

DESIGN AND ACCESS STATEMENT

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By Liv Rickman at 11:43 am, Oct 22, 2025

Atlantic View
High Lanes
St Mary's
Isles of Scilly
TR21 0NW



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1. Introduction, Client brief and outline

This statement has been prepared in support of a planning application for the proposed updating, renovation and small extension of Atlantic View.

Atlantic View, which has been un-occupied for some 3 years, was purchased recently by Charlotte and Truan Hicks to become the 'forever home' for Charlotte and Truan and their three children. Both are Scillonians and have extensive resident Scillonian families.

Atlantic View has been somewhat neglected and is in serious need of updating, with outdated heating systems, a failing roof covered with asbestos cement tiles, poor insulation and a very poor EPC at the low end of F. The Eastern extension and Southern conservatory are in poor or dangerous condition, with large areas of damp, and need demolishing. The internal layout is confusing and not suitable for a modern open lifestyle, and the bathrooms and kitchen are very tired and dated.

The brief is to maintain 5 bedrooms, modernise the bathrooms, rationalise the internal layout, bring the structure and heating system up to modern sustainable standards.

This statement illustrates the considered assessment and evaluation of the property and its context, and outlines the thought processes leading to the re-working and rationalising of the internal layout, the upgrading of everything required to make the property sustainable and suitable for the 21st Century and a considered re-design to update the elevations.

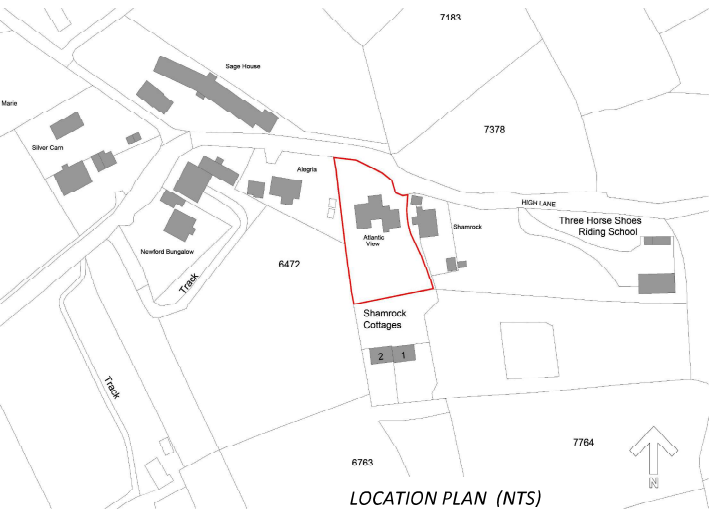


2. Location, site setting and Context

Atlantic View is situated approximately 1.5 miles North (7 minutes by bicycle) of the centre of Hugh Town.

Atlantic view sits in an irregular shaped plot of approximately 0.45 Acres (0.1814 Ha) in area, which slopes gently down from North to South. The Northern boundary, facing High Lane, is a Cornish Hedge. The Eastern boundary is a post and mesh fence shared with Shamrock. The Western boundary was an overgrown hedge, which, subsequent to the purchase of the property, has been trimmed back and brought under control. The Southern boundary is a timber post and rail fence.

The garden area is generally mown grass, with few plants and has large areas of concrete and concrete paths. There is a tarmac drive.



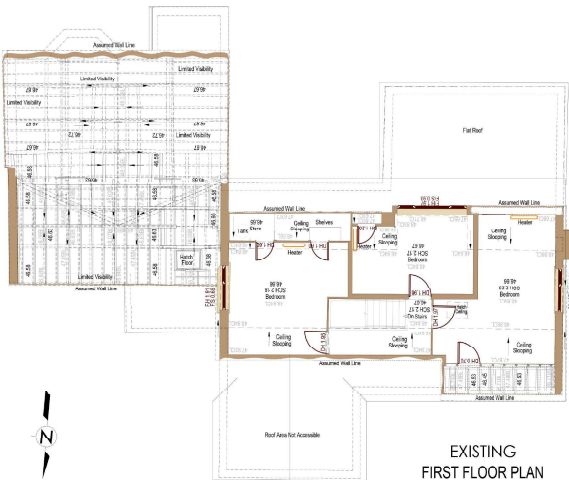
3. Design development and final proposals

The most efficient and logical design produced during the design stages, which fulfilled the clients’ aspirations for their ‘new’ home, would have exceeded the Council’s policy on size of extensions. The preferred design was therefore downgraded to comply with the standards, and it is these final proposals that form the basis of the submission.

Currently the ‘main access’ is from the tarmac parking space to the door on the side of the house to the Eastern extension. The ‘front door’ is hidden from view. Access to the rest of the dwelling from here is somewhat tortuous.

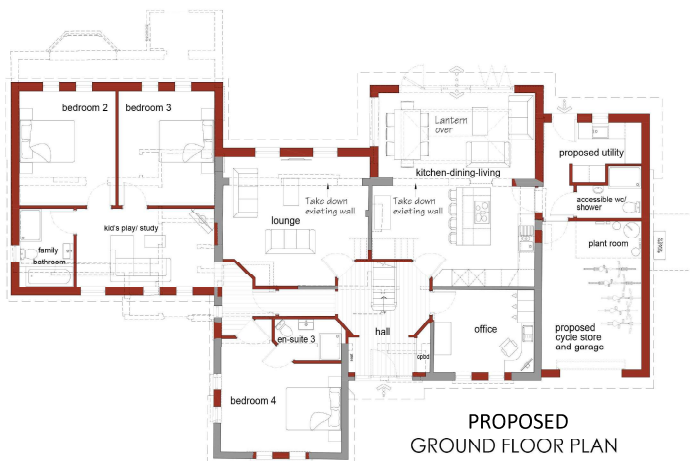


The existing first floor has no bathroom facilities and three awkward and small bedrooms. The landing access to one of the bedrooms is in the slope of the roof, which is awkward to use because it is not full height across its width. There are a lot of damp areas from the failing roof.

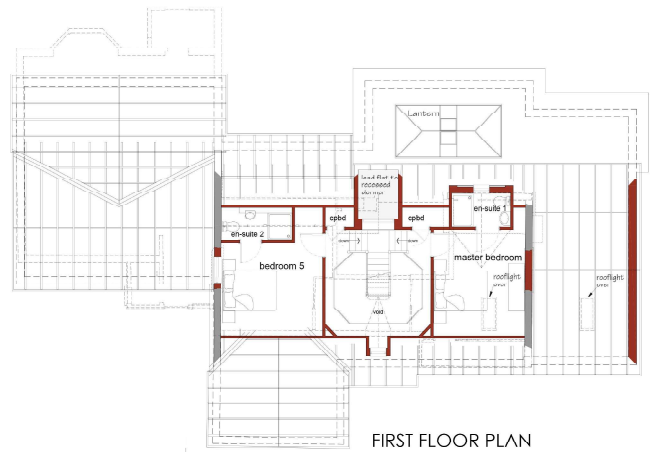


The key to the re-design lay in rationalising the ground floor by centralising the main entrance and the staircase, and creating a new drive access to the front door and the proposed garage/cycle store. The proposed central staircase and hall then provide clear and easy access to all of the habitable areas of the house.

At the first-floor level, the central staircase removes any need for a corridor to access the bedrooms, as is the problem with the existing layout.



PROPOSED
GROUND FLOOR PLAN



FIRST FLOOR PLAN

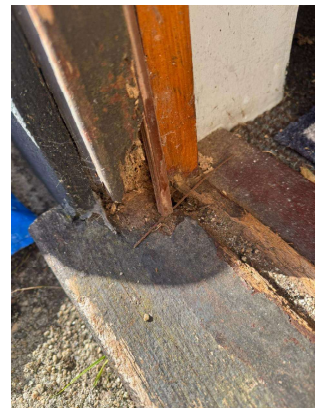
The existing Eastern extension build is not of sufficient quality to upgrade and renovate so it will be demolished and rebuilt. With planning constraints (allowable size of extension) in mind, the rebuild will be smaller than the original to enable the proposed and essential western extension to be of a practical and suitable size. This extension will provide necessary facilities including: utility, shower/ wc, plant room, garage and cycle store

In more detail, the Western extension includes a small utility sufficient to cater for the laundry needs of a 5-person family with many outdoor pursuits, an accessible wc and shower, and a 'garage' which includes the minimum area necessary for all the equipment for an air source heat pump and battery storage and the family bicycles, and other associated domestic storage requirements

The re-design, with the centralised main access and staircase, rationalises all of the daily family based functions together (kitchen/dining/access to the garden, utility functions), focusses the children's bedrooms together on the same level

Again, with the central staircase, the first floor works much more efficiently, allowing two bedrooms with bathroom facilities

The existing elevations are a little uninspiring and dated. Most of the windows and external doors are in a very poor state.



Photos showing rot and decay
Of existing windows



North Elevation AS EXISTING

The proposed renovation updates the elevations as much as possible within the various constraints and includes replacing all of the existing windows and doors, which are no longer fit for purpose.

The garage/utility is designed to be subservient to the existing dwelling, with setbacks from the front and rear 'building lines' and a lower ridge height. Various roof lines were considered, such as a lean-to or a lower pitch, but visually they were all wrong. All of the variants explored, whilst more economic to construct, were alien to the existing character and looked like poor quality add-ons to the otherwise much-improved elevations. The final proposals for the roof are a logical extension of the existing profile.



PROPOSED NORTH ELEVATION

The existing central core of the dwelling will be faced with insulated render panels to improve the insulation without encroaching on the habitable floor area.

The rebuilt Eastern extension and the proposed Western extension will be faced on the public elevations (i.e. The North Elevation facing High Lane and the East elevation which is visible from High Lane) with local stone providing strong 'bookends' to the existing rendered central core.



PROPOSED WEST ELEVATION.

No openings on the exposed prevailing weather elevation. Daylight to garage/cycle store provided by rooflight



PROPOSED EAST ELEVATION.

Local stone facing continued on Eastern elevation visible from High Lane. The asymmetric pitch of the existing extension has been rationalised to match the main roof pitch



PROPOSED SOUTH ELEVATION.

Whilst low pitch slate roofs are not desirable, for practical and more importantly, visual, reasons, it was not possible to re-roof the Southern half of the re-built Eastern extension at the same pitch as the rest of the renovation. Notwithstanding the slightly reduced width, the span would have resulted in the ridge rising above the main roof height. It was therefore decided to make an exception to the ‘standard’ pitch adopted for all of the roofs and retain a similar pitch to the existing.

Below are the floor area figures for the existing dwelling and the restored and extended dwelling

Existing	Proposed
Habitable Floor Area	Habitable Floor Area
230.69 SqM	234.14 SqM (+1.5%)
	Cycle Store/ garage/ plant room
	19.55 SqM
	Total Restoration and Extension
	253.69 SqM (+9.97%)

4. Public consultation

All of the relevant neighbours have been consulted, and are fully supportive of the proposals. The Duchy of Cornwall have also been consulted, and are supportive. They have made certain recommendations regarding materials and appearance, which have been incorporated in the final scheme.

5. Refuse

There are existing arrangements that will be retained.

6. Drainage

Foul drainage will be to an existing septic tank with an established soakaway/ drainage field.

The tank was emptied and inspected as part of the purchase

The surface water will be connected to a rainwater harvesting tank under the patio.

7. Materials

Roof:
Natural slate

Walls:
Render
Local Stone
As drawings

Windows and Doors:
Anthracite grey Aluminium

8. Sustainability

The conversion will be constructed to exceed current building regulations with low U-value double glazing and high levels of insulation.

The proposal is for an air source heat pump to provide heating and hot water. Decisions regarding location and numbers of solar thermal panels, to supplement the water heating, and photo voltaic panels for electricity have not yet been taken.

9. Summary

The proposed works necessary to effect the essential alterations, improvements and extensions are all better than the minimum required to bring a tired and dated house up to a modern sustainable standard suitable for a 21st Century family home.

