

Council of the Isles of Scilly Delegated Planning Report Householder application

Application Number: P/25/075/HH

UPRN: 000192000868

Received on: 21 August 2025

Valid on: 12 September 2025

Application Expiry date: 7 November 2025

Site notice posted: 12 September 2025

Site notice expiry: 3 October 2025

Applicant: Mr Tony Fleming

Site Address: 7 Buzza Street
Hugh Town
St Mary's
Isles Of Scilly
TR21 0HX

Proposal: To demolish and replace the existing ground floor extension, the addition of a first floor dormer and roof terrace, and internal alterations

Application Type: Householder

Recommendation: Approve

Summary Conditions

1. Standard time limit (3 years)
2. In accordance with the approved plans
3. Materials as shown on approved plans/documents
4. No external illumination
5. Flood Risk Resilience measures
6. Updates SWMP
7. Hours of Construction

Reason for Delegated Decision

No Councillor has requested that the application come to the Full Council. The decision defaults to the level of Delegated:

- Not a Councillor ✓
- Not a Senior Officer (or Officer with influence over planning Decisions) ✓
- No relation to a Councillor/Officer ✓
- Not Major ✓
- Not Council's own application ✓
- Not a departure from the Development Plan ✓
- Not Called in ✓

Lead Member Planning Agreed

Name: Cllr D Marcus

Date: 17/11/2025

Site Description and Proposed Development

The proposal at 7 Buzza Street, Hugh Town, St Mary's seeks permission to demolish and replace the existing ground floor extension, construct a first-floor dormer and roof terrace, and carry out internal alterations to the dwelling.

Certificate: A

Other Land Owners: n/a

Consultations and Publicity

The application has had a site notice on display for 21 days (12/09/2025 – 03/10/2025). The application appeared on the weekly list on [15 September 2025](#). Due to the nature of the proposal a number of external consultations have been required, a summary of responses is set out below.

Consultee	Date of Response	Comments
Lead Local Flood Authority	20/10/2025	Comments that missing information needs to be addressed including: <ul style="list-style-type: none">• Additional resilience measures (e.g., tiled floors, galvanised kitchen units, removable rugs).• Existing surface water and foul water disposal methods.• A map showing pedestrian routes from the east elevation entrance, indicating whether these lead toward or away from areas at risk of tidal flooding.
South West Water	06/10/2025	Asset Protection: There are no assets within the application site Surface Water: It is noted that surface water will discharge to an existing soakaway. This is acceptable under the Run-Off Destination Hierarchy. Foul Water: It is noted foul water discharge will be to the mains public sewer.

Cornwall fire and rescue	27/10/2025	The only relevant comment I would make is to remind the applicant if the premises are to be used for any form of holiday accommodation then the fire authority will need to be consulted During the Building Regs application process [which should take place] to avoid any potential costly remediation work that may be required to comply with the Fire Safety Order
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Representations from Residents:

[4] letters of objection have been received and include the following points:

One neighbour expresses strong concerns about the proposed development at 7 Buzza Street, particularly the roof terrace and first-floor dormer. They argue that these elements would result in significant overlooking and loss of privacy to their property and garden, which is directly adjacent. The letter also raises issues about the scale and design of the extension, suggesting it is out of character with the surrounding area and could set a precedent for similar developments. The representation urges the planning authority to refuse the application or require modifications to protect residential amenities.

The company, which manages a neighbouring holiday lets at 8a and 8b Buzza Street, objects to the proposed dormer and roof terrace at No. 7. They argue the development would cause serious harm to residential amenity, citing loss of daylight, overbearing impact, and intrusion of privacy due to the terrace's proximity to bedroom windows. They also raise concerns about noise disturbance and the claustrophobic effect of proposed screening. The letter stresses that the changes would negatively affect the appeal of their holiday accommodation and, by extension, the local visitor economy. They request refusal of the dormer and roof terrace elements of the proposal.

The owner of Scilly Self Catering, which operates holiday accommodation at 8a and 8b Buzza Street, objects to the proposed roof terrace and dormer at No. 7. They raise concerns about loss of privacy, reduced daylight, and an overbearing impact on adjacent bedrooms and courtyard areas. The letter argues that the proposed screening would worsen the situation by creating a claustrophobic environment and would not effectively mitigate noise disturbance. It also highlights the potential negative impact on guest experience, which could harm the local visitor economy. The representation requests that the Council refuse the roof terrace and dormer elements of the proposal.

A fourth letter of representation who owns and lets 8b Buzza Street (Saltaire), supports some aspects of the proposal but strongly objects to the roof terrace and large dormer window. She raises concerns about loss of privacy, light, and increased noise near her only bedroom window, which offers the property's only sea view—a key feature for her holiday letting business. She believes the proposed screen will block this view and requests that the sun deck be refused.

She also suggests that if the terrace is removed, the dormer window should be reduced in size. She offers access to her property for site inspection and urges the Council to consider the impact carefully.

Relevant Planning History:

No planning history relevant under the adopted or emerging Local Plan but P5321 Conversion of Dwelling to a C3 flat and a house. Permitted 2003

Constraints:

- Conservation Area
- Area of Outstanding Natural Beauty
- Heritage Coast
- Flood Prone Land
- Surface water flood risk – High, Medium and Low risk – up to 0.2m depth
- Flood Zone 3

Planning Assessment

Design	YES OR NO
Would the proposal maintain the character and qualities of the area in which it is proposed?	y
Would the proposal appear in-keeping with the appearance of the existing dwelling, street and area?	y
Would the materials, details and features match the existing dwelling and be consistent with the general use of materials in the area?	y
Would the proposal leave adequate garden area and green space to prevent the proposal appearing as an overdevelopment of the site and to ensure an adequate level of amenity?	y
Is the parking and turning provision on site acceptable?	n/a
Would the proposal generally appear to be secondary or subservient to the main building?	y
Is the scale proposed in accordance with NDSS	y

Amenity	YES OR NO
Is the proposal acceptable with regard to any significant overlooking/loss of privacy issues?	y
Has the proposal been designed to respect the amenities of neighbouring properties avoiding unreasonable loss of light or an overbearing impact?	y
Is the proposal acceptable with regard to any significant change or intensification of use?	y

Heritage	YES OR NO
Would the proposal sustain or enhance the character and appearance of the Conservation Area?	y
If within the setting of, or a listed building, a) Will the development preserve the character and special architectural or historic interest of the building? b) Will the development preserve the setting of the building?	n/a
Within an Archaeological Constraint Area	n
Other Impacts Does the proposal comply with Highways standing advice such that it does not adversely affect highway safety?	n/a
Impact on protected trees Will this be acceptable Can impact be properly mitigated?	n/a
Has the proposal been designed to prevent the loss of any significant wildlife habitats or proposes appropriate mitigation where this has been demonstrated to be unavoidable?	n/a
Does the proposal conserve and enhance the landscape and scenic beauty of the AONB	y
Are the Water connection/foul or surface water drainage details acceptable?	n/a
If sited within a Critical Flood Risk Area (low lying land below the 5m datum) is the application accompanied by an acceptable Flood Risk Assessment?	y
Are there external lights	n

Protected Species	YES OR NO
Does the proposal include any re-roofing works or other alteration to the roof	y
Does the proposal include any demolition	n
Does the proposal include tree or hedge removal	n
Is an assessment of impact on protected species required	n
Has an assessment been provided that adequately assesses the site and includes mitigation, enhancement and timing requirements	y
Are biodiversity enhancement measures required	n
Is a condition required to provide biodiversity enhancement measures	n

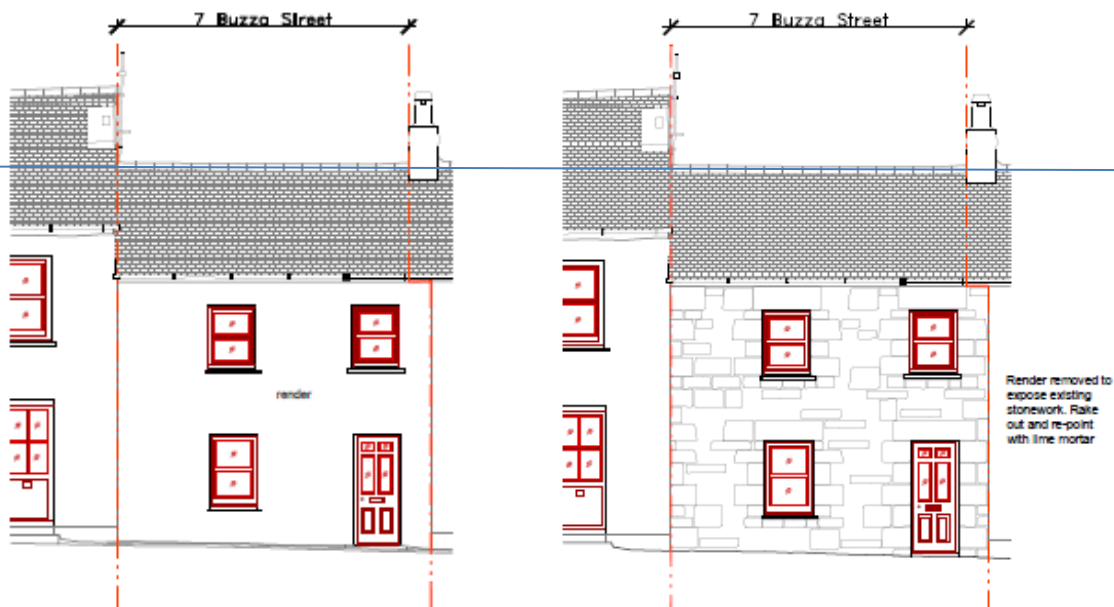
Waste Management	YES OR NO
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Does the proposal generate construction waste	y
Does the proposal materially increase the use of the site to require additional long-term waste management facilities	n
Does the proposal include a Site Waste Management Plan	partially
Is a condition required to secure a Site Waste Management Plan	y

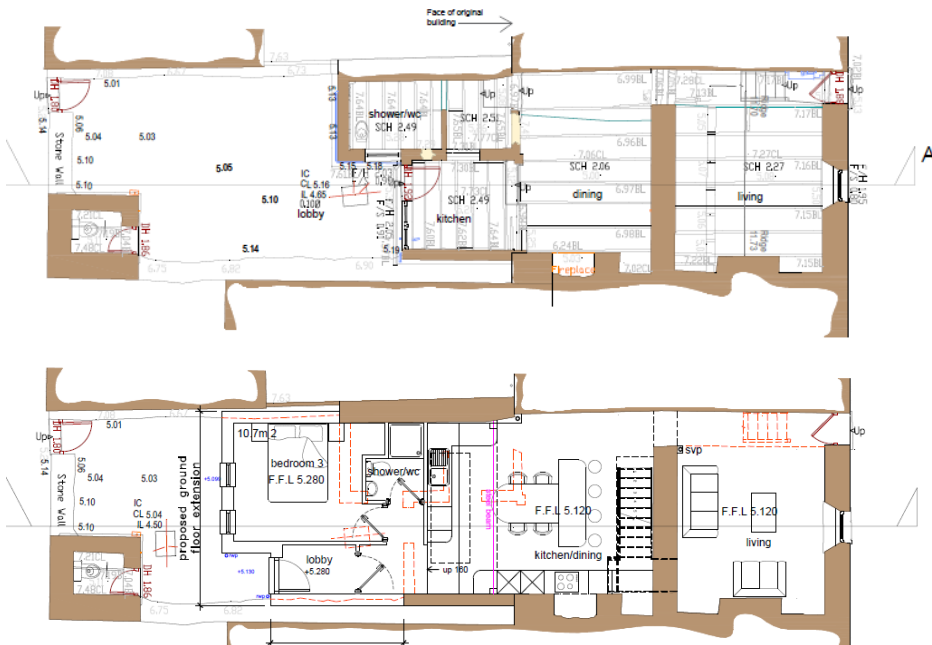
Sustainable Design	YES OR NO
Does the proposal materially increase the use of the site to require additional sustainable design measures	n
Does the proposal include any site specific sustainable design measures	n
Is a condition required to secure a Sustainable Design Measures	n

Planning Assessment

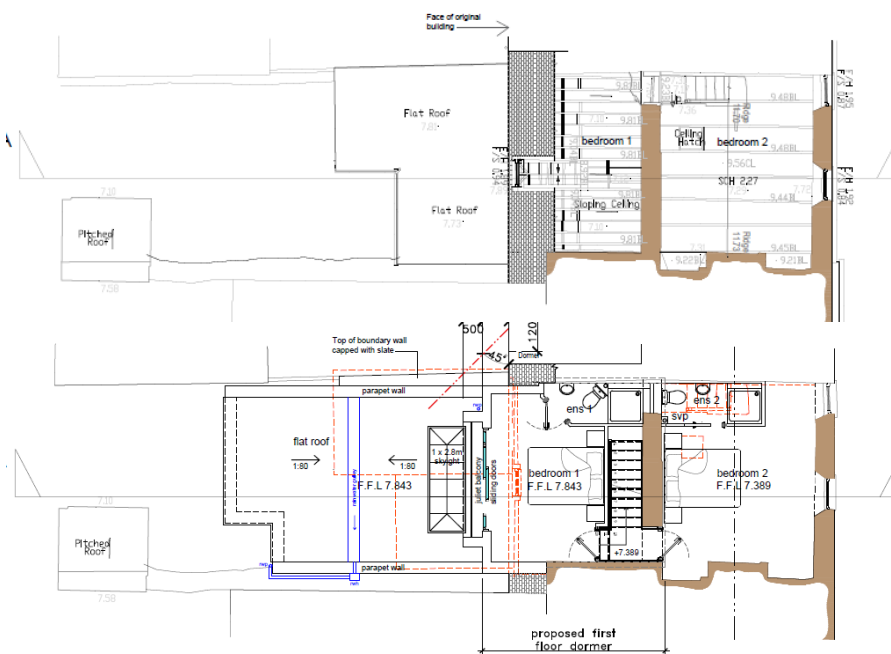
The proposal relates to a single mid-terraced dwelling on Buzza Street in Hugh Town where the principle of alterations and extensions is acceptable. The main issues to consider therefore are whether the alterations and extensions respect the wider character of the area, as a conservation area, whether there are any adverse impacts on the amenity of residential properties, any impacts on highway safety and whether the scale of the proposed extension is within the minimum and maximum space standards of the NDSS as adopted by Policy LC8 of the Local Plan.



Existing (L) and Proposed Front Elevation (the proposal includes render removal)



Existing (top) and Proposed Ground Floor plan



Existing (Top) and Proposed First Floor



Scale of the Proposed development (LC8)

Part 1(b) of Policy LC8 specifies that extensions should meet the minimum and be no more than 30% above as a maximum. Part 3 requires the calculations of existing and proposed to be submitted. The application details state that the property will increase gross internal floorspace from 86.22m² to 108.54m². The property increases from a 2-bedroom house to a 3-bedroom house.

The NDSS are therefore:

- 2 bed, 2 storey dwelling: 79m² – based on 4 people sharing
- 3 bed, 2 storey dwelling: 102m² – based on 6 people sharing

A proposed 3-bedroom dwelling at 108.54m² is around 6.4% above the national minimum. The proposal is therefore within the policy threshold of Policy LC8 of the Local Plan.

Sustainability (SS2)

The Local Plan sets out several policy requirements to ensure all development is sustainable. This includes Policies SS1 and SS2. The Design and Access Statement outline several sustainable design measures that support the proposal:

- Enhanced insulation and airtightness to exceed minimum energy efficiency standards.
- Installation of energy-efficient glazing and LED lighting.
- Inclusion of water-saving fixtures such as dual-flush toilets and efficient taps.

These measures demonstrate a clear effort to reduce environmental impact and

support local sustainability objectives. The proposal is therefore considered to comply with Policies SS1 and SS2 of the Isles of Scilly Local Plan.

Highway Safety (SS10)

Policy SS10 of the Local Plan seeks to ensure that development does not give rise to issues of highway safety. This includes not having an adverse impact upon the local highway network and specifically requiring a Travel Plan and Transport Assessment for development that generates significant amounts of vehicular movements. This proposal relates to a modest-sized home and does not significantly increase its scale. I note there is no off-street car-parking currently, however the increase from a two-bed to a three-bed in a sustainable location does not trigger the need to provide off-street car parking. The property is in a sustainable location in Hugh Town where shops, services and amenities are all within walking distance.

It is noted that construction may require disruption in the immediate vicinity but that is a short-term impact that will need to be managed by the applicant and any contractors used. It will not be appropriate to use public roads as material storage areas for construction. Subject to this the proposal is not deemed to create any harm to the local highway network or highway safety generally. On the basis that a small private rear yard will remain for the storage of bicycles, I consider the proposal meets the requirements of Policy SS10 of the Local Plan.

Flood Risk (SS7)

Policy SS7 of the Local Plan is a critical consideration given the location of the dwelling within Flood Zone 3 with a risk from tidal inundation, additionally the area is located within area that has a low risk for surface water flooding, including depths ranging from 0.2 (low) – 1.2 (very low), although mapped data shows this to be extremely close to areas of medium to high risk. Building a ground floor extension in this area, particularly where there is a bedroom would require occupants to have a clear means of escape. A Flood Risk Assessment has been submitted which provides a basic level of assessment suitable for a householder application, and it meets the minimum NPPF requirements.

Following the initial concerns of deficiencies of the FRA, raised by the Lead Local Flood Authority, additional information has been provided. The proposal has sought to address the following issues:

LLFA Comments: Requires flood level and climate change allowance to be included.

Amended FRA: Includes estimated flood level for 1 in 200-year tidal flood plus climate change for next 100 years

- **FRA:** Provides EA Product 4 data:
 - 1 in 200-year defended: **5.34m AOD**
 - Climate change (+1037mm): **5.41m AOD**
 - Finished Floor Level (FFL): **5.28m AOD**

- Flood depth: up to **0.14m** with climate change.

Conclusion: Addressed fully.

LLFA Comments: Plans need to show clear comparison of finished floor level (FFL) to Ordnance Datum and flood depth relative to this level

Amended FRA: States FFL (5.28m AOD) and compares to flood levels (up to 5.42m AOD).

Conclusion: Addressed fully.

LLFA Comments: Plans show electrics only 450mm above FFL. These should be 600mm above expected flood level

Amended FRA: Sets mitigation level at 5.58m AOD, which is 160mm above worst-case flood level. Recommends electrics above this level or flood-resistant design.

Conclusion: Exceeds LLFA request.

LLFA Comments: No mention of flood doors/barriers or non-return valves (NRV)

Amended FRA: Now mentions internal resilience (flooring, finishes, insulation) but **does NOT mention flood doors, barriers, or NRVs.**

Conclusion: Missing external resistance measures

LLFA Comments: Lacks details of internal mitigation measures, e.g. tiled floors, galvanized kitchen units, rugs etc)

Amended FRA: Now mentions lime plaster, treated timber, water-resistant insulation, electrical resilience. Does NOT mention kitchens or removable rugs.

Conclusion: Partially addressed but whilst some measures listed, not all examples LLFA suggested.

LLFA Comments: Current surface water and foul water disposal methods are not provided.

Amended FRA: States existing drainage system will remain but does not detail foul water disposal or capacity.

Conclusion: Needs more detail on drainage arrangements.

LLFA Comments: No details of safe route from primary entrance and whether it leads away from tidal flooding

Amended FRA: Provides safe route description (north to Church Street) and includes a map in Annex B.

Conclusion: Fully Addressed

Overall whilst the amended FRA has sought to address the concerns raised by the LLFA in relation to the safety of occupants, it is likely that the scale of the extensions is acceptable. However, it is considered that a pre-commencement condition should be imposed to ensure the construction builds-in all adequate mitigation and there is a clear and safe means of escape for occupants. Subject

to this it is considered that the proposal would satisfy the requirements of Policy SS7 of the Isles of Scilly Local Plan (2015-2030).

Neighbouring Amenity (LC8)

Policy LC8 requires development to avoid unacceptable impacts on neighbouring amenity, including loss of privacy through overlooking, reduction of daylight or sunlight, overbearing effects, and increased noise or disturbance. Proposals should be sensitive to the scale, massing, and orientation of surrounding development to maintain a good standard of living conditions for adjacent occupiers.

The terrace contains a variety of rear extensions in terms of style and size. No. 7 currently has modest flat-roof single storey extensions and a centrally positioned dormer window within the rear facing roof slope.

The proposal seeks to remove the small dormer and construct a larger dormer extension to span to a width of around 4.5m, which is almost the full width of the dwelling. This will project 600mm further into the yard than the neighbouring property at No. 8. This change has some potential to reduce light levels to side-facing and rear-facing windows at No. 8.

The proposed reconstruction of the ground floor extensions, will see this shifted in from the boundary with number 8. The replacement extension, although larger, will be single storey and retain flat roofs. This is not considered to result in significant amenity impacts. The original submission included a roof terrace; which has now been removed due to concerns over privacy and amenity issues.

The amended plans have been subject to re-consultation. The amended plans remove the roof terrace and instead propose a Juliette balcony with a cowled canopy. The canopy is intended to protect the privacy of No. 8 by limiting views from the balcony towards its side-facing windows.

In order to demonstrate the impact on the neighbouring property the plans show a 45-degree line drawn from the rear upper floor window of number 8. This is advocated in the Design Guide as a means to demonstrate an acceptable impact upon a neighbouring property. This does demonstrate that although close the projecting cowled dormer does not restrict outlook for the neighbouring property. Although it is likely to have reduced light levels, its general outlook would be protected.

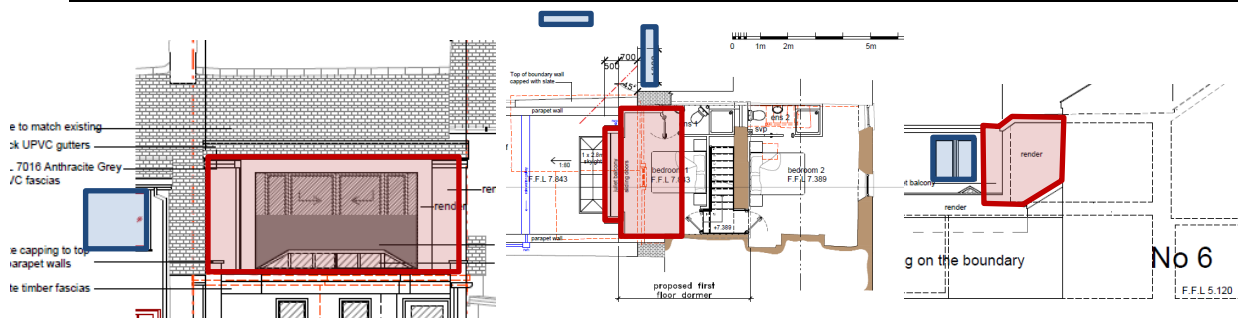
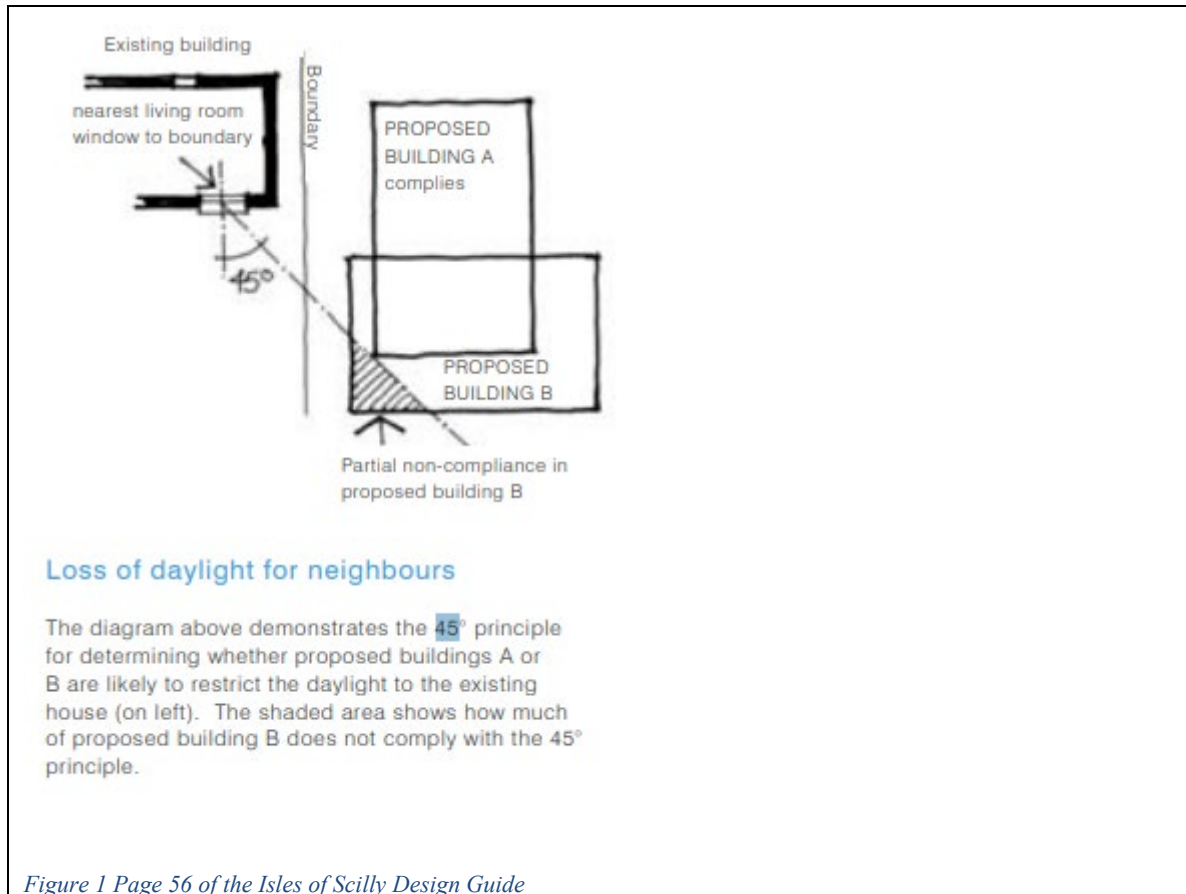




Figure 3 Existing window arrangements at first floor between number 6 (Blue) and number 7 (RED) (application site)

The main planning issues arising from neighbouring properties who have raised objections include:

- **Loss of privacy** due to the roof terrace and dormer overlooking neighbouring properties and gardens.

Response to this representation: This is a material planning consideration. The roof terrace was removed from the proposal following officer advice. The amended plans now show a Juliette balcony with a cowled canopy designed to limit direct views into neighbouring windows.

- **Loss of daylight** to adjacent bedrooms and courtyard areas.

Response to this representation: This is a material planning consideration. The enlarged dormer will project further than the neighbour's dormer and may reduce light to side-facing and rear-facing windows at No. 8. However, the degree of impact appears modest on the basis of complying with the 45-degree principle advocated for in the local design guide. It is not considered to be justified as a reason for refusal on its own.

- **Overbearing impact** of the proposed structures, particularly the dormer and screening.

Response to this representation: This is a material consideration but the revised design mitigates the most significant concerns.

- **Noise disturbance** from use of the roof terrace, affecting residential and holiday accommodation.

Response to this representation: Noise disturbance is a material consideration, however the removal of the roof terrace, coupled with the cowling of the Juliette balcony eliminates the potential for elevated outdoor activity.

- **Claustrophobic effect** caused by proposed screening near neighbouring windows.

Response to this representation: This is a valid concern but with the removal of the roof terrace and terrace screening is considered to address this matter sufficiently.

- **Out of character design**, with concerns about scale and appearance not fitting the surrounding area.

Response to this representation: The terrace of six properties along the west side of Buzza Street is relatively uniform from the front but displays a variety of extensions of differing styles and sizes to the rear. In assessing character within a conservation area, it is a material consideration that development should preserve or enhance its significance. Development that fails to do so should be resisted. Design and impact on the conservation area is addressed in more detail below.

Design and Visual Impact (OE1 and OE7)

It is both a statutory duty and a local and national policy requirement to ensure the wider character of the conservation area is not harmed as a result of a proposed development. Policy OE7 of the Local Plan requires development to either preserve or enhance the character of the area.

Given the nature of surrounding approved extensions to the rear of this terrace, which includes a range of styles, it is difficult to conclude that the proposal is out of character in this context. Although the rear of the application site backs on to a through-road, it remains the rear of the terrace. For example, No. 8 Buzza Street has a larger flat-roof dormer and a two-storey rear extension, while No. 6 is notably taller than Nos. 7, 8, and 9. In my view there is little uniformity to the rear elevations that would be harmed by the proposed extension.

The use of a slate roof on the dormer and rendered walls to match the existing property ensures consistency with the terrace. While the cowed Juliette balcony detail is not a common feature, it is not considered to cause obvious harm. It has been introduced specifically to protect neighbouring privacy and amenity, and this alone does not amount to significant harm to the character of the property or the conservation area.

Overall, whilst the proposal will see the removal of a characteristic small dormer window feature, in the context of the scale of surrounding development together with the use of appropriate finishing materials, I consider the proposal is not out of keeping in the context of the rear of this terrace and will not harm the wider character of the conservation area.

Other Issues

Biodiversity (OE2 and SS2)

A Preliminary Roost Assessment (PRA) has been submitted. The survey found negligible potential for roosting bats and no evidence of historic or current use. No further surveys are recommended, but precautionary measures are advised during works to ensure compliance with the Habitat Regulations and Wildlife and Countryside Act. No obvious nesting habitat for birds was identified, though contractors should check for nests before works commence. The proposals are therefore unlikely to result in harm to protected species or cause a net loss of biodiversity, and the precautionary approach aligns with Policies OE2 and SS2.

Waste Management (SS2)

The proposal involves a number of both construction elements and demolition elements and will therefore generate construction waste. To address this the applicant has submitted a site waste management plan (SWMP). This does address essential project details such as the site address, client, and contractor (to be confirmed), and identifies the Site Waste Coordinator as the principal contractor. It sets clear objectives to minimise waste, maximise reuse and recycling, and manage waste as close to the site as possible. Responsibilities are well-defined for the Site Waste Coordinator, contractors, and waste contractors, including compliance with Duty of Care and proper record-keeping. The plan specifies arrangements for segregation and storage, including designated areas, color-coded containers, and daily checks. It also requires training for all staff and subcontractors to ensure correct implementation. Finally, it outlines monitoring procedures, referencing the need to measure and record estimated, and actual waste generated, along with carrier documentation.

Whilst the SWMP provides a good framework it omits key details necessary for effective implementation. It does not include estimated volumes or types of waste, a specific list of materials for reuse or recycling (such as stone, timber, or metals), named waste contractors or disposal facilities, clear arrangements for off-island transport and final disposal, which is particularly important in the Isles of Scilly context, or a timeline for reporting and compliance checks. To address these gaps and ensure appropriate waste management on site, a pre-commencement condition should be imposed requiring the submission and approval of an updated SWMP containing this information before any works begin.

Subject to this I consider that the proposal would accord with Policy SS2 and Policy OE5 of the Isles of Scilly Local Plan (2015-2030).

Conclusion: The proposed development has been assessed against the relevant policies of the Isles of Scilly Local Plan (2015–2030), the National Planning Policy Framework, and other material considerations. The principle of extending and altering the dwelling is acceptable. The amended design removes the roof terrace and introduces measures to protect neighbouring privacy and amenity, reducing the most significant concerns raised in representations. While some impact will inevitably occur, this is considered modest and not sufficient to justify refusal.

The proposal will not harm the character or appearance of the conservation area, given the varied nature of rear extensions within the terrace and the use of appropriate materials. Subject to conditions securing flood resilience measures, an updated Site Waste Management Plan, compliance with mitigation measures of the PRA and other standard requirements, the development is considered to

comply with Policies SS2, SS7, OE5, OE7, and LC8 of the Local Plan. Accordingly, planning permission is recommended for approval, subject to the conditions set out below.

EIA: Given the scale, nature, and location of the development, it is not considered EIA development as it would not have significant effects on the environment.

Proactive working: In accordance with the National Planning Policy Framework, the Council has worked positively and proactively with the applicant to resolve planning issues and enable permission to be granted. This application has been considered in accordance with Section 38 of the Planning and Compulsory Purchase Act 2004 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Planning Policy: Under Section 70 of the Town and Country Planning Act 1990, regard must be had to the development plan, any local finance considerations, and other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise. For decision-making purposes, the development plan for the Isles of Scilly comprises the Isles of Scilly Local Plan 2015–2030 (adopted March 2021).

The relevant development plan policies that have been taken into consideration are set out below:

Isles of Scilly Local Plan, 2015-2030

Policy	Tick if Used ✓
Policy SS1 Principles of Sustainable Development	
Policy SS2 Sustainable quality design and place-making	✓
Policy SS3 Re-use of Buildings	
Policy SS4 Protection of retailing, recreation and community facilities	
Policy SS5 Physical Infrastructure	
Policy SS6 Water and Wastewater Management	
Policy SS7 Flood Avoidance and Coastal Erosion	✓
Policy SS8 Renewable Energy Developments	
Policy SS9 Travel and Transport	
Policy SS10 Managing Movement	
Policy OE1 Protecting and Enhancing the landscape and seascape	
Policy OE2 Biodiversity and Geodiversity	
Policy OE3 Managing Pollution	
<i>Policy OE4 Protecting Scilly's Dark Night Skies</i>	
Policy OE5 Managing Waste	
Policy OE6 Minerals	
Policy OE7 Development affecting heritage	✓

Policy LC1 Isles of Scilly Housing Strategy to 2030	
Policy LC2 Qualifying for Affordable Housing	
Policy LC3 Balanced Housing Stock	
Policy LC4 Staff Accommodation	
Policy LC5 Removal of Occupancy Conditions	
Policy LC6 Housing Allocations	
Policy LC7 Windfall Housing:	
Policy LC8 Replacement Dwellings and Residential Extensions	✓
Policy LC9 Homes in Multiple Occupation	
Policy WC1 General Employment Policy	
Policy WC2 Home based businesses	
Policy WC3 New Employment Development	
Policy WC4 Alternative Uses for Business/Industrial land and buildings	
Policy WC5 Visitor Economy and Tourism Developments	

Other material considerations include the policies of the National Planning Policy Framework (NPPF) and guidance in Planning Practice Guidance (PPG).

Considerations under Human Rights Act 1998 and Equalities Act 2010: In reaching this recommendation, the provisions of the Human Rights Act 1998 and the Equality Act 2010 have been considered. Under section 149 of the Equality Act, the authority must have due regard to the need to:

- a) Eliminate discrimination, harassment, victimisation and other prohibited conduct;
- b) Advance equality of opportunity between persons who share a protected characteristic and those who do not; and
- c) Foster good relations between persons who share a protected characteristic and those who do not.

Advancing equality of opportunity includes:

- Removing or minimising disadvantages linked to protected characteristics;
- Meeting different needs of persons with protected characteristics; and
- Encouraging participation in public life where it is disproportionately low.

There is no absolute duty to remove disadvantage, but the authority must have regard to these matters when considering the merits of the application. This report confirms that such regard has been given.

Recommended Conditions:

C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

- C2** The development hereby permitted shall be carried out in accordance with the approved details only including:
- Plan 1, Location and Block Plan, drawing number: KB0489.1 date stamped 23/10/2025
 - Plan 2, Proposed Site Plan/Roof Plan (AMENDED), drawing number: KB0489.6 Rev C, dated 05/11/2025
 - Plan 3, Proposed Ground floor and First floor Plans (AMENDED), drawing number: KB0489.6 Rev C, dated 05/11/2025
 - Plan 4, Proposed North West and South East Elevations (AMENDED), drawing number: KB0489.8, Rev D, dated 05/11/2025
 - Plan 5, Proposed South West and North East Elevations (AMENDED), drawing number: KB0489.5 Rev B, dated 02/12/2025
 - Plan 6, Existing and Proposed Section A-A (AMENDED), drawing number: KB0489.10 Rev C dated 05/11/2025
 - Preliminary Roost Assessment, Plan for Ecology, Ref: 25-8-6 with a report date of 09/09/2025 by James Faulconbridge.
 - Site Waste Management Plan by Living Designs
 - Updated Flood Risk Management Plan, Nijhuis, Ref: J-XXXXX-HG-01 dated 11 November 2025

These are stamped as APPROVED

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

- C3** The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as such thereafter.

Reason: To safeguard the appearance of the building and the character of the area.

- C4** No external artificial lighting shall be installed within the application site without the prior written approval of the Local Planning Authority. Details to be submitted, under the standard discharge of condition process, shall include the location, design, luminance, means of control, and measures to minimise light spill. The lighting shall be installed and maintained in accordance with the approved details thereafter.

Reason: To preserve the scenic beauty of the Isles of Scilly as a designated Area of Outstanding Natural Beauty which includes its Dark Night Skies, including the Garrison Dark Sky Discovery Site, in accordance Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

- C5** No development shall commence until a detailed scheme for flood resilience and resistance measures has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:
- Installation of flood doors or barriers and non-return valves on drainage outlets.

- Internal resilience measures such as tiled floors, water-resistant kitchen units, and removable floor coverings.
- Confirmation of foul water disposal arrangements and capacity.

The approved measures shall be implemented in full prior to occupation and retained thereafter.

Reason: To ensure the development incorporates appropriate flood mitigation in accordance with Policy SS7 of the Isles of Scilly Local Plan and paragraphs 167–169 of the NPPF.

C6 No development shall commence until an updated Site Waste Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall include:

- Estimated volumes and types of waste.
- Specific materials for reuse/recycling (e.g., stone, timber, metals).
- Named waste contractors and disposal facilities.
- Arrangements for off-island transport and final disposal.
- A timeline for reporting and compliance checks.

The development shall thereafter be carried out in accordance with the approved plan.

Reason: To ensure sustainable waste management in accordance with Policy SS2 and OE5 of the Isles of Scilly Local Plan.

C7 The development shall be carried out in accordance with the recommendations set out in the Preliminary Roost Assessment (James Faulconbridge, September 2025), including adherence to the precautionary method statement for bats and checks for nesting birds prior to works. If evidence of bats or nesting birds is found, works shall cease and advice sought from a qualified ecologist.

Reason: To ensure compliance with the Conservation of Habitats and Species Regulations 2017 and Wildlife and Countryside Act 1981, and to safeguard protected species in accordance with Policies OE2 and SS2 of the Local Plan.

C8 No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.

Reason: In the interests of protecting the residential amenities of the islands.

Print Name: Lisa Walton

05/12/2025

Job Title: Chief Planning Officer

Signed:



Authorised Officer with Delegated Authority to determine Planning Applications
