



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

## COUNCIL OF THE ISLES OF SCILLY

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD  
Telephone: 01720 424455 – Email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Town and Country Planning Act 1990

Town and Country Planning (Development Management Procedure) Order 2015

## PERMISSION FOR DEVELOPMENT

**Application No:** P/25/097/HH      **Date Application Registered:** 05 December 2025

**Applicant:** Christopher Jarratt  
4 Porthcressa Terrace  
Hugh Town  
St Mary's  
Isles Of Scilly  
TR21 0JW

**Agent:** Online Drawing  
Online Drawing UK  
BizHub Hull  
215A Melton Court  
Gibson Lane  
Melton  
HU143HH  
United Kingdom

**Site address:** 4 Porthcressa Terrace Hugh Town St Mary's Isles of Scilly TR21 0JW  
**Proposal:** Replacement of existing scantle roof slates with new dry-laid slates, extension of the dormer on the rear elevation, alterations to the external facade and fenestration, and demolition of the existing shed and water store

In pursuance of their powers under the above Act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

**C1 | The development hereby permitted shall be begun before the expiration of three years from the date of this permission.**

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

**C2 | The development hereby permitted shall be carried out in accordance with the approved details only including:**

- Plan 1: Location Plan, Reference: PP-12466661v2, Stamped: 05 December 2025.
- Plan 2: Existing & Proposed Block Plan, Reference: TR21-4223-A-002, Stamped: 05 December 2025.
- Plan 3: Existing & Proposed Elevations, Sections & Plans, Reference: TR21-4223-A-001, Stamped: 19 January 2026.
- Plan 4: Planning, Design & Access Statement, Reference: TR21-4223 Design and Access Statement REV A, Stamped: 05 December 2025.
- Plan 5: Waste Management Plan, Stamped: 05 December 2025.
- Plan 6: Preliminary Roost Assessment, Reference: 23-10-1, Dated: 28 October 2023.

These are stamped as APPROVED.

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Conservation Area, Area of Outstanding Natural Beauty and Heritage Coast in accordance with Policy OE1 and OE7 of the Isles of Scilly Local Plan (2015-2030).

**C3 | The materials used in the construction of the development hereby approved shall be as detailed within the Planning, Design & Access Statement (TR21-4223 Design and Access Statement REV A) and Existing & Proposed Elevations, Sections & Plans (TR21-4223-A-001) and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.**

Reason: To safeguard the appearance of the building and the character of the area.

**C4 | No construction plant and/or machinery shall be operated on the premises, as part of the implementation of this permission, before 0800 hours on Mondays through to Saturdays nor after 1800 hours. There shall be no works involving construction plant and/or machinery on a Sunday or Public or Bank Holiday.**

Reason: In the interests of protecting the residential amenities of the islands.

**C5 | No permanent external lighting shall be installed on the exterior of the building hereby approved unless:**

a) It complies with the following parameters:

- Fully shielded luminaires with zero upward light output (ULR = 0%).
- Warm white light with a correlated colour temperature (CCT) not exceeding 3000K.
- Lumen output per fitting not exceeding 1000 lumens.
- No lighting directed beyond the site boundary.

OR

b) A Lighting Scheme has first been submitted to and approved in writing by the Local Planning Authority.

Any lighting installed shall thereafter be retained and operated in accordance with the approved details or the above parameters.

Reason: To safeguard the amenities of neighbouring occupiers, protect the rural character, and preserve the dark night skies of the Isles of Scilly, in accordance with Policy OE4 of the Isles of Scilly Local Plan (2015-2030).

**C6 | The rooflights hereby approved shall, at the point of installation, be fitted with internal blackout blinds designed to minimise light spill during hours of darkness. The blackout blinds shall thereafter be retained and maintained in effective working order for the lifetime of the development. No additional rooflights shall be installed without the prior written approval of the Local Planning Authority.**

Reason: To minimise internal light spill and protect the dark night skies of the Isles of Scilly, which are a defining characteristic of the AONB/National Landscape, in accordance with Policy OE4 of the Isles of Scilly Local Plan.

**C7 | The development hereby permitted must be carried out strictly in accordance with the Precautionary Method Statement for bats set out in Appendix 1 of the submitted document titled "Preliminary Roost Assessment, 4 Porthcressa Terrace, Hugh Town, St Mary's, Isles of Scilly", dated 28 October 2023. All contractors involved in the works shall be made aware of the requirements of the Method Statement prior to commencement, and the measures set out within it shall be adhered to for the duration of the works.**

Reason: To ensure that the works proceed in a manner that avoids harm to bats, a European Protected Species, in accordance with the Conservation of Habitats and Species Regulations 2017 and Policy OE1 of the Isles of Scilly Local Plan.

## Further Information

1. **STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.

2. **POST-DECISION AMENDMENTS:** In accordance with the provisions of Section 96A of the Town and Country Planning Act which came into force on 1st October 2009, any amendments to the approved plans will require either a formal application for a non-material amendment or the submission of a full planning application for a revised scheme. Please discuss any proposed amendments with the Planning Officer. There is a fee to apply for a non-material amendment and the most up to date fee will be charged which can be checked here: [https://ecab.planningportal.co.uk/uploads/english\\_application\\_fees.pdf](https://ecab.planningportal.co.uk/uploads/english_application_fees.pdf)

3. **COMMENCEMENT NOTICE:** Under Section 93G of the Town and Country Planning Act 1990 (as amended), this decision notice informs you that a 'commencement notice' must be served on the Local Planning Authority - subsections (2) and (3) are set out below:

(2) Before the development is begun, the person proposing to carry it out must give a notice (a "commencement notice") to the local planning authority specifying the date on which the person expects the development to be begun.

(3) Once a person has given a commencement notice, the person:

- may give a further commencement notice substituting a new date for the date previously given, and
- must do so if the development is not commenced on the date previously given

The notice should be provided to the Local Planning Authority a minimum of seven (7) days before the development commences.

Failure to provide the commencement notice could lead to the Local Planning Authority serving notice on them to require information to be provided, and if that is not provided within 21 days, they will be guilty of an offence, as below:

(5) Where it appears to the local planning authority that a person has failed to comply with the requirements of subsection (2) or (3)(b), they may serve a notice on any relevant person requiring the relevant person to give the authority such of the information prescribed under subsection (4)(a) as the notice may specify.

(7) A person on whom a notice under subsection (5) is served is guilty of an offence if they fail to give the information required by the notice within the period of 21 days beginning with the day on which it was served.

(9) A person guilty of an offence under subsection (7) is liable on summary conviction to a fine not exceeding level 3 on the standard scale.

**PLEASE NOTE:** The requirement under Section 93G of the Town and Country Planning Act 1990 (as amended) is separate from any requirements under the Community Infrastructure Levy Regulations 2010 (as amended) or any requirements for serving notices secured through the signed Section 106 Legal Agreement.

4. **BUILDING REGULATIONS:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk).
5. **BATS:** The Applicant is reminded of the provisions of the Wildlife and Countryside Act 1981 and the E.C. Conservation (Natural Habitats) Regulations Act 1994, the Habitat and Species Regulations 2012 and our Natural and Environment and Rural Communities biodiversity duty. This planning permission does not absolve the applicant from complying with the relevant law protecting species, including obtaining and complying with the terms and conditions of any licences required, as described in part IV B of Circular 06/2005. Care should be taken during the work and if bats are discovered, they should not be handled, work must stop immediately and a bat warden contacted. Extra care should be taken during the work, especially when alterations are carried out to buildings if fascia boards are removed as roosting bats could be found in these areas. If bats are found to be present during work, they must not be handled. Work must stop immediately and advice sought from licensed bat wardens. Call The Bat Conservation Trust's National Bat Helpline on 0845 1300 228 or Natural England (01872 245045) for advice.

Signed:



**Chief Planning Officer**

*Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.*

**DATE OF ISSUE:** 28 January 2026



# COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan Chapel, Garrison Lane, St Mary's TR21 0JD

0300 1234 105

[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

Dear Christopher Jarratt

## **IMPORTANT:** Please sign and complete this **Commencement Certificate**.

Anyone intending to begin development under a granted planning permission (including permissions varied under Section 73) is required to notify the local authority of the Commencement Date.

### **What if plans change?**

If development does not start on the stated date, a new notice must be submitted with the revised date.

### **What happens if you don't comply?**

The local planning authority (LPA) can serve a notice requiring the information. Failure to respond within 21 days is an offence, punishable by a fine of up to £1,000, unless the person has a reasonable excuse.

### **Why is this important?**

It gives LPAs better oversight of when development begins, helping with enforcement, monitoring, and infrastructure planning.

### **Relation to other notices:**

This is separate from Building Control commencement notices, though similar in purpose.

This is to certify that decision notice: P/25/097/HH and the accompanying conditions have been read and understood by the applicant: Christopher Jarratt.

- I/we intend to commence the development as approved:** Replacement of existing scantle roof slates with new dry-laid slates, extension of the dormer on the rear elevation, alterations to the external facade and fenestration, and demolition of the existing shed and water store at: 4 Porthcressa Terrace Hugh Town St Mary's Isles Of Scilly TR21 0JW **on:**  
.....
- I am/we are aware of any conditions that need to be discharged before works commence.
- I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. In the event that the site is found to be inaccessible then you are asked to provide contact details of the applicant/agent/contractor (delete as appropriate):

**Name:**

**Contact Telephone Number:**

**And/Or Email:**

Print Name:

Date:

Please sign and return to the **above address** as soon as possible.



# COUNCIL OF THE ISLES OF SCILLY

Planning Department  
Old Wesleyan, Garrison Lane , St Mary's, Isles of Scilly, TR21 0JD  
01720 424455  
[planning@scilly.gov.uk](mailto:planning@scilly.gov.uk)

## **THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS**

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

### **Carrying out the Development in Accordance with the Approved Plans**

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

### **Discharging Conditions**

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

**Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.**

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

### **Amendments**

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require you to apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

### **Appealing Against the Decision**

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

### **Building Regulations**

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email [buildingcontrol@cornwall.gov.uk](mailto:buildingcontrol@cornwall.gov.uk) or by post at:

Building Control  
Cornwall  
Council Pydar  
House Pydar  
Street Truro  
Cornwall  
TR1 1XU

Inspection Requests can also be made online:

<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

### **Registering/Altering Addresses**

If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: [planning@scilly.gov.uk](mailto:planning@scilly.gov.uk) who will be able to make alterations to local and national databases and ensure postcodes are allocated.

### **Connections to Utilities**

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

# Location Plan

Site Address: 4, Porthcressa Terrace, Hugh Town, St Mary's, TR21 0JW

RECEIVED

By Tom.Anderton at 11:39 am, Dec 05, 2025

 PlanningPortal

Date Produced: 14-Feb-2024

Scale: 1:1250 @A4

**APPROVED**

By Lisa Walton at 10:16 am, Jan 28, 2026



Planning Portal Reference: PP-12466661v2

0 50  
Metres

THIS DRAWING IS NOT A SITE / CONSTRUCTION / WORKING DRAWING ISSUE  
Essential planning / building regulations drawings only, client to appoint Principal Contractor (builder) who is responsible for pre construction and construction checks / design changes to suit on-sites / conditions.  
The drawings are the copyright of online drawing uk.

Notes:

DANGER ELECTRICITY service into existing buildings.  
Care must be taken when any excavation is taking place near these positions. Confirm position of electricity cables with relevant power company before commencing on site, positions are to be marked on site and on plans once confirmation has been received.

DANGER GAS service into existing buildings.  
Care must be taken when any excavation is taking place near these positions. Confirm position of gas supply with relevant gas company before commencing on site, positions are to be marked on site and on plans once confirmation has been received.

DANGER WATER supply is to be located and isolated prior to removal of any pipework, water supply pipe to be adequately protected at all time. If advice is required contact relevant water authority.

DANGER Electrical safety, all electrical required to meet the requirements of Part P (Electrical Safety) must be carried out by a registered electrician or by a person competent to do so. Prior to completed the Council should be satisfied that Part P has been completed. This will require an appropriate BS 7671:2008+A3:2015 Requirements for Electrical Installation Work. Requirements for Electrical Installation Work must be issued for each part by a person competent to do so.

The drawings are the copyright of CK Architectural. The drawings must not be copied from. The contractor should take and verify all dimensions on site before proceeding with any works. All dimensions shown on the drawings are for guidance purposes only.

All dimensions must be checked on site before commencing, variations in squareness, depth of plaster etc., must be checked for.

Where new walls are shown aligned with existing walls, this must be checked by the physical removal of brickwork and/or plaster to establish the actual position of the wall being altered.

Site to be used only for demolition / commencing of the proposed works, which are to be protected at all times along with adjacent properties, not forming part of the works.

Care must be taken at all times to ensure that any works on the supply of all services (gas, water, from the property owner, electricity, KCOM, BT, BTi, BTi water and surfacewater drainage) does not at any time interfere with the supply of services into / from adjacent properties. If any such interference is to be the case, then the contractor is to fully advise properties to be affected as soon as possible and is to negotiate with adjacent properties regarding any proposed alternative or revised requirements.

Prevent smoke, dust, fumes, spillage and other harmful activities where possible. No fires to be allowed on site at any time and noise levels to be kept to a minimum and comply with BS 5228-2:2002-2014 code of practice for noise and vibration control on construction and open sites.

Remember that adjacent properties are occupied and comply with the relevant regulations and advise local public / neighbors regarding the use of power tools etc.

All positions of drainage runs and types of drainage indicated on drawings are provisional only, contractor to check invert and position of all drainage systems to ensure they are correct and to ensure Building Control Officer is satisfied with the invert before excavation of drainage runs.

All works are to be carried out with the relevant current British Standard Codes of Practice and Building Regulations. The contractor is responsible for the approval of the local Authority and Statutory Undertakings. All materials shall be suitable for the purpose intended and shall be of a quality acceptable to the client and the manufacturer's recommendations. All necessary calculations are to be submitted to the Local Authority for approval prior to the commencement of work on site.

Robust details shall be required to protect against damage, and where the contractor of insulation shall be provided at lintels, floors and roof and wall junctions by the provision of ventilation trays. All posts to be fixed galvanised post hardware. All wall and roof insulation must be continuous. It is the contractor's responsibility to ensure that the property and site is free from any unusual or unusual restrictions, constraints or conditions.

Attention is drawn to the Party Wall Act 1996. The client or owner must give notice in writing to neighbours of the intended building operation and excavations and receive approval of same.

Attention is drawn to the client with regard to the CDM 2015 regulations. These drawings and specifications are not to be used for CDM 2015 purposes only, the scope of this does not go any further. It is the duty of the client under the regulations to appoint a Principal Designer and to require an obligation for the client to appoint a Principal Designer. The Principal Contractor will then be responsible for the health and safety of the pre construction and construction phases of the project under the CDM 2015 regulations when it gets under way. The client must have a Health & Safety File and construction plan, which must be provided to the HSE, in order to reduce risks through the design processes of construction etc.

SYMBOLS, HATCH & LINETYPE KEY  
WARNING SIGNIFICANT HAZARD OR INFORMATION WHICH IS USEFUL

! ACTION (DO)

○ AVOID OR REFRAIN FROM (DON'T)

! ON-SITE MEASUREMENTS REQUIRED

! RELEVANT INFORMATION

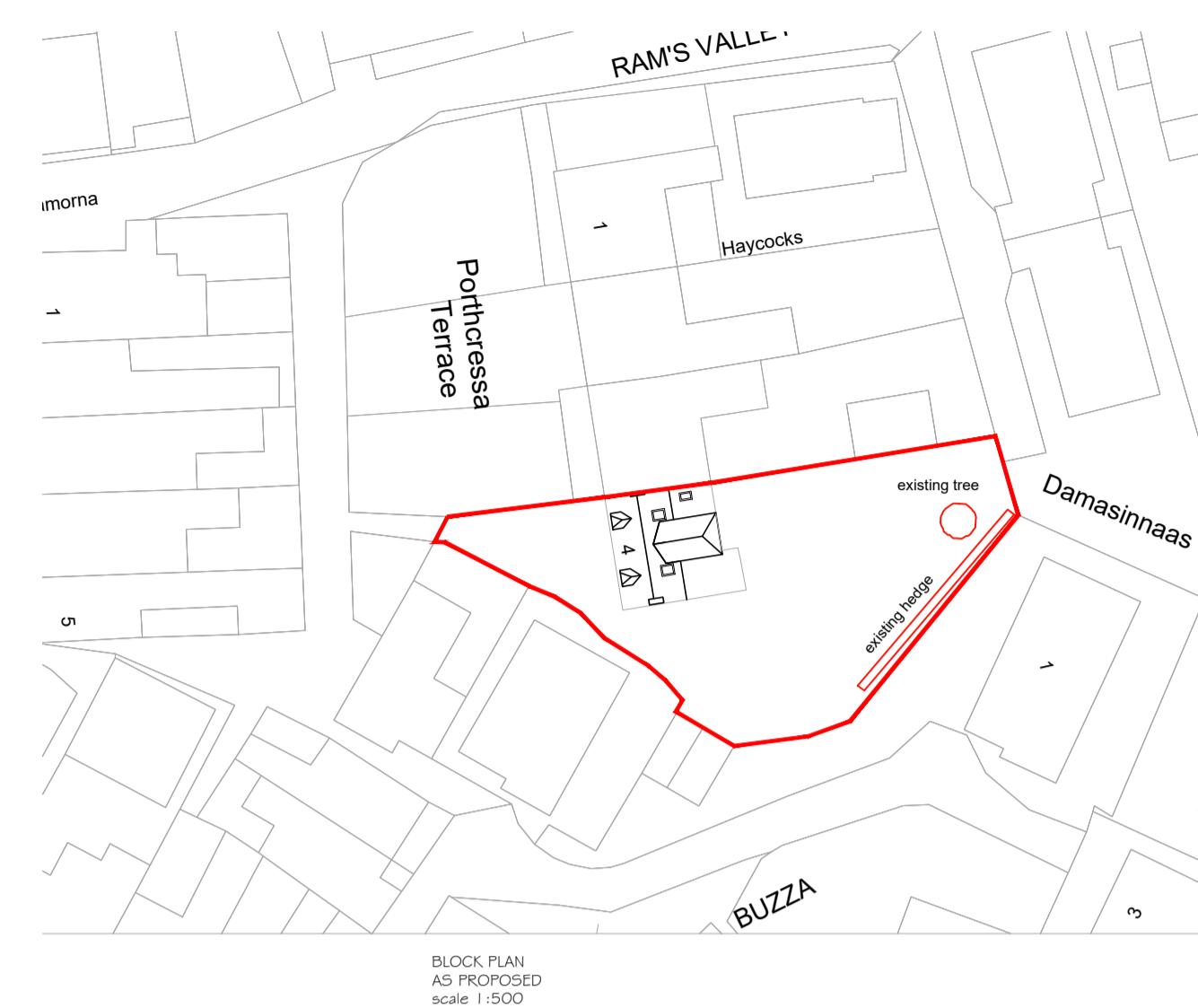
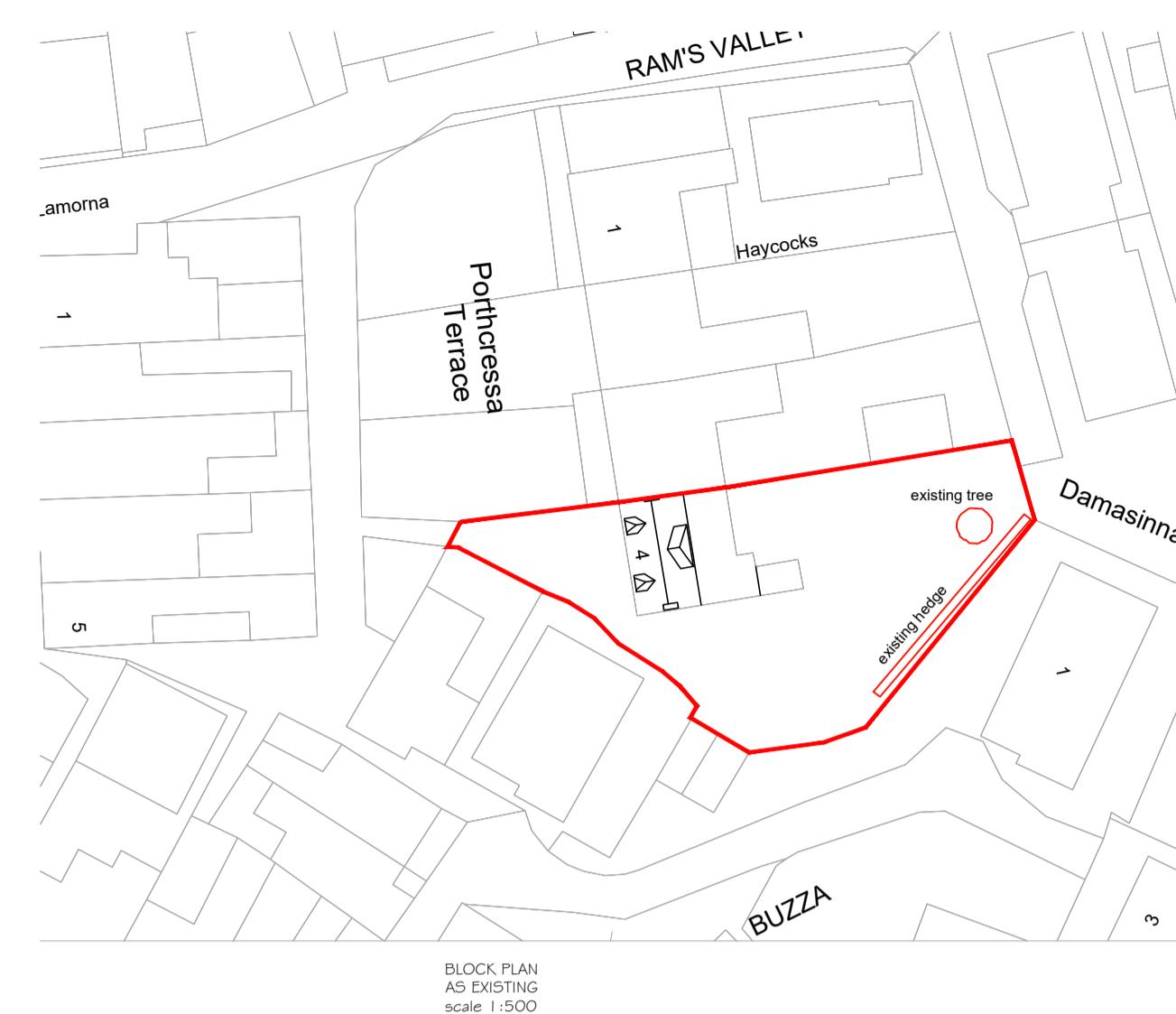
▲ STRUCTURAL ENGINEER ITEM

▲ BUILDING CONTROL ITEM

BRICK CONCRETE  
BLOCK SAND  
HARDCORE PROPOSED  
GLAZING OBSCURE GLASS

— BOUNDARY  
— FOUL DRAINAGE  
— SW DRAINAGE  
— INSULATION  
— DPM, DPC, VCL, FLASHING  
— STRUCTURAL BEAMS  
— DEMOLITION AREAS

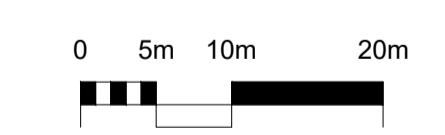
DATE NOTES BY REV  
18/11/25 Planning issue GCA A  
GCA A



APPROVED  
By Lisa Walton at 10:16 am, Jan 28, 2026

RECEIVED

By Tom.Anderton at 11:39 am, Dec 05, 2025



Phone: 0333 3582825  
Email: info@onlinedrawinguk.com  
Web: www.onlinedrawinguk.com  
Biz Hub Block A Melton Court, Gibson Lane, Melton HU14 3HH

PROJECT TITLE	CLIENT
Proposed Refurbishment and Dormer Extension	Christopher and Catherine 4 Porthcressa Terrace, Hugh Town, St Mary's, TR21-0DW
DRAWING STAGE	SCALE
Planning	@ A1
SHEET TITLE	CHK BY
Block Plans as Existing and Proposed	DWR
PROJECT NUMBER	DRAWN BY
TR21-4223	GCA
PLN	REV
A	SHT
002	



## DESIGN AND ACCESS STATEMENT

Project Number: TR21-4223

Project Title: 4 Porthcressa Terrace

Client: Christopher and Catherine



### Proposal

1. Replace the existing scantle roof on the rear elevation using dry laid Spanish slate secured with stainless steel clips to match the adjacent properties in the terrace.
2. Extend the rear first floor dormer to create a bathroom on the first floor to serve the two first floor bedrooms. The roof and dormer walls to be finished with dry laid Spanish slates as above to match in with the main roof.
3. Incorporate two velux windows on the rear elevation to provide light to the first floor bedrooms.
4. Make internal alterations to the existing rear ground floor to provide new shower room and study/breakfast room including new flat roof light over shower room.
5. Remove existing windows to the rear elevation and fit new UPVc Patio doors.
6. Demolish existing external tank room / store and fit new larger window to kitchen. Render newly exposed wall where tank room removed.
7. Provide two new windows to side elevation in dining room.

### Materials

1. All new windows to the dormer extension, dining room and kitchen to be white double glazed uPVC.
2. New patio doors to be white uPVC.
3. New roof lights to be velux GGL.
4. New flat roof light to be Velux flat roof light.
5. Replacement tiles to the main roof to the rear of property and the dormer roof and cheeks to be Spanish natural slates secured with stainless steel clips.
6. New external render to be white.

**APPROVED**

*By Lisa Walton at 10:16 am, Jan 28, 2026*

**WASTE MANAGEMENT PLAN****Project Number:** TR21-4223**Project Title:** 4 Porthcressa Terrace**Client:** Jarratt and Inglehearn**Contractor**

Tyrane Van Den Berg [REDACTED]  
Five Island Traiding  
Unit 6  
Porthmellon Industrial Estate  
Hugh Town  
St Mary's Isles of Scilly  
TR21 0JY

**Waste Materials Management**

Blockwork and existing slate to be crushed and recycled locally

Timber To be de-nailed and reused where appropriate where timber cannot be reused it will be disposed of at the local waste processing facility.

Old UPVC windows offered locally for cold frames etc failing that disposed of at local waste processing facility.

Old GRP roof materials to be disposed of at local waste processing facility

All waste to be disposed of by a registered Waste carrier.

**APPROVED***By Lisa Walton at 10:16 am, Jan 28, 2026*

**APPROVED**

By Lisa Walton at 10:16 am, Jan 28, 2026

**APPROVED**

By Lisa Walton at 10:31 am, Apr 12, 2024

## PRELIMINARY ROOST ASSESSMENT (PRA)

**4 Porthcressa Terrace,  
Hugh Town, St Mary's, Isles of Scilly**



**Client:** Jennie Woodcock

**Our reference:** 23-10-1

**Planning reference:** Produced in advance of submission

**Report date:** 28<sup>th</sup> October 2023

**Author:** James Faulconbridge BSc (Hons), MRes, MCIEEM

**Contact:** [ios.ecology@gmail.com](mailto:ios.ecology@gmail.com)

# Executive Summary

## Bats – Results and Findings

The preliminary roost assessment (PRA) survey concluded that there was **negligible bat roosting potential** in relation to the structures to be impacted by the proposed works. This assessment relates solely to those aspects of the structure within the scope of the survey – it does not represent a comprehensive assessment of the property.

Whilst a negligible potential is concluded, it is noted that there is a small chance of opportunistic/transient use of individual discreet features. This potential is not sufficient to justify further surveys or significant constraints to works, but should be taken into account in accordance with the precautionary principle.

This judgement was reached in accordance with the survey methodologies and evaluation criteria outlined in the Bat Surveys for Professional Ecologists: Good Practice Guidelines 4<sup>th</sup> edition<sup>1</sup>

## Bats – Further Survey Requirements

No further surveys are recommended – the PRA conclusion does not require further survey information with regards to bats in order to inform a planning application.

## Bats – Recommendations

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations, especially if the condition of structural features were to change. A specific methodology is provided in Appendix 1.

A Planning Condition requiring compliance with the Precautionary Method of Works (PMW) outlined in Appendix 1 could be attached to a Decision Notice. If so, it is recommended that this should be compliance only – no further information would be required as the methodology outlined in the PMW is comprehensive.

If the applicant wishes to provide biodiversity enhancement, bat boxes could be erected on the gable of the dwelling. Guidance on suitable specifications is provided.

## Nesting Birds – Results and Findings

There is a minor risk of individual bird species finding occasional nesting habitat associated with the building or proximate vegetation, such as the adjacent apple tree, though no evidence was noted at the time of survey.

## Nesting Birds - Recommendations

Works should take account of the minor residual risk of species such as wren or robin making use of nesting opportunities during the breeding season.

If the applicant wishes to provide biodiversity enhancement, nest boxes could be erected either on the dwelling or within the residential garden. Guidance on suitable specifications is provided.

<sup>1</sup> Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

# PRELIMINARY ROOST ASSESSMENT (PRA)

<b>Planning Authority:</b> Isles of Scilly	<b>Location:</b> SV 90545 10457	<b>Planning Application ref:</b> Report produced in support of application
<b>Planning application address:</b> 4 Porthcressa Terrace, Hugh Town, St Mary's, Isles of Scilly		
<b>Proposed development:</b> The proposed works were identified by the client and accord with the documentation submitted in support of the application. These involve: 1) The removal of existing flat-roof extension to the east of the main property; 2) Re-roofing the eastern aspect of the property; 3) Construction of a new two-storey extension on the eastern aspect of the property which would tie in with the existing roof.		
<b>Building references:</b> The structures under assessment comprise three distinct elements: <ul style="list-style-type: none"><li>• Main House;</li><li>• Flat-roof extension;</li><li>• Water Tank enclosure.</li></ul> These structural elements are identified in the plans provided in Appendix 1.		
<b>Name and licence number of bat-workers carrying out survey:</b> James Faulconbridge (2015-12724-CLS-CLS)		
<b>Preliminary Roost Assessment date:</b> The visual inspection was undertaken on 19 <sup>th</sup> October 2023 in accordance with relevant Best Practice methodology <sup>2</sup> .		
<b>Local and Landscape Setting:</b> The property is situated within the residential area of Hugh Town in St Mary's in the Isles of Scilly. The land use immediately surrounding the property comprises dense residential development with generally small gardens although there is a more developed areas of green space to the immediate west of the properties. The shoreline of Porthcressa Beach lies close to the south of the property with the green space of the allotments, playground and setting of Buzzza Tower close by to the east. Three records of common pipistrelle roosts are identified in relatively close proximity to the property – these relate to individual bats utilising features such as hanging slates around		

<sup>2</sup> Collins, J. (ed.) (2023) Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition). The Bat Conservation Trust, London

dormer windows.

### **Building Description(s):**

The property is an end-terrace, two-storey, residential house. It comprises the main dwelling, along with a flat-roof extension on the eastern aspect. A water tank enclosure is situated on the edge of the flat-roof extension. These distinct structural components are identified in Map 2 in Appendix 1.

#### *Main House*

The main dwelling is brick-built with a pitched, wet-laid scantle tiled roof on the eastern aspect. The western aspect of the roof has been replaced with dry-laid slate tiles and is of more recent construction. The proposals would not directly or indirectly impact the western aspect of the property, therefore no further consideration of this aspect is provided in this assessment.

The roof tiles on the eastern aspect are generally in good condition and any gaps present are too small for access by bats. Minor gaps occur at the apex of the dormer and at a ridge tile on the southern edge of the aspect – these appear superficial through inspection with close-focusing binoculars. The join between the roof of this property and the adjacent 3 Porthcressa Terrace is marked by a low concrete parapet – no gaps or other features are noted associated with this feature. There is a concrete chimney at each edge of the roof under consideration – these appear well-sealed and in good condition.

The loft space was inspected throughout – this is a small space built above the collar of the A-frame timbers with the living space built into the lower part of the roof. The loft is boarded out above the rafters and appears very well sealed. There is no insulation present between the joists. The loft space was densely cobwebbed with dusty, old webs indicating no recent flight by bats within the space. A full inspection of the floor identified no droppings or other evidence of bats – individual small rodent droppings were noted.

As the loft space is well-boarded and no evidence of internal roosting was identified, the potential for indirect impacts of works on the eastern aspect affecting un-surveyed features on the western aspect does not require further consideration.

There is a central dormer window within the roof – this has well-sealed hanging tiles on the sides with a scantle-tiled pitched roof above. The valley joining the pitches appears generally well sealed with lead flashing though minor lifted gaps occur both here and below the window. The gap beneath the window has been sealed with expanding foam in the past – this appears to provide a tight seal to this cavity at present, but the condition could change due to the nature of the filling.

Minor gaps occur behind the drop tiles on the southern gable of the building – these appear superficial through inspection with a torch and close-focusing binoculars.

The fascias on the eastern aspect have minor gaps but the tie-in with the flat-roof extension immediately below this would prevent a clear fly-in and would significantly reduce the suitability of a feature here.

No evidence of current or historic use by bats or nesting birds was identified during the survey.

#### *Flat-roof extension*

A flat-roof single-storey extension is attached on the eastern aspect of the property. This is block-built and uPVC-clad in places. No features were noted associated either with the pointing or the cladding. Window frames are well-fitted with no gaps noted at the edges.

The fascias throughout the flat-roof extension are well-fitted and tightly sealed. In places, there are small gaps behind the roof cladding where it overlaps the top of the wall; however the guttering attached to the fascia below would prevent a clear fly-in and would significantly

reduce the suitability of a feature here.

#### *Water Tank*

There is a flat-roofed water tank enclosure attached on the eastern edge of the flat-roof extension. This also houses a small shed/garage unit which was accessed and inspected and found to provide no roosting opportunities.

The structure did not have any gaps, cracks or other features which would provide roosting opportunities for bats.

#### *Garden Shed*

A small, pre-fab timber garden shed is present within the footprint of the proposed development and is likely to either be moved or removed to facilitate the works.

It was fully inspected and no suitable roosting opportunities for bats were noted.

### **Survey Limitations**

It was not possible to comprehensively inspect all features such as lead flashing around the dormer windows due to the lack of access at height. However the majority of the relevant features could be fully inspected with binoculars. This residual limitation can be addressed through a Precautionary Method of Works (PMW).

There were no other significant limitations to access or survey inspection which might affect the evidence base or subsequent conclusions of this survey.

### **Assessment of Potential for use by Roosting Bats**

No evidence of current or historic use by bats was identified during the survey and an overall **negligible potential** was determined; however it is noted that there is a small residual risk of opportunistic/transient use of the features noted.

This assessment relates only to the eastern aspect of the main dwelling; and the flat-roof extensions.

### **Recommendations and Justification (Bats):**

No further surveys are recommended – the conclusion of **negligible potential** related to the structures to be impacted does not require any further information with regards to bats in order to inform a planning application.

Standard good practice and vigilance should be observed by the contractors undertaking the works in acknowledgement that bats are transient in their use of roosting opportunities and may explore potential locations. The potential for individual common pipistrelle bats to make use of minor opportunities associated with listed features should be taken into account during works. These features are:

- The lead flashing associated with the dormer window;
- Any minor gaps beneath roof/ridge tiles which may be present, or may arise due to change of condition between the time of survey and the time of works;
- Minor superficial gaps associated with drop-tiles on the southern gable;
- Fascias or overlapping roof coverings with minor gaps which are obstructed by guttering.

At the discretion of the Planning Authority, a compliance condition could be included in any Planning Application approval requiring that works proceed in line with the PMW requirements outlined in Appendix 1 of this report. This is in order to ensure that roosting bats are not

impacted by the proposed works.

If the applicant wishes to provide biodiversity enhancement, the position of the southern gable facing onto the garden with an apple tree would offer an ideal location to install a bat box. This should be positioned above 3m from the ground to minimise the risk of predation. An open-based box design would ensure that it would not require cleaning. The location and aspect would be optimal for bats such as common pipistrelle which is the dominant species present on the island and the most likely species to use the environs for foraging and roosting. The proximity of the gable to existing vegetation would secure a vegetated fly-in/out habitat.

A suitable box could be purchased or constructed following freely available plans. Kent Bat Box style boxes are slim easy to construct from appropriate timber using the plans provided at:

<http://www.kentbatgroup.org.uk/kent-bat-box.pdf>

### **Assessment of Potential for use by Nesting Birds**

It is considered that the relevant structures described in this report provide **low potential** for use by nesting birds; however there is a minor residual risk of species such as wren or robin making use of minor niches to build a nest. There is also a risk of nesting birds within adjacent vegetation – especially the apple tree in close proximity on the southern gable.

### **Recommendations and Justification (Birds):**

#### *Timing of Works*

Works affecting the roof should be undertaken outside of the breeding season which runs from March – September inclusive, where practicable. This would provide the most robust means of avoiding risk of impact to nesting birds.

#### *Pre-commencement Inspection*

If this is not possible, then contractors should visually inspect the work area internally and externally before they are affected by the works, in order to confirm that no nests are present. In the unlikely event that a bird nest is present, it must be left undisturbed until chicks have fledged the nest, at which point works can proceed.

Care must also be taken to ensure that the works do not cause disturbance or damage to proximate nesting areas through indirect impacts including vibration, noise or contractor presence. This includes adjacent parts of the building, as well as vegetation within the garden and boundary hedges.

#### *Enhancement Opportunities*

There is no requirement to mitigate for loss of nesting habitat for breeding birds as no nesting habitat would be removed; however if the applicant wished to provide biodiversity enhancement measures, this could be achieved through the erection of bird boxes on the residential property or within the garden.

House sparrows nest communally and nest boxes could accommodate this, either through the installation of a single purpose-built nest box comprising several individual chambers with separate entrances, or the installation of 3+ nest boxes in close proximity. Nest boxes suitable for hole-dwelling species such as blue tits, or open-fronted boxes for species such as blackbird and robin also have a high likelihood of occupation.

Boxes should be mounted on a wall or tree if possible, at a height of at least 3m above the ground with an entrance clear of vegetation/other features which may put them at risk of predation from cats.

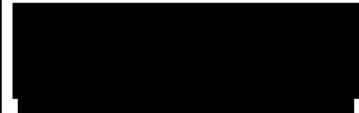
Boxes can be sourced online, or can be constructed on site using methodology and specifications provided by the RSPB:

**Sparrows:** <https://www.rspb.org.uk/get-involved/activities/give-nature-a-home-in-your-garden/garden-activities/createasparklestreet/>

**Other Species:** <https://www.rspb.org.uk/fun-and-learning/for-families/family-wild-challenge/activities/build-a-birdbox/>

**Signed by bat worker(s):**

**Date:** 28<sup>th</sup> October 2023



## APPENDIX 1

### PRECAUTIONARY METHOD STATEMENT WITH REGARDS TO BATS

The purpose of this Method Statement is to ensure that proposed works can proceed where presence of bats has been determined to be unlikely, but a precautionary approach is still advisable. It has been determined that direct harm to roosting bats during the proposed works would be highly unlikely.

Contractors should, however, be aware of **their own legal responsibility with respect to bats**:

#### Relevant Legislation regarding Bats

The Conservation of Habitats and Species Regulations 2017, or the 'Habitat Regulations 2017', transposes European Directives into English and Welsh legislation. Under these regulations, bats are classed as a European Protected Species and it is, therefore, an offence to:

- *Deliberately kill, injure or capture bats;*
- *Deliberately damage or destroy bat roosts.*

A bat roost is commonly defined as being any structure or place that is used as a breeding site or resting place, and since it may be in use only occasionally or at specific times of year, a roost retains such a designation even if bats are not present.

Bats are also protected from disturbance under Regulation 43. Disturbance of bats includes in particular any disturbance which is likely:

(a) *To impair their ability -*

- *to survive, to breed or reproduce, or to rear or nurture their young; or*
- *in the case of animals of a hibernating or migratory species, to hibernate or migrate; or*

(b) *To affect significantly the local distribution or abundance of the species to which they belong.*

Bats also have limited protection under the Wildlife and Countryside Act 1981 (as amended) and the Countryside Rights of Way Act 2000 (as amended). It is, therefore, an offence to:

- *Intentionally or recklessly destroy, damage or obstruct any structure or place which a bat uses for shelter or protection.*
- *Intentionally or recklessly disturb bats whilst occupying any structure or place used for shelter or protection.*

Contractors should be aware of **where bats are most likely to be found in respect to the roof to be replaced:**

### **Lead Flashing**

Minor lifted sections occur within the lead flashing where the dormers meet the roof tiles below, and in the valley between the pitch of the dormer and the adjacent roof.

If these are to be removed as part of the works, locations where the flashing is lifted should be exposed carefully such that if any bats were present behind the lifted element, they would not be crushed or otherwise injured by the operation. Contractors should satisfy themselves that no bats are present before proceeding with works in these areas.

### **Dormer Window Frame**

There is a minor gap below the dormer window frame which appears sealed at the time of survey, but may deteriorate before works take place. This area should be fully inspected visually before works commence in order to confirm that no bats are present.

### **Roof/Ridge Tiles**

There are minor gaps noted beneath individual ridge tiles on the apex of the dormer and the southern edge of the main roof, close to the chimney. These appear superficial but it is possible that minor niches may occur. In addition, further gaps may appear if the condition of tiles deteriorates between the time of survey and the time of works.

The following protocol also applies to the drop tiles on the southern gable.

If there are gaps beneath tiles, these tiles and those adjacent to them should be lifted carefully in such a way that if any bats were roosting beneath, they would not be crushed or injured by the action. The undersides of the tiles should be carefully checked before being set aside. Contractors should satisfy themselves that no bats are present before proceeding with works in these areas.

### **Fascias**

There are occasional gaps where the fascias and the overhang of the roof covering meet the walls. Where these are to be removed or impacted as part of the proposed works, they should be carefully removed and the gaps behind them exposed in such a way that, in the highly unlikely event that bats are present, they are not injured or killed by the action. Contractors should satisfy themselves that no bats are present before proceeding with works in these areas.

Contractors should be aware of **the process to follow in the highly unlikely event of finding bats** or evidence indicating that bats are likely to be present:

If bats are identified, works should cease and the named ecologist contacted immediately for advice.

If the bat is in a safe situation, or a situation which can be made safe, they should remain undisturbed.

Only if the bat is in immediate risk of harm can the bat be moved with care and using a gloved hand. This is a last resort and should only be undertaken for humane reasons if the bat is at immediate risk of harm **and** if the ecologist cannot be contacted for advice.

## APPENDIX 2

### LOCATION PLAN AND PHOTOGRAPHS



**Map 01** – Illustrating location of property within the local environs (red circle). Reproduced in accordance with Google's Fair Use Policy.



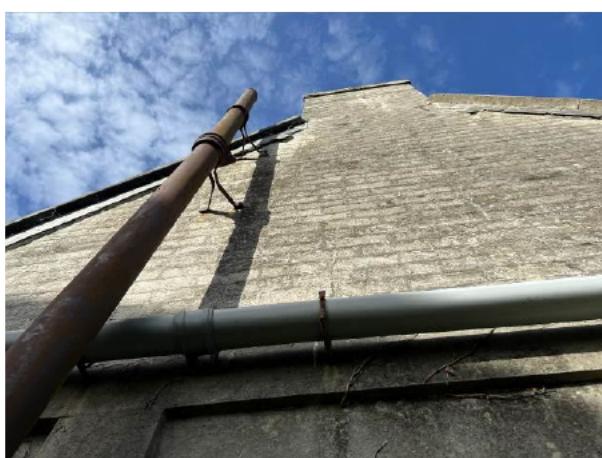
**Map 02** – Showing the different elements of the buildings.



**Photograph 1:** Showing the property – the main property of 4 Porthcressa Terrace spans the length between the two chimneys on the left-hand side. The flat-roof extension can be seen in the foreground with the enclosed water-tank.



**Photograph 2:** Showing the roof structure – this is largely well-sealed with no gaps noted; however occasional minor gaps are noted including the gap in the ridge highlighted.



**Photograph 3:** Showing the southern gable of the property – there superficial gaps behind the drop-tiles on the eastern aspect can be seen on the right-hand side. Those on the western aspect would not be affected.



**Photograph 4:** Showing the loft space with boarding visible between the rafters.



**Photograph 5:** Showing the flat-roof extension with uPVC cladding.



**Photograph 6:** Showing the enclosed water tank.

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**From:** James Faulconbridge

**Sent:** 26 November 2025 10:51

[REDACTED]  
**Subject:** Re: [TR21-4223] 4 Porthcressa Terrace, Hugh Town, St Mary's Isles of Scilly -  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED]

[REDACTED] I would therefore consider the existing bat survey to be appropriate to support the revised application on this basis. I am happy to write to the planners directly to confirm this, or for you to provide this email as confirmation.

Best wishes,

James