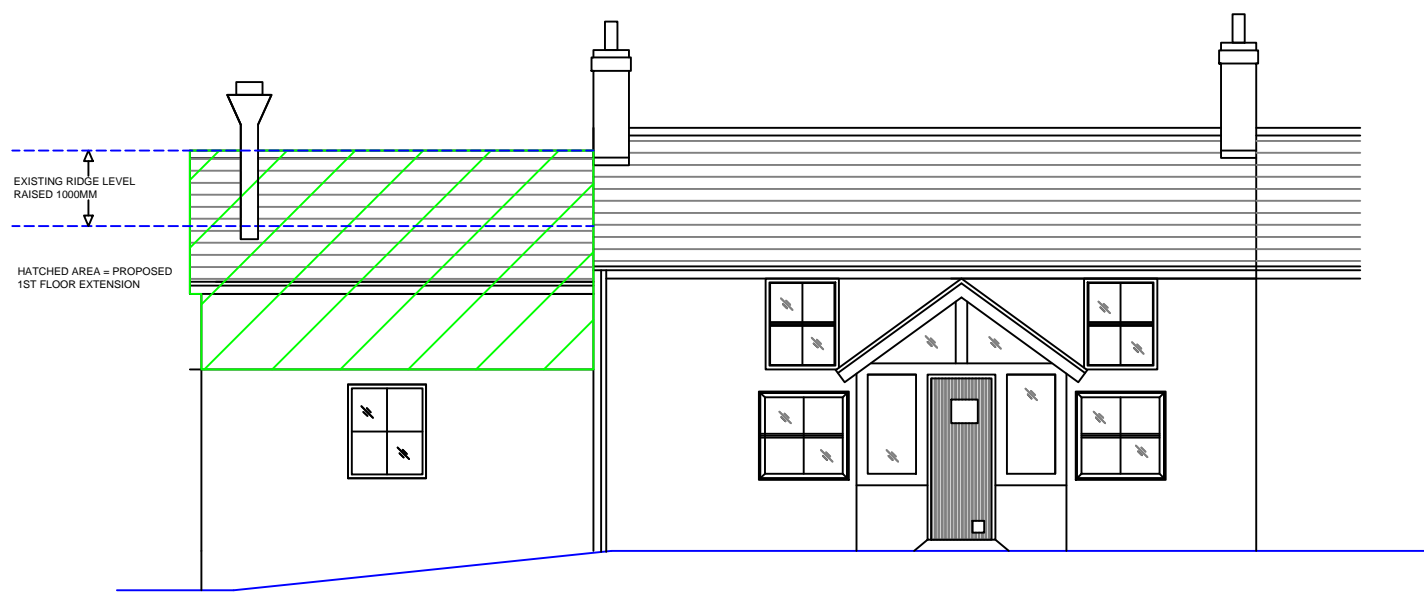
Do not scale off this drawing

All dimensions to be checked on site.

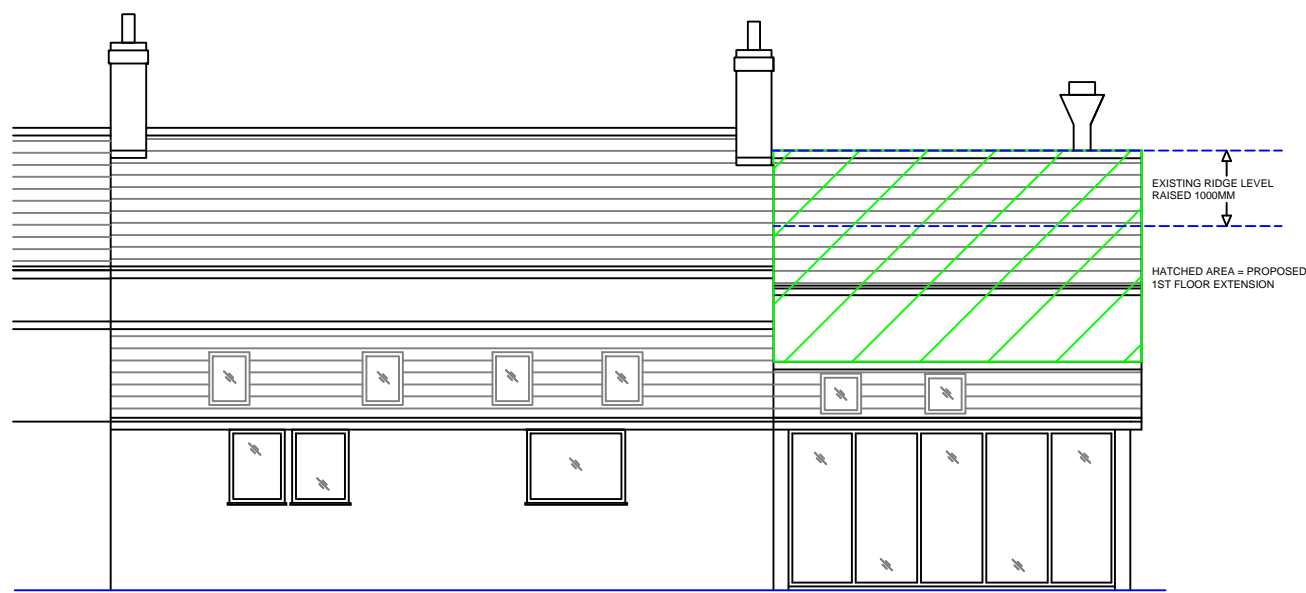
Any discrepancy between drawn and specified information to be notified immediately.

The Contractor is to check and clarify all dimensions, levels, drainage construction and materials specification prior to any works starting on site. Any discrepancies are to be brought to the Clients attention prior to commencing on site.

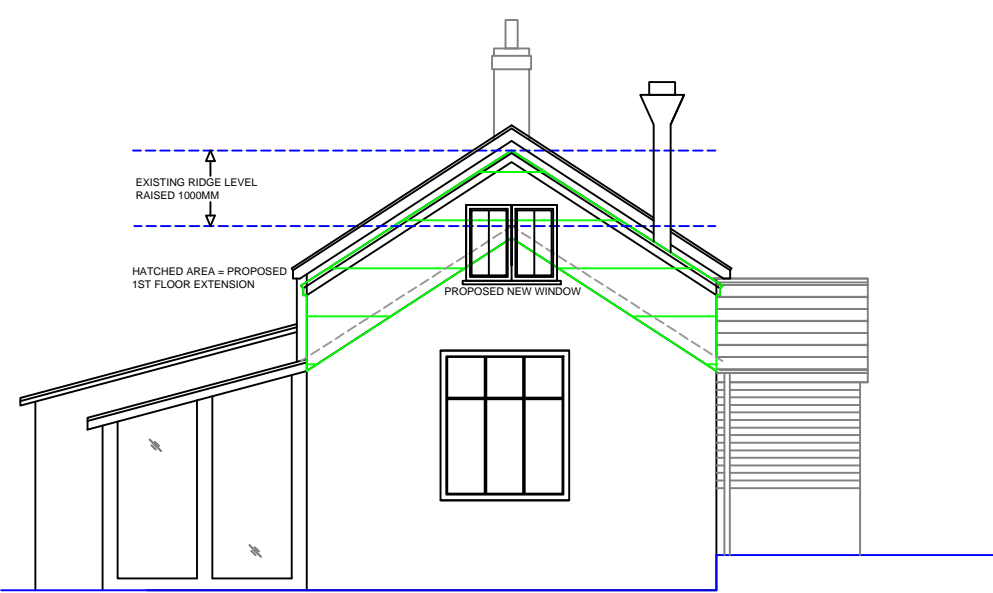
All materials should be installed as per manufacturers instructions, recommendations and specifications.



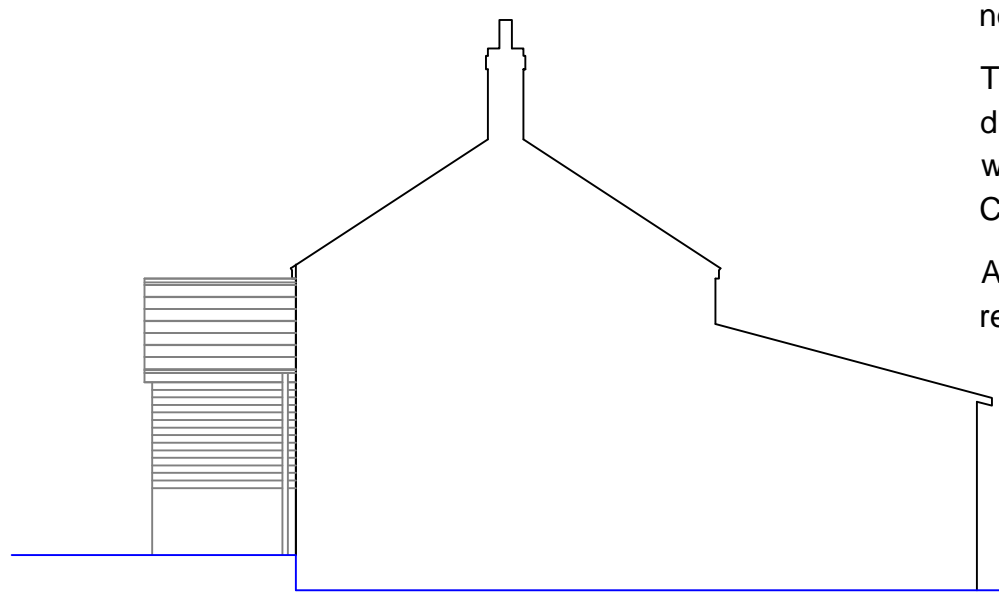
Proposed Front Elevation Scale 1:100



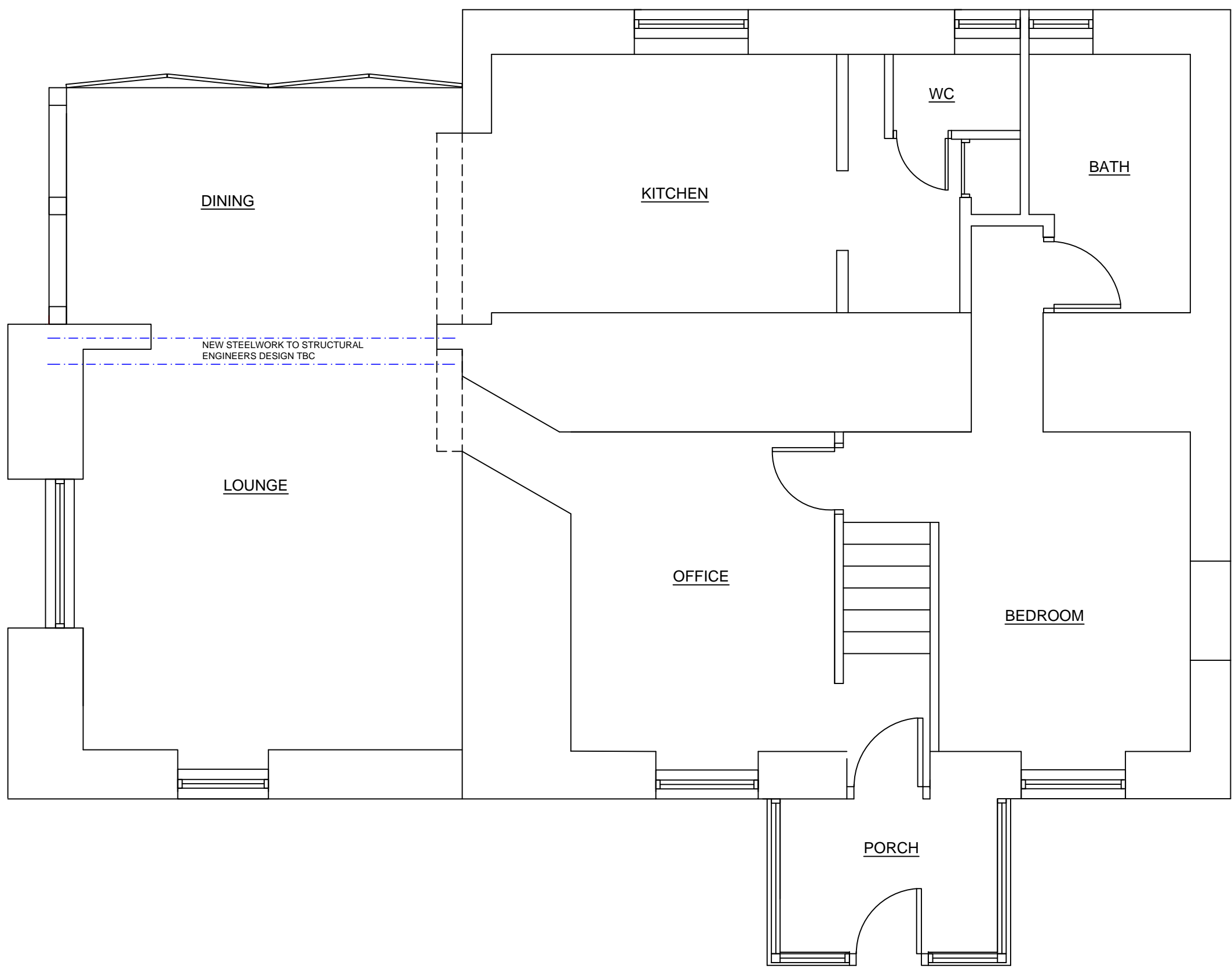
Proposed Rear Elevation Scale 1:100



Proposed Side 1 Elevation Scale 1:100

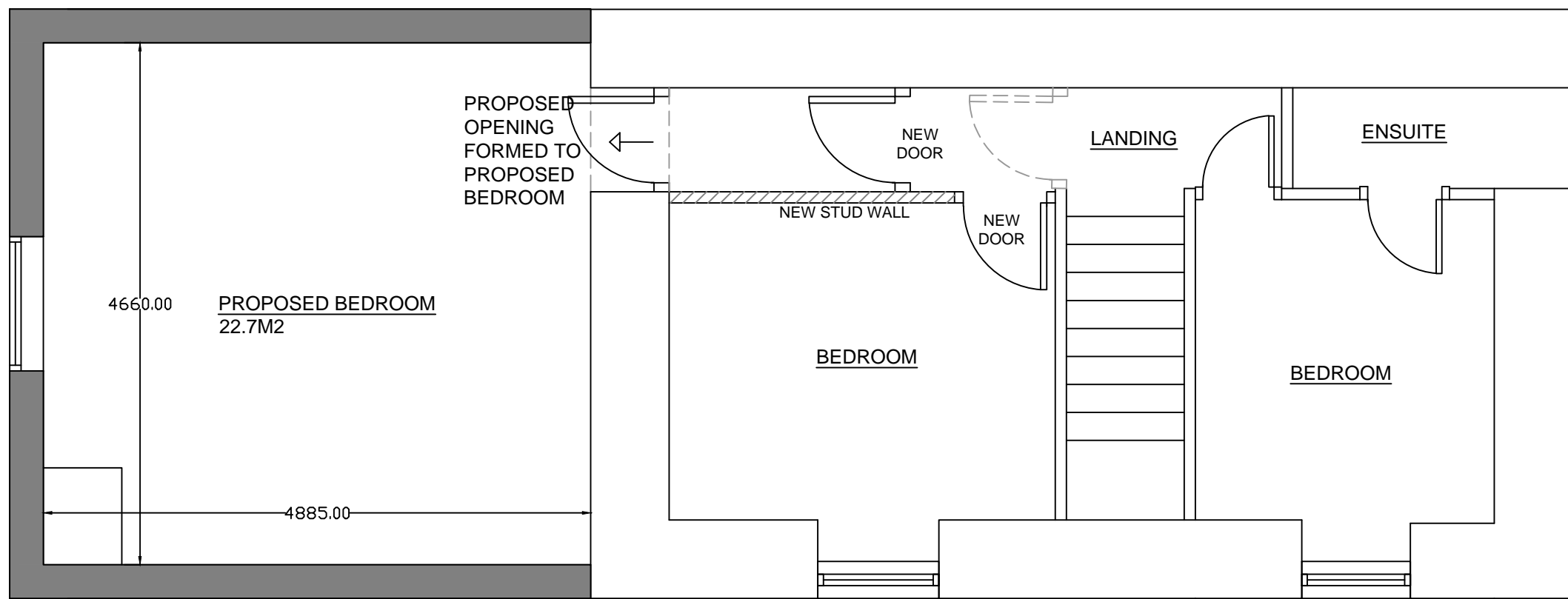


Proposed Side 2 Elevation Scale 1:100



Proposed Ground Floor Plan Scale 1:50

KEY	
	EXISTING WALLS
	PROPOSED 300MM CAVITY WALL
	DASHED LINES = TO BE REMOVED
	NEW TIMBER / METAL STUD WALLS
	PROPOSED STEELWORK TO SE DESIGN - TBC



Proposed First Floor Plan Scale 1:50



CLIENT:
Philip Spence
JOB TITLE:
South Hill South'ard Bryher Isles Of Scilly TR23 0PR

DRAWING TITLE:
Proposed Floor Plans and Elevations

JOB NO: 1000149	DRAWING NO: 1000149.05	REVISION: B	SCALE(S): As Shown @ A1
DRAWN: JJA	CHECKED: x	APPR: XX	DATE: MAY 25
DRAWING STATUS: PL DO NOT SCALE FROM THIS DRAWING: CHECK ALL DIMENSIONS ON SITE			

By Lisa Walton at 1:54 pm, Nov 05, 2025

By Tom.Anderton at 11:36 am, Aug 12, 2025

SOUTH HILL, BRYHER, ISLES OF SCILLY



Author: James Faulconbridge BSc (Hons), MRes, MCIEEM

Executive Summary

Bats – Results and Findings

The preliminary roost assessment (PRA) survey of the relevant aspects of South Hill on Bryher concluded that there is **Low Potential** for use by bats.

Bats – Further Survey Requirements

The following recommendation is provided in order to ensure a suitable baseline to ensure legislative compliance and to avoid negative impacts to Protected Species:

- **One further Presence/Absence Survey (PAS)** should be undertaken on the relevant aspect of South Hill to characterise and assess the potential use of the roof structures by bats in order to meet the standard of survey required by Best Practice Guidance to ensure legislative compliance during the proposed works and support Planning.

Nesting Birds – Results and Findings

Evidence indicative of a nest was noted on the western roof of the property and there is potential for individual bird species to find nesting habitat associated with the roof of the property, especially under fascias or within the associated garden.

Nesting Birds - Recommendations

Works should take account of the risk of species such as sparrow or robin making use of nesting opportunities during the breeding season. Recommendations are provided to ensure this, including timing of works or pre-commencement inspections.

Other Ecological Receptors

No further ecological impacts relevant to planning are identified.

Report Status

As the requirement for a further PAS survey is identified in accordance with the Best Practice Guidance, this report **does not provide a comprehensive baseline** until these surveys have been completed and their results used to inform appropriate mitigation measures.

PRELIMINARY ROOST ASSESSMENT (PRA)

Planning Authority: Council of the Isles of Scilly	Location: SV 87808 14685	Planning Application ref: Report produced in advance of application
Planning application address: South Hill, Bryher, Isles of Scilly		
Proposed development: <p>The proposed works were identified by the client when instructing the PRA inspection and should accord with the proposals:</p> <p>1) Conversion of an existing single-storey component of the property to a two-storey structure.</p> <p>For clarity and brevity, this report focuses on those structural elements of the property which would be directly or indirectly impacted by the above proposals. It does not represent a comprehensive assessment of the property as a whole, much of which would not be affected by the proposals.</p>		
Building references: The building is identified in the map provided in Appendix 1.		
Name and licence number of bat-workers carrying out survey: James Faulconbridge (2015-12724-CLS-CLS)		
Preliminary Roost Assessment date: The visual inspection was undertaken on 2 nd August 2025 in accordance with relevant Best Practice methodology ¹ .		
Local and Landscape Setting: <p>The semi-detached property is located just south of the centre of the island of Bryher in the Isles of Scilly.</p> <p>The land immediately surrounding the property, beyond the residential garden, comprise small scale agricultural use by Hillside and Veronica Farms with varying land use including grazing, small-scale arable and polytunnels with a variety of fruits and vegetables. A number of agricultural and residential buildings are located in the immediate vicinity including Hillside Farm with associated holiday lets and agricultural properties to the north-west; and Veronica Farm and further residential buildings to the north-east.</p> <p>The coastline is in close proximity to both the east and west. Beyond the agricultural land use to the north, the land is predominantly undermanaged scrub with heathy components and abundant non-native self-set species such as pittosporum. There is abundant additional semi-natural habitat including dune grassland; heathland and mixed scrub in close proximity on the</p>		

¹ Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition).
The Bat Conservation Trust, London

island.

Two common pipistrelle roosts are formally recorded, and a further two are anecdotally recorded within 500m of the Site. The confirmed roosts relate to non-breeding summer roosts of common pipistrelle, though others anecdotally recorded have emergence numbers consistent with maternity use.

No other species of bats are known to be present on the island of Bryher although brown long-eared bats are known to inhabit nearby Tresco and St Mary's; along with soprano pipistrelle on St Mary's and transient summer records of Leisler's and Nathusius' pipistrelle which are not thought to be breeding.

Building Description

The following description will provide an overview of the construction and structural condition of the property with a focus on features which, by their design or condition, could provide suitable roosting opportunities for bats.

Overview

South Hill comprises a two-storey granite-built cottage with a single-storey extension to the south; and mono-pitch extensions on the western aspects of both of these core components. The property is semi-detached on its northern aspect.

Two-Storey Cottage

The two-storey cottage is of granite construction with a pitched synthetic-tile roof.

The granite walls are well-pointed with no gaps or cavities noted. The sash-windows are well-fitted within their apertures with no gaps noted associated with the junction of these materials.

A wooden fascia runs along the eaves on both aspects; the extensions on the western aspect tie in just below this feature which would preclude any direct fly-in access for bats but gaps were noted between the timber and the irregular blockwork of the granite to which it is attached on the eastern aspect. This could potentially provide access to roosting features associated with the wall plate; or provide roosting opportunities in its own right.

The synthetic-slate roof tiles were well-fitted with no gaps noted – similarly the pointing on the ridge tiles was in good condition. Roof lights on the western aspect appeared well-fitted.

Two chimneys situated at either end of the roof were brick-built and rendered respectively – in each case the structural elements were well sealed/pointed though minor superficial gaps occur beneath the flashing where these structures meet the roof.

The southern gable of the property has slate drop-tiles along the verge which have gaps behind – these could potentially provide access to roosting features associated with the wall plate; or provide roosting opportunities in their own right.

There is no loft space associated with the roof; the upper floor accommodation is built largely into the roof space although a small sealed void occurs at the apex of the roof.

Single-Storey Extension

The single-storey extension on the southern aspect of the two-storey cottage is of similar construction.

The gaps behind the fascia on the eastern aspect was fully inspected with a video endoscope – these were predominantly sealed or superficial though minor gaps and niches do occur which could potentially support individual roosting bats.

Gaps behind the drop tiles on the southern gable were inspected with a video endoscope – these did not provide access to the fabric of the building where larger roosts might be supported; however the gaps between the tiles and the wall itself would provide suitable roosting niches

for individual bats.

There is a gap between the two-storey and the single-storey structures at the roofline of the single-storey component which is accessible at the eaves and extends beyond the reach of the video endoscope to inspect – the dimensions and fly-in access to this feature on the eastern aspect would provide a suitable roosting opportunity for bats. On the western aspect, the potential fly-in for this feature is obstructed by the roofline of the mono-pitch roof which ties in just below it; however there appears to be nesting material indicating likely use by breeding birds.

There is no loft space associated with this roof with the accommodation built largely into the roof space; however a small sealed void occurs at the apex of the roof.

Mono-pitch Extensions and Porch

The extensions on the western aspect of the property as well as the porch on the eastern aspect were inspected. Whilst features suitable to support roosting bats were noted in these structures, these were restricted to features at the eaves or were otherwise situated in a way which, due to their physical separation from the proposed area of works, would not be directly or indirectly impacted by the proposals. These are not therefore given further consideration in this report.

Survey Limitations

The following limitations on survey were noted:

- The sealed voids at the apex of the building could not be accessed for inspection;
- Some features such as the drop tiles on the gable of the two-storey cottage could not be safely inspected at height;
- There are locations within the building where evidence of bats, if present, would not have been apparent from a PRA survey, such as roosts which might be present within the sealed void or associated with the wall plate.

These are taken into account when concluding the assessments of building potential and are addressed by the recommendations for further surveys.

Assessment of Potential for use by Roosting Bats

The following potential roosting opportunities are identified associated with the relevant aspects of South Hill:

- Gaps in the fascia on the eastern aspect of the two-storey cottage and single-storey extension;
- Gaps behind the drop tiles on the southern gables of the two-storey cottage and single-storey extension;
- A cavity which extends up the gap between the two-storey cottage and single-storey extension at the roofline of the single-storey component.

The majority of these potential features are small in extent and likely to support only individual or transient roost sites for common species such as common pipistrelle.

In conclusion, the property is considered to have **low potential** to support roosting bats.

Recommendations and Justification (Bats):

In accordance with the criteria outlined in the Best Practice Guidance², the following surveys would be required to provide an appropriate evidence-base upon which to ensure legislative compliance

- 1x Presence/Absence Survey (PAS).

The purpose of the PAS technique is to allow the building to be watched at dusk to observe bats emerging from concealed roosting locations. This uses the predictable emergence behaviour of bats to allow their presence to be detected in roosting locations which cannot be directly visually inspected.

The PAS surveys should be led by a Licensed Bat Worker between mid-May and mid-September. A minimum of two Night Vision Aid (NVA) cameras would be required to cover the relevant features and allow the results of the surveys to be reviewed and confirmed in accordance with the Best Practice Guidance.

These surveys should be completed and submitted in support of a Planning Application in accordance with the guidance provided by Circular 06/05 (ODPM, 2005) which states that *“it is essential that the presence or otherwise of protected species, and the extent that they may be affected by the proposed development, is established before the planning permission is granted, otherwise all relevant material considerations may not have been addressed in making the decision”*.

For the avoidance of doubt, the current survey baseline is not sufficient to support a Planning Application with reference to the Circular 06/05.

If no bats are identified emerging/returning to the building then the results would be incorporated into a PAS report which, submitted alongside this PRA report, would form a suitable ecological basis to support a Planning Application.

If bats are identified emerging from the building, further surveys would be required to fully characterise the roost and provide sufficient evidence of Protected Species to inform a Planning Application.

Assessment of Potential for use by Nesting Birds

Evidence indicating likely use by nesting birds was recorded at the time of survey, and the structure has the potential to provide suitable nest sites for common bird species such as house sparrow. This is associated with the roof, though some of the fascia features identified as suitable for use by roosting bats may also be capable of supporting breeding birds.

There is also potential for nesting birds to use areas within the garden or adjacent structures which could be indirectly disturbed by contractor presence or erection of scaffolding.

Recommendations and Justification (Birds):

In order to ensure legislative compliance, the contractors undertaking the works must ensure that nesting birds are not disturbed in accordance with requirements under the Wildlife and Countryside Act (1981).

Timing of Works

Works affecting the roof should be undertaken outside of the breeding season which runs from March – September inclusive, where practicable. This would provide the most robust means of avoiding risk of impact to nesting birds.

² Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

Pre-commencement Inspection

If the recommended timing of works is not possible, then contractors should visually inspect the work area internally and externally before they are affected by the works, in order to confirm that no nests are present. In the event that a bird nest is present, it must be left undisturbed until chicks have fledged the nest, at which point works can proceed.

Care must also be taken to ensure that the works do not cause disturbance or damage to proximate nesting areas through indirect impacts including vibration, noise or contractor presence.

Enhancement Opportunities

If the applicant wished to mitigate the loss of the nesting opportunity associated with the roof and provide biodiversity enhancement measures, this could be achieved through the erection of bird boxes on the residential property or within the garden. Boxes associated with the mature garden would have a good chance of occupation.

House sparrows nest communally and nest boxes could accommodate this, either through the installation of a single purpose-built nest box comprising several individual chambers with separate entrances, or the installation of 3+ nest boxes in close proximity. Nest boxes suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin also have a high likelihood of occupation.

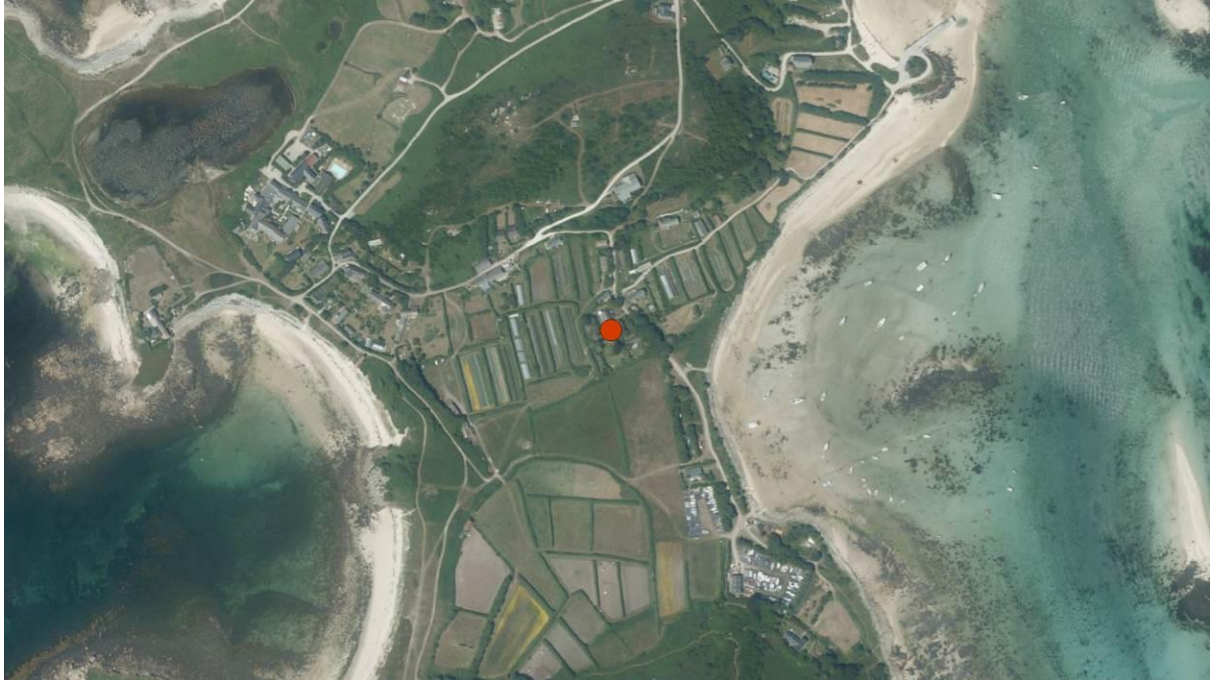
Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of predation from cats.

Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB.

APPENDIX 1

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LOCATION PLAN AND PHOTOGRAPHS



Map 01 – Illustrating the location of the property within the local environs (red circle). Reproduced in accordance with Google’s Fair Use Policy.



Map 02 – Showing the South Hill building – the semi-detached property to the north is visible but not identified.



Photograph 1: Showing the view of the property from south-east with the single-storey extension in the foreground and the two-storey cottage in the background



Photograph 2: Showing the fascia which runs along the eastern aspect of the two-storey cottage. This feature is present but the fly-in is obstructed on the western aspect.



Photograph 3: Showing the fascia which runs along the eastern aspect of the single-storey extension. This feature is present but the fly-in is obstructed on the western aspect.



Photograph 4: Showing the drop tiles present on the southern gable of the two-storey cottage above the roofline of the single-storey extension



Photograph 5: Showing the drop tiles present on the southern aspect of the single-storey extension.



Photograph 6: Showing the gap which extends along the roofline between the single-storey extension and the two-storey cottage.



Photograph 7: Showing the interior room with the minor sealed void visible at the apex.



Photograph 8: Showing the property from the south-western aspect – the mono-pitch extensions are visible in the foreground.

By Lisa Walton at 1:57 pm, Nov 05, 2025

By Tom.Anderton at 10:30 am, Sep 10, 2025

SOUTH HILL,
SOUTHARD, BRYHER, ISLES OF SCILLY



Author: James Faulconbridge BSc (Hons), MRes, MCIEEM



Executive Summary

Overview
<p>One Presence/Absence Survey (PAS) was undertaken on the residential property known as South Hill at Southard, Bryher, Isles of Scilly.</p> <p>The results of this PAS survey is documented in this report which should be read alongside the Preliminary Roost Assessment (PRA) report for this site.</p>
Results
<p>The survey did not identify any bats emerging from those aspects of the property which are to be directly impacted by the proposals.</p> <p>A small day roost of common pipistrelle bats was confirmed on an adjacent part of the building but this is physically separated from the proposed site of works.</p> <p>The surveys also recorded individual common pipistrelle bats in flight – these were foraging or commuting individuals within the garden and local environs.</p>
Conclusion
<p>The survey evidence accords with the Best Practice Guidance requirements to conclude ‘Likely Absence’ of bats within those aspects of the structure which would be directly impacted by the proposed scope of works.</p> <p>Detailed consideration of the implications of a roost in another part of the structure is given. It is concluded that no further surveys are required and there is no requirement for a European Protected Species Mitigation Licence (EPSML) provided the works are designed and implemented in a way which secures avoidance of impacts to the confirmed roost.</p>
Mitigation Strategy
<p>Works must be undertaken in accordance with the Precautionary Method of Works provided as an appendix to this report in order both to secure avoidance of impacts to the confirmed roost and to exercise due vigilance to the unlikely event of encountering bats during works.</p> <p>Recommendations to enhance the provision of roosting habitat for local bat populations are provided in this report.</p>
Planning Recommendations
<p>The PRA and PAS reports together provide an appropriate ecological baseline for the purposes of assessing the Planning Application. No further surveys would be required.</p>

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1. Introduction

1.1. Background to Surveys

The scope of the survey includes the relevant aspects of the property known as South Hill on Bryher, Isles of Scilly.

The proposed works include the extension to the first floor of an existing single-storey component of the property.

A Preliminary Roost Assessment (PRA) of the site undertaken in August 2025 identified Low Potential for use by roosting bats in relation to those parts of the structure which would be directly impacted by the proposed works. Potential roosting features on adjacent structural components of the property were also noted.

The PRA report stated that a further PAS survey would be required to provide an evidence base sufficient to identify the status of the proposed works area of the building with regards to bats, and inform any mitigation measures required to support a Planning Application and ensure legislative compliance. This PAS report provides the results of the recommended survey. It should be read alongside the PRA report to provide a comprehensive assessment of the site with regards to ecological receptors.

1.2. Survey Objectives

In accordance with the Best Practice Guidance¹, the relevant aspects of the building were subject to one PAS survey with surveyors and Night Vision Aids (NVAs) positioned to observe those locations where potential access or roosting features were identified.

The overall objective is to provide a comprehensive baseline upon which to assess the potential impact of the proposed works on roosting bats.

¹ Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

2. Survey Methodology

2.1. Surveyor Details

The surveys, NVA review, assessment and reporting were completed by James Faulconbridge, trading as IOS Ecology. James is a Level 2 Licensed Bat Worker with over 15 years' experience in undertaking ecological assessments to support Planning and Development.

2.2. Survey Methodology

The dusk emergence surveys were conducted following Best Practice methodology for bat surveys.

The dusk emergence survey commenced approximately 15 minutes before sunset and continued until 90 minutes after sunset. The survey was undertaken with regard for the appropriate weather conditions ($\geq 10^{\circ}\text{C}$ at sunset, no/light rain or wind).

Frequency division bat detectors were used to detect and record all bat passes. The surveyors recorded metadata including the time the pass occurred, the behaviour observed (foraging/commuting) and where possible, the species of bat observed. Results from the bat detector recordings were analysed using BatSound/Analook sonogram analysis computer software.

NVAs were used at each surveyor position to ensure comprehensive coverage – these comprised one Nightfox Whisker infra-red camera; and a Guide Track IR35 thermal imaging camera. The footage from these NVAs was watched back to verify or update the survey results confirmed in the field.

2.3. Survey Validity and Update

Bats are transient in their use of roosting habitats, and apparently minor changes in condition or use of the building can affect suitability. However in the absence of significant changes in condition or building use, the nature and character of the site suggest that the PAS survey can be considered valid for a period of 12 months after the survey was completed, until September 2026.

3. Results

3.1. Surveyor Positions

In order to ensure that the building received a survey effort in line with the Best Practice Guidance appropriate to its potential (as identified in the PRA survey) there were two surveyor positions to the north-east and south-west of the building as shown in Map 01 below.



Map 01 – showing the NVA positions in relation to the property.

3.2. PAS Survey 1

3.2.1. Survey Conditions

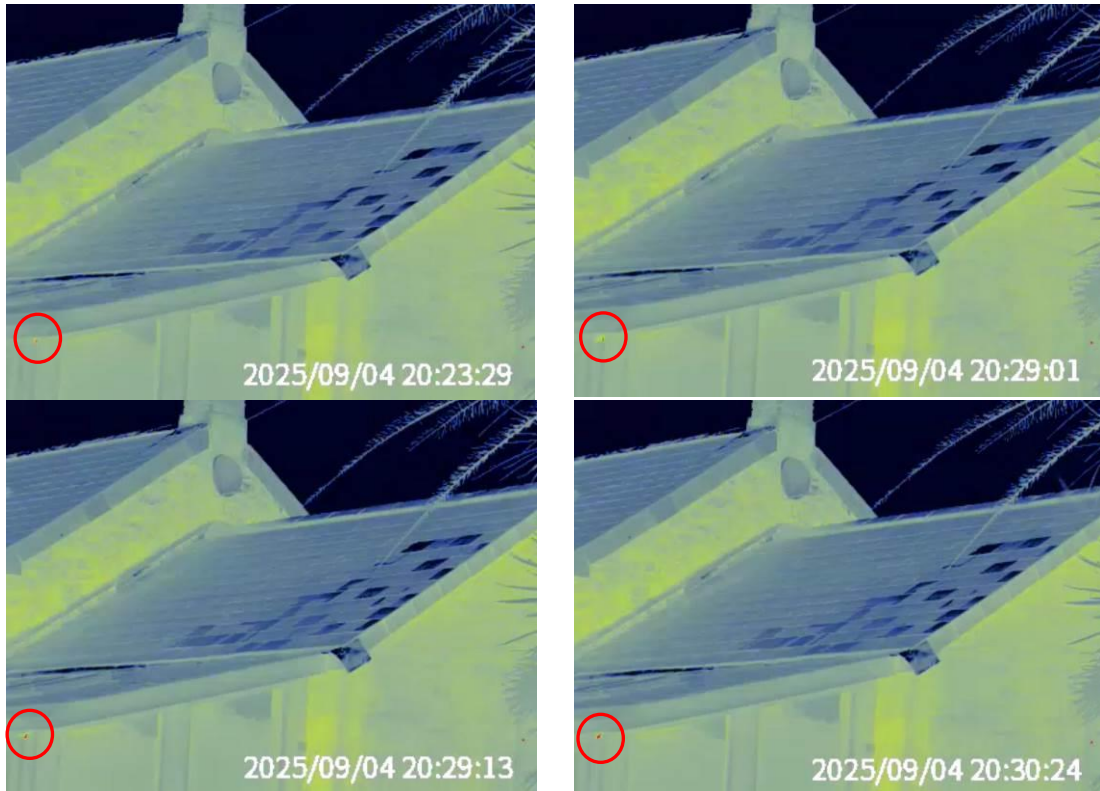
The dusk survey was undertaken on 4th September 2025. The survey commenced at 7:50pm, approximately 15 minutes before sunset at 8:05pm. It was completed at 9:35pm.

The temperature during the survey was 14°C throughout the survey. There was patchy high cloud with a light breeze following a showery day. There was no precipitation during the dusk survey.

3.2.2. Survey Results

The survey did not identify any emergence activity from the Single Storey Extension or the Two Storey Cottage of South Hill – these are the two structural components which would be directly impacted by the proposed works.

Four common pipistrelle bats were confirmed emerging from a roost in the south-western corner of the Mono-Pitch Extension. This is a later addition to the building and is structurally distinct both in terms of design and materials. The first bat was confirmed emerging at 8:23pm – 18 minutes after sunset – with a further three bats emerging between 8:29pm and 8:30pm.



Photos 01 - 04 – screenshots from the video files showing the confirmed emergence from the south-western corner of the mono-pitch extension.

Further foraging by one to two bats at a time was confirmed within the garden area from 8:30pm until the end of the survey.

3.2.3. Conclusion

The survey did not identify any bats emerging from those aspects of the building which are to be directly impacted by the development proposals. These structures were identified as providing Low Potential to support roosting bats during the PRA survey. This is sufficient to conclude 'Likely Absence' from those structures in accordance with the Best Practice Guidance.

The presence of a common pipistrelle day roost within a gap in the soffit/fascia in the south-western corner of the mono-pitch extension was confirmed.

3.3. Consideration of Proximate Roost

3.3.1. Overview

The presence of a confirmed roost within the overall building structure requires careful consideration to identify whether:

- Further surveys would be required in light of this finding;
- Works would require a European Protected Species Mitigation Licence (EPSML) to proceed; or
- Further construction-phase measures are required to control risk and avoid impacts to protected species.

These are given full consideration below and the recommended approach is subsequently identified.

3.3.2. Physical Characteristics

The proposed works would involve the raising of the existing single-storey extension to the first floor and tying in with the existing two-storey cottage. These are granite buildings with synthetic slate-tiled roofs and drop tiles at the gable.

The mono-pitch extension is predominantly timber and glazing to form a garden room and is a later addition to the property. Whilst contiguous, it is structurally distinct and the materials and potential roosting features differ accordingly.



Photo 05 – Showing the structure with distinct components indicated; the single-storey extension is outlined in red - this roof would be raised to first floor level and tied in with the existing two-storey cottage outlined in green. The confirmed common pipistrelle day roost is located in the mono-pitch extension and indicated by the yellow circle.

The works would not directly impact upon the mono-pitch extension and the confirmed roost is located at the south-western corner, physically separated from the proposed area of works.

3.3.3. Requirement for Further Surveys

The assessment of Low Potential was restricted to those aspects of the building to be directly impacted by the works. The presence of additional features of higher potential, such as those at the eaves of the mono-pitch extension, were noted during the PRA but not considered significant when prescribing proportionate surveys to inform the development proposals.

In this instance, the confirmation of the roost within the mono-pitch extension is not considered to warrant a review of the recommended survey requirements identified in the PRA report. Whilst the mono-pitch extension is contiguous with the proposed development area, the nature of the materials and potential roosting features offered does not confer a higher potential for use of the identified Low Potential features on the relevant structures.

No further surveys are therefore required to provide an appropriate ecological baseline in accordance with the Best Practice Guidance.

3.3.4. Requirement for an EPSML

The separation of the confirmed roost from the working area would permit the avoidance of impacts during works.

Appropriate management and design of the construction phase would avoid licensable impacts such as destruction/disturbance/modification of roosts or the killing/injuring of bats.

Provided that avoidance of impacts is secured, an EPSML would not be required for these works.

3.3.5. Recommended Approach

In this instance, the approach recommended can be summarised as follows:

- **No further surveys are required** – the conclusion of Likely Absence from the structures to be impacted by the proposed works can be considered sound;
- **No EPSML is required** provided licensable impacts would be avoided;
- **Adherence to a Precautionary Method of Works is essential** - avoidance of impacts to be secured through appropriate design and management of the construction phase.

3.4. Limitations and Constraints

3.4.1. Seasonal Timing

The survey was undertaken within the main active season in 2025. This is therefore considered to conform with the recommended survey timings within the Good Practice Guidelines.

3.4.2. Survey Conditions

The weather conditions were optimal with no precipitation or other adverse conditions which might be expected to affect bat behaviour.

3.4.3. Visibility and Coverage

The surveys were comprehensive with regards to surveyor visibility.

3.4.4. NVA Footage

The NV camera Field of View (FOV) fully covered the areas of the building under consideration – see Appendix 2 for example screenshots from the footage.

4. Mitigation Strategy

4.1. EPSML Requirement

The project does not require a European Protected Species Mitigation Licence (EPSML) to proceed – discussion of this conclusion is provided in Section 3.3.4 above.

4.2. Precautionary Method of Works

The proposed approach to avoid an EPSML is contingent on works being designed and undertaken in a way that the confirmed roost in the mono-pitch extension is not impacted by the proposed works. This would need to be secured through a Precautionary Method of Works (PMW).

Additionally - as individual bats can be exploratory or make transient use of roosting opportunities, it is important that contractors undertaking the works are aware of the low risk for bats to be encountered within the structures to be directly impacted. Works should therefore proceed with appropriate caution and vigilance.

A PMW is outlined in Appendix 1 of this document and must be followed by contractors undertaking works.

4.3. Planning Recommendations

It is recommended that, if the LPA are minded to grant approval of this application, the requirement for compliance with the PMW is secured by condition.

This condition should be compliance only rather than requiring submission of further documentation to discharge prior to commencement, as no additional information would be required.

4.4. Timing of Works

4.4.1. Bats

It is recommended that works avoid the main maternity season as a precautionary measure. This would involve works taking place between mid-September and mid-May.

Works should also avoid times when bats might be in torpor and therefore more susceptible to disturbance. The evidence gathered by static recordings across the Isles of Scilly by the local Bat Group do not indicate routine hibernation by common pipistrelles during normal weather conditions in the winter due to the unusually mild climate; however if undertaken in the winter, works should avoid times when the overnight temperature drops below 8°C.

4.4.2. Nesting Birds

Assessment of potential for nesting birds, and appropriate mitigation measures, are provided in the PRA report. These recommendations are not repeated here, for brevity.

4.5. Habitat Enhancement / Mitigation

The proposals would not directly affect any confirmed roosts, commuting routes or foraging habitat – therefore no habitat creation or enhancement is required.

If the applicant wished to provide enhancement measures, the installation of a bat box associated with property would have a high likelihood of occupation given the location in optimal habitat on the edge of the settlement. An ideal location would be on the southern gable of the new structure at a height of at least 3m. An open-based box design would ensure that it would not require cleaning. The location and aspect would be optimal for bats such as common pipistrelle which is the dominant species present on the island and the most likely species to use the environs for foraging and roosting.

A suitable box could be purchased or constructed following freely available plans. Kent Bat Box style boxes are slim and easy to construct from appropriate timber using the plans provided at: <http://www.kentbatgroup.org.uk/kent-bat-box.pdf>

Appendix 1 - Precautionary Method Statement

The purpose of this Method Statement is to ensure that proposed works can proceed:

- a) Securing avoidance of impacts to the confirmed roost in the mono-pitch extension;
- b) With due vigilance to the potential presence of bats within the structures to be directly impacted, in acknowledgement that bats can be exploratory or use discrete roosting sites on a transient or occasional basis.

All contractors must read this Method Statement and a copy should be retained on site at all times for the duration of works.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

(a) *To impair their ability -*

- *to survive, to breed or reproduce, or to rear or nurture their young; or*
- *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*

(b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the components of the granite cottage and single-storey extension under development**. The generic recommendations are outlined below - locations where these features occur are listed in the PRA report:

Method of Works – Construction Area

Fascias and Drop Tiles

There are occasional gaps where the fascias meet the walls or where drop tiles are present on the gable - where these are to be impacted as part of the proposed works, they should be carefully removed and the gaps behind them exposed in such a way that, in the unlikely event that bats are present, they are not injured or killed by the action.

Once these areas are fully exposed, they can be visually inspected by contractors. Any cavities exposed by this action should also be carefully inspected and features dismantled by hand where necessary until absence of bats can be confidently confirmed.

Inter-Building Cavity

There is a cavity which runs just below the roofline where the single-storey extension meets the two-storey cottage.

This void should be exposed carefully through removal of the tiles by hand in such a way that, in the unlikely event of a bat roosting below them, the bat is not crushed or injured.

Once this void is fully exposed, it should be carefully inspected until absence of bats can be confidently confirmed before works proceed.

Contractors should be aware of **the confirmed roost in the mono-pitch extension and the measures necessary to protect this feature from damage, disturbance or obstruction during works**. The recommendations are outlined below:

Method of Works – Protection of Confirmed Roost

Contractor Awareness

All site staff should be made aware of the location of the roost and the requirement to avoid any works that could cause direct or indirect impacts or disturbance. This could be achieved through site induction or through the addition of signs or marker tape if multiple contractors are involved throughout the lifespan of the project.

Timing of Works

Works should avoid the main maternity season (mid-May to mid-September) and periods of cold winter weather (overnight temperatures below 8°C), when bats are more susceptible to disturbance.

Exclusion Zone

No scaffolding or materials storage are to be placed directly against or within 2m of the south-western corner of the mono-pitch extension where the roost is present. This is to protect not only the roost entrance but the drop zone below and around the roost where bats will fly when emerging or before re-entry at dawn.

Scaffolding Design

Where scaffolding is required in the vicinity of the roost, it should be designed to avoid physical attachment within the above Exclusion Zone and must not obstruct the flight lines used by emerging bats.

Lighting

Artificial lighting should be avoided in the immediate vicinity of the roost. Any site lighting required should be directed away from the roost area and be fitted with cowls or hoods to prevent light spill.

Noise and Vibration

Works generating high levels of vibration or noise should be kept to a minimum duration in the vicinity of the roost.

Obstruction:

The roost access point and the drop zone around it, as defined by the Exclusion Zone above, must remain unobstructed at all times. No covering, sealing, or temporary works should impede entry or exit points.

Ecological Oversight

If works unavoidably approach the roost location, they should proceed under ecological direction and oversight to ensure compliance with legal protections.

Contractors should be aware of **the process to follow in the unlikely event of finding bats** or evidence indicating that bats are likely to be present:

In the Event of Encountering a Bat
<p>If bats are identified or suspected, works should cease and the named ecologist contacted immediately for advice.</p> <p>If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.</p> <p>Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm and if the ecologist cannot be contacted for advice.</p>

Appendix 2 – NVA Screenshots



NVA S1 – showing footage from the Nightfox Whisker at surveyor position S1.



NVA S2 – showing footage from the Guide Track IR35 at surveyor position S2.