



IMPORTANT – THIS COMMUNICATION AFFECTS YOUR PROPERTY

COUNCIL OF THE ISLES OF SCILLY

Town Hall, The Parade, St Mary's TR21 0LW
Telephone: 01720 424455 – Email: planning@scilly.gov.uk

Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990
Town and Country Planning (Development Management Procedure) Order 2015

GRANTING OF LISTED BUILDING CONSENT

Application No:	P/25/107/LBC	Date Application Registered:	11th December 2025
Applicant:	Glenn and Caroline Marlow Red House Wolverton Chepstow NP16 6NY	Agent:	Mr Geoff Smith Shu Architects 5 Park Street Avenue Bristol BS1 5LQ
Site Address:	Step Cottage, Jerusalem Terrace Hugh Town St Mary's Isles of Scilly		
Proposal:	Alterations to ground and first floor layout including overlaying stair, strengthening of floor joists and new kitchen window.		

In pursuance of their powers under the above act, the Council hereby **PERMIT** the above development to be carried out in accordance with the following Conditions:

- C1 The development hereby authorised shall be begun not later than three years from the date of this consent.**
Reason: In accordance with the requirements of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).
- C2 The development hereby permitted shall be carried out in accordance with the approved details only including:**
- **Plan 1: Location and Site Plan (Drawing Number: 100, Revision: P2), stamped 11 December 2025.**
 - **Plan 2: Design & Access Statement stamped 11 December 2025.**
 - **Plan 3: Existing and Proposed Plans (Drawing Number: 101, Revision P3), stamped 11 December 2025.**
 - **Plan 4: Proposed Section (Drawing Number: 103, Revision: P3), stamped 11 December 2025.**
 - **Plan 5: Proposed Stair (Drawing Number: 104, Revision: P2), stamped 11 December 2025.**
 - **Plan 6: Existing and Proposed Elevation (Drawing Number: 105, Revision: P2), stamped 11 December 2025.**
 - **Plan 7: Floor Joint Strengthening Proposals, stamped 11th December 2025.**
- These are stamped as approved.**
Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

- C3** The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.
Reason: To safeguard the historic fabric and the architectural character of the listed building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

PRE-KITCHEN WINDOW INSTALLATION

- C4** No works to install the new timber kitchen window shall begin until full joinery details have been submitted to and approved in writing by the Local Planning Authority. The details shall include 1:10 or 1:20 scale drawings and sections showing the construction, profiles, and method of opening, together with the proposed final finish and colour. The window shall be installed in accordance with the approved details and retained in that form thereafter.
Reason: To protect the significance of the heritage asset in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).
- C5** The external soil vent pipe shown in the 'Design, Access & Heritage Statement' and 'Existing & Proposed Plans (Drawing Number: 101, Revision: P3)' shall be constructed in cast metal and be of a heritage style that reflects the traditional character of Step Cottage. The external soil vent pipe shall be installed, retained and maintained in this form thereafter.
Reason: To preserve the special architectural and historic interest of the listed building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

Further Information

- 1. STATEMENT OF POSITIVE ENGAGEMENT:** In dealing with this application, the Council of the Isles of Scilly has actively sought to work with the applicants in a positive and creative way, in accordance with paragraph 39 of the National Planning Policy Framework 2024.
- 2. BUILDING CONTROL:** This decision is not a determination under the Building Regulations. Please ensure that all building works accord with the Building Regulations and that all appropriate approvals are in place for each stage of the build project. You can contact Building Control for further advice or to make a building control application: buildingcontrol@cornwall.gov.uk.

Signed: 

Chief Planning Officer

Duly Authorised Officer of the Council to make and issue Planning Decisions on behalf of the Council of the Isles of Scilly.

DATE OF ISSUE: 28 January 2026



COUNCIL OF THE ISLES OF SCILLY

Planning & Development Department
Town Hall, The Parade, St Mary's, Isles of Scilly, TR21 0LW
?0300 1234 105
?planning@scilly.gov.uk

Dear Glenn and Caroline Marlow

IMPORTANT: Please sign and complete this **Commencement Certificate**.

While there is *no statutory requirement* to submit a formal commencement notice for works carried out under a Listed Building Consent, the Council would be grateful if applicants could let us know **before works begin**. This helps the Planning Department ensure that any pre-installation or other relevant conditions are addressed at the correct stage and allows us to provide support if needed.

Why notify us?

Early notification helps the Council to:

- ensure that any conditions requiring approval are dealt with in a timely way
- provide advice if unexpected historic fabric or issues arise on site
- maintain accurate records of works to designated heritage assets

This is not a legal requirement, but your cooperation assists us in managing and protecting the islands listed buildings.

This is to certify that decision notice: P/25/107/LBC and the accompanying conditions have been read and understood by the applicant: Glenn and Caroline Marlow.

I/we intend to commence the development as approved: Alterations to ground and first floor layout including overlaying stair, strengthening of floor joists and new kitchen window. at: Step Cottage Jerusalem Terrace Hugh Town St Mary's Isles of Scilly **on:**.....

I am/we are aware of any conditions that need to be discharged before works commence.

I/we will notify the Planning Department in advance of commencement in order that any pre-commencement conditions can be discharged.

Print Name:

Date:

Please sign and return to the **above address** as soon as possible.

For the avoidance of doubt you are reminded to address the following condition(s) before you commence (where relevant) or as part of the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up **to 8 weeks** for the discharge of conditions process.

PRE-KITCHEN WINDOW INSTALLATION

C4 No works to install the new timber kitchen window shall begin until full joinery details have been submitted to and approved in writing by the Local Planning Authority. The details shall include 1:10 or 1:20 scale drawings and sections showing the construction, profiles, and method of opening, together with the proposed final finish and colour. The window shall be

installed in accordance with the approved details and retained in that form thereafter.

You are advised to note that Officers of the Local Planning Authority may inspect the project both during construction, on a spot-check basis, and once completed, to ensure that the proposal has complied with the approved plans and conditions. If the site is found to be inaccessible then contact details of the applicant/agent/contractor (delete as appropriate) are:

Name:

Contact Telephone Number:



COUNCIL OF THE ISLES OF SCILLY

Planning Department

Old Wesleyan, Garrison Lane , St Mary's, Isles of Scilly, TR21 0JD

☎01720 424455

✉planning@scilly.gov.uk

THIS LETTER CONTAINS IMPORTANT INFORMATION REGARDING YOUR PERMISSION – PLEASE READ IF YOU ARE AN AGENT DEALING WITH IS ON BEHALF OF THE APPLICANT IT IS IMPORTANT TO LET THE APPLICANT KNOW OF ANY PRE-COMMENCEMENT CONDITIONS

Dear Applicant,

This letter is intended to help you advance your project through the development process. Now that you have been granted permission, there may be further tasks you need to complete. Some aspects may not apply to your development; however, your attention is drawn to the following paragraphs, which provide advice on a range of matters including how to carry out your development and how to appeal against the decision made by the Local Planning Authority (LPA).

Carrying out the Development in Accordance with the Approved Plans

You must carry out your development in accordance with the stamped plans enclosed with this letter. Failure to do so may result in enforcement action being taken by the LPA and any unauthorised work carried out may have to be amended or removed from the site.

Discharging Conditions

Some conditions on the attached decision notice will need to be formally discharged by the LPA. In particular, any condition that needs to be carried out prior to development taking place, such as a 'source and disposal of materials' condition, an 'archaeological' condition or 'landscaping' condition must be formally discharged prior to the implementation of the planning permission. In the case of an archaeological condition, please contact the Planning Department for advice on the steps required. Whilst you do not need to formally discharge every condition on the decision notice, it is important you inform the Planning Department when the condition advises you to do so before you commence the implementation of this permission. Although we will aim to deal with any application to discharge conditions as expeditiously as possible, you are reminded to allow up to **8 weeks** for the discharge of conditions process.

Please inform the Planning Department when your development or works will be commencing. This will enable the Council to monitor the discharge and compliance with conditions and provide guidance as necessary. We will not be able to provide you with any written confirmation on the discharge of pre-commencement conditions if you do not formally apply to discharge the conditions before you start works.

As with the rest of the planning application fees, central Government sets a fee within the same set of regulations for the formal discharge of conditions attached to planning permissions. Conditions are necessary to control approved works and development. Requests for confirmation that one or more planning conditions have been complied with are as follows (VAT is not payable on fees set by central government). More information can be found on the Council's website:

- Householder permissions - £86 per application
- Other permissions - £298 per application

Amendments

If you require a change to the development, contact the LPA to see if you can make a 'non material amendment' (NMA). They were introduced by the Government to reflect the fact that some schemes may need to change during the construction phase. The process involves a short application form and a 14 day consultation period. There is a fee of £44 for householder type applications and £298 in all other cases. The NMA should be determined within 28 days. If the change to your proposal is not considered to be non-material or minor, then you would need to submit a new planning application to reflect those changes. Please contact the Planning Department for more information on what level of amendment would be considered non-material if necessary.

If the scale of change is not considered to be 'non-material' you may be able to make a 'minor material amendment' which would require to you apply to vary the conditions (providing the change is not contrary to a specific condition). The fee for a householder variation of condition application would be £86, for other non-major (other than householder) development applications the fee would be £586 and for major development the fee would be £2,000.

Appealing Against the Decision

If you are aggrieved by any of the planning conditions attached to your decision notice, you can appeal to have specific conditions lifted or modified by the Secretary of State. All appeal decisions are considered by the Planning Inspectorate – a government department aimed at providing an unbiased judgement on a planning application. From the date of the decision notice attached you must lodge an appeal within the following time periods:

- Householder Application - 12 weeks
- Planning Application – 6 months
- Listed Building Consent – 6 months
- Advertisement Consent - 8 weeks
- Minor Commercial Application - 12 weeks
- Lawful Development Certificate – None (unless for LBC – 6 months)
- Other Types - 6 months

Note that these periods can change so you should check with the Planning Inspectorate for the most up to date list. You can apply to the Secretary of State to extend this period, although this will only be allowed in exceptional circumstances.

You find more information on appeal types including how to submit an appeal to the Planning Inspectorate by visiting <https://www.gov.uk/topic/planning-development/planning-permission-appeals> or you can obtain hard copy appeal forms by calling 0303 444 5000. Current appeal handling times can be found at: [Appeals: How long they take page](#).

Building Regulations

With all building work, the owner of the property is responsible for meeting the relevant Planning and Building Regulations. Building Regulations apply to most building work so it is important to find out if you need permission. This consent is to ensure the safety of people in and around buildings in relation to structure, access, fire safety, infrastructure and appropriate insulation.

The Building Control function is carried out on behalf of the Council of the Isles of Scilly by Cornwall Council. All enquiries and Building Control applications should be made direct to Cornwall Council, via the following link [Cornwall Council](#). This link also contains comprehensive information to assist you with all of your Building Control needs.

Building Control can be contacted via telephone by calling 01872 224792 (Option 1), via email buildingcontrol@cornwall.gov.uk or by post at:

Building Control
Cornwall
Council Pydar
House Pydar
Street Truro
Cornwall
TR1 1XU

Inspection Requests can also be made online:
<https://www.cornwall.gov.uk/planning-and-building-control/building-control/book-an-inspection/>

Registering/Altering Addresses

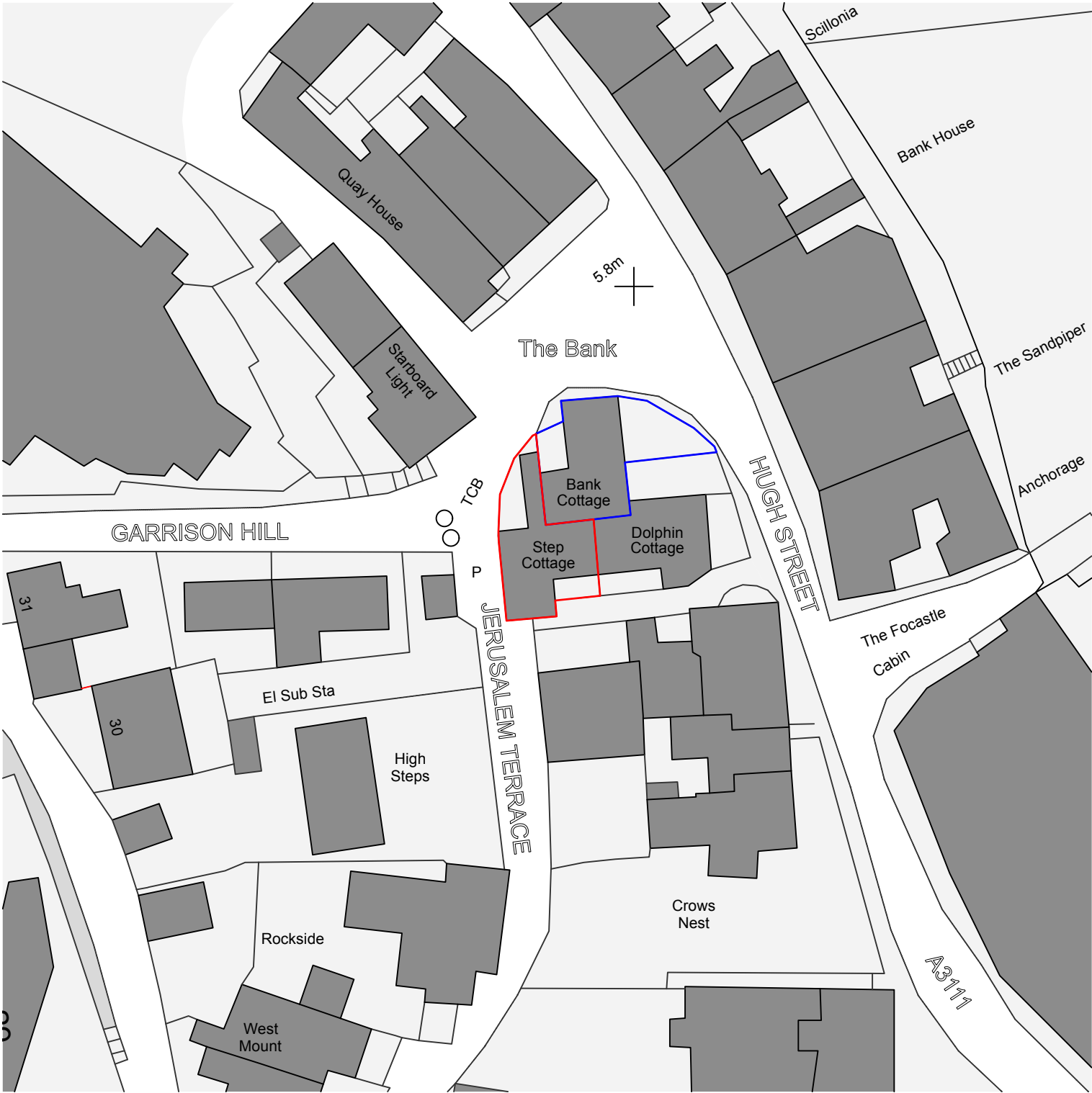
If you are building a new dwelling, sub dividing a dwelling into flats or need to change your address, please contact the Planning Department by email: planning@scilly.gov.uk who will be able to make alterations to local and national databases and ensure postcodes are allocated.

Connections to Utilities

If you require a connection to utilities such as water and sewerage, you will need to contact South West Water on 0800 0831821. Electricity connections are made by Western Power Distribution who can be contacted on 08456012989.

Should you require any further advice regarding any part of your development, please contact the Planning Department and we will be happy to help you.

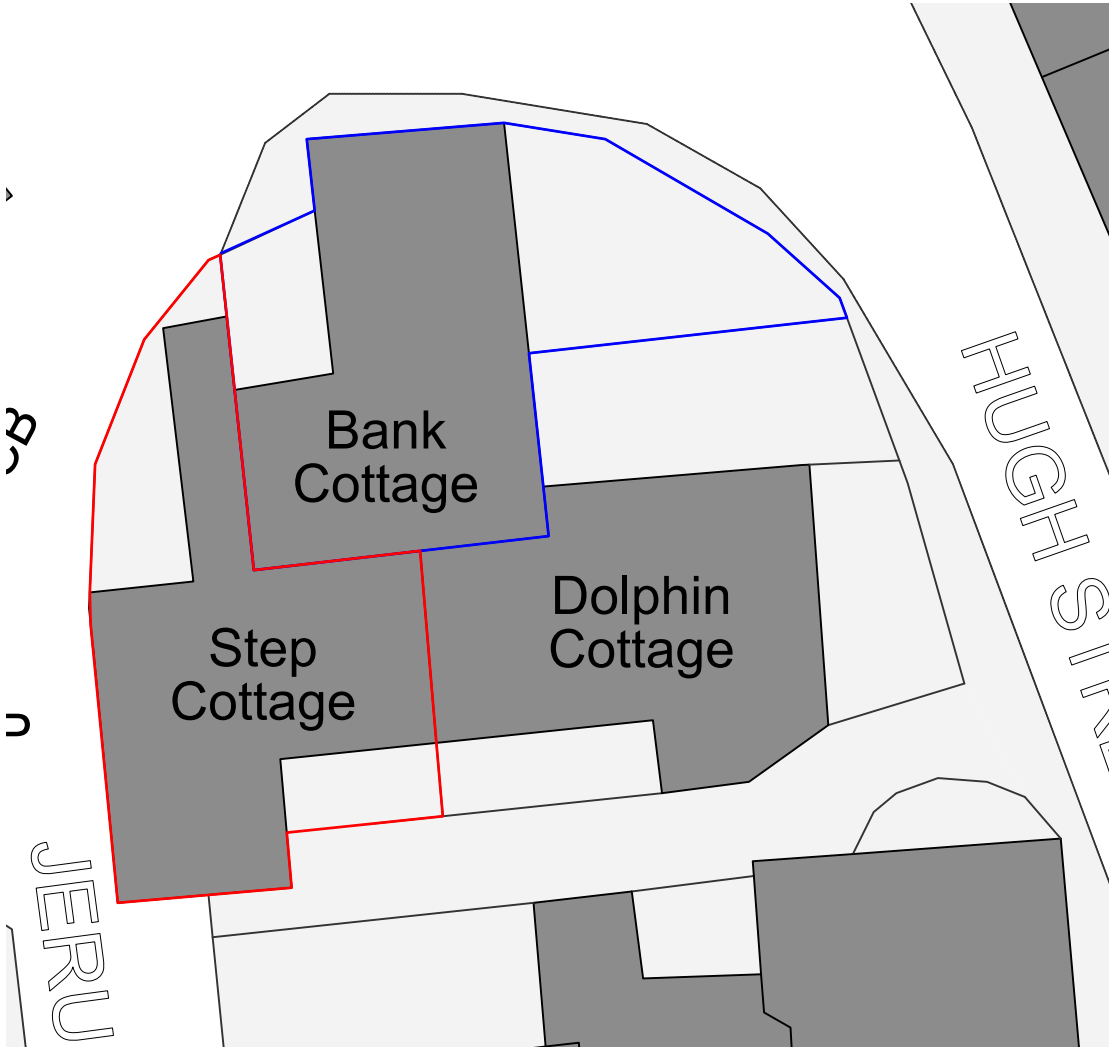
1:500 Location Plan:



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Site boundary Land owned by the applicant

1:200 Site Plan:



APPROVED
By Lisa Walton at 1:31 pm, Jan 28, 2026



RECEIVED
By Tom.Anderton at 10:35 am, Dec 11, 2025

REVISION SUMMARY DATE REVISION



First Floor, 43-45 Park Street
Bristol
BS1 5NL
mail@shuarchitects.uk
0117 248 2688

Project number
2092
Project
Step Cottage
TR21 0HY

Status
PLANNING
Use figured dimensions only. Only build
from drawing marked for 'Construction'.

Drawing Title
Location and Site Plan

Drawn by
MP
Date
Nov 2025

Scale
1:500@A3
1:200@A3

Drawing number
100

Revision
P2

Step Cottage, Hugh Town, TR21 0HY

Design, Access and Heritage Statement

APPROVED
By Lisa Walton at 1:31 pm, Jan 28, 2026

RECEIVED
By Tom.Anderton at 10:35 am, Dec 11, 2025

December 2025

Contents

- 1.0 Introduction**
 - 1.1 Introduction
 - 1.2 Site Setting, Heritage Setting & Significance
 - 1.3 Historic Maps
 - 1.4 Building Age Plan
 - 1.5 Existing Site Photographs
 - 1.6 Planning History
- 2.0 Design Statement**
 - 2.1 Outline of Proposals
 - 2.2 Statement of Sustainability
- 3.0 Access Statement**
 - 3.1 Access Statement
 - 3.2 Site Waste Management Plan
- 4.0 Heritage Statement**
 - 4.1 Schedule of Works & Impact Appraisal
- 5.0 Summary**



Fig. 1: Photograph of Step Cottage from the South, looking West

1.1 Introduction

Step Cottage is a residential cottage located centrally in Hugh Town. The property was acquired by the applicants in 2023.

This Listed Building application is for proposed amendments to Step Cottage to primarily improve accessibility by upgrading the stair and providing a ground floor shower room. Other proposed amendments include modifying the existing kitchen and utility, providing required structural improvements to the first floor joists, and reconfiguring the bathroom and bedroom 3 to the first floor. These works are detailed further in Section 2.

The majority of the elevations will remain the same, and so the only elevation drawings included in this application are elevations that are proposed to be amended.

This Heritage, Design and Access Statement has been prepared by Geoff Smith and Megan Peeks of Shu Architects. Megan is a RIBA Conservation Registrant.

This report should be read in conjunction with the following:

- Drawings 100-105, prepared by Shu Architects
- Letter Report and drawing Sk18013-01 Joist Strengthening, prepared by Paul Carpenter of PCA Consulting Engineers. Paul is included on the Conservation Accreditation Register for Engineers (CARE).

1.2 Site Setting, Heritage Setting & Significance

1.2.1 Site and Heritage Setting

Step Cottage is located in Hugh Town, St Mary's on the Isles of Scilly. Step Cottage is located in proximity to the historic core of Hugh Town, close to The Bank and Hugh Street. It is adjacent to Bank Cottage and Dolphin Cottage on the corner of Garrison Hill and Jerusalem Terrace.

The Isles of Scilly are designated as an Area of Outstanding Natural Beauty and has Conservation Area status, and the site lies within an archaeological constraint area (Fig 3). There are also numerous listed buildings located in Hugh Town, and within proximity to the site (Fig 2).

When the applicant bought Step Cottage, it was clear that the adjoining Dolphin Cottage and Bank Cottage were Grade II listed. These were covered by Entry Number: 1328844 as "The Bank, Hugh Town (South side) Dolphin Cottage and House Adjoining to North (Formerly Listed as The Bank, Hugh Town (South side) Dolphin Cottage and House Adjoining Dolphin Cottage on North". As it was not clear to the applicant whether this listing description included Step Cottage they wrote to the Local Planning Authority for clarification and were told in June 2024 that the Authority considered the cottage to be curtilage listed to Dolphin and Bank Cottages as it was a likely service extension to the two cottages. As the plan form of existing house does not support this interpretation, the applicant approached Historic England for help and they determined that the building was included in the listing and subsequently amended the title and description to explicitly include Step Cottage.

Entry Number: 1328844, now reads: "Dolphin Cottage, Bank Cottage, and Step Cottage". The properties were originally listed in 1959 due to their architectural and historic interest as 18th century or early 19th century cottages that still retain a proportion of their historic fabric, albeit having undergone some 19th and 20th century alterations, and for their regionally distinctive use of vernacular materials and building traditions.

The listing description, as amended in February 2025 to explicitly include Step Cottage, states:

"C18 or early-C19 building comprising three houses. C19 and C20 alterations.

MATERIALS: built of granite rubble stone with some large blocks, and scantle slate roofs. Dolphin Cottage and Bank Cottage are painted white. The east elevation of the south range of Step Cottage is rendered. The chimneystacks are built of granite rubble stone; two of the gable-end stacks to Step Cottage are rendered.

PLAN: the three dwellings form a roughly T-shaped footprint. Step Cottage is to the west; Bank Cottage to the north; and Dolphin Cottage to the east. Each cottage is thought to have a two-cell plan with a central staircase.

EXTERIOR: of two storeys. The principal elevation (north) of Dolphin Cottage has a two-window range with three-over-three sash windows; that to the ground floor is horned, and the opening has possibly been altered. It has a C20 half-glazed door. The roof to the left-hand end forms a half hip. To the right-hand end is a large rubble stone stack. To the rear (south) elevation is a single-storey lean-to. The



Fig. 2: Listed Buildings Map (Cornwall and the Isles of Scilly's Historic Environment Record)

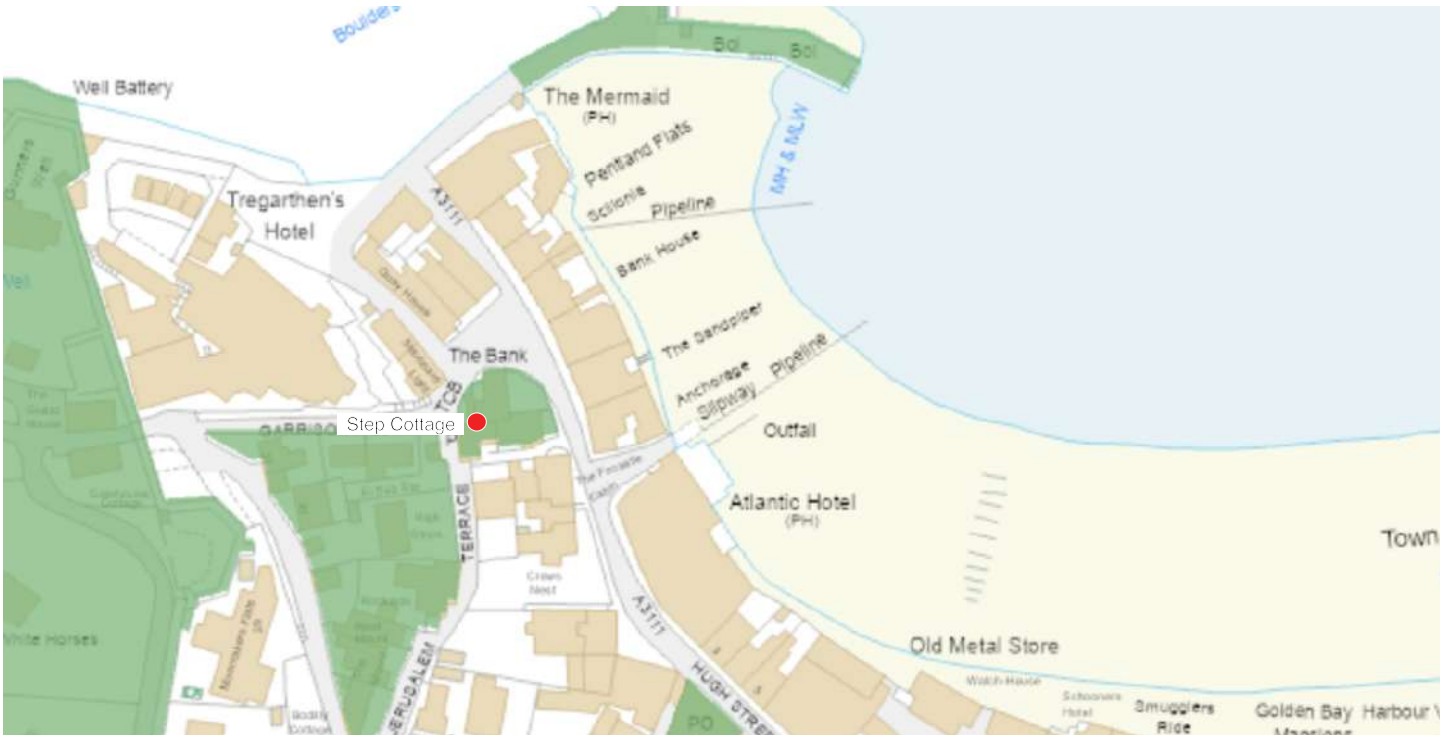


Fig. 3: Archaeological Constraint Area (Cornwall and the Isles of Scilly's Historic Environment Record)

1.2 Site Setting, Heritage Setting & Significance

principal elevation of Bank Cottage (east) is of three bays, with a central entrance door and flanking windows to the ground and first floor. The door and windows are late-C20 uPVC replacements. There is a rendered ridge stack towards the right-hand end, and a further tall stack to the rear. Step Cottage is sited on higher ground, and has an L-shaped plan with gable end stacks, and a single-storey range to the rear (north). The principal elevation (east and south) is L-shaped with one bay to the left, and two bays to the right. Above the door and ground floor window are large granite stone lintels. The windows are two-over-two horned sash windows.

INTERIOR: understood to have fireplaces with large stone lintels.”

Figure 4 illustrates the historic development of Hugh Town, further supported by Figure 6a-e Historic Maps. These support the understanding that Step Cottage is believed to be built in the 18th or early 19th century. Figure 6 demonstrates, through the series of historic maps, that the footprint of Step Cottage, Bank Cottage and Dolphin Cottage have remained relatively unchanged since being built.

1.2.2 Significance

The NPPF classes significance (for heritage policy) as *“The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”*

Step Cottage is Grade II listed due to its architectural and historic interest, and the property is considered significant. However, it is important to note that the property has undergone modern alterations, and some of these changes are considered less or not significant as they have little or no architectural or historic interest.

Figure 7 illustrates the assumed ages of the walls, which is informed by an understanding of refurbishment works completed in the early 2000’s by the previous owners of the property. The original and historic building fabric has a higher significance than the modern partitions, as the modern partitions are considered to have altered the historic plan form and do not contribute to the architectural interest of the property.

Step Cottage also features exposed stone fireplaces internally (Fig 20-22). These are key historic features within the property with the most significant being found within the dining room.



Fig. 4: Historic Development of Hugh Town (Cornwall and Scilly Urban Survey for Hugh Town, 2003)



Fig. 5: Illustration of the 1882 engraving of Star Castle, based on a c. 1669 illustration (Cornwall and Scilly Urban Survey for Hugh Town, 2003. Step Cottage I understood to be built later.

1.3 Historic Maps



Fig. 6b OS Six Inch 1830s-1880s (National Library of Scotland)



Fig. 6d OS Six Inch 1888-1915 (National Library of Scotland)

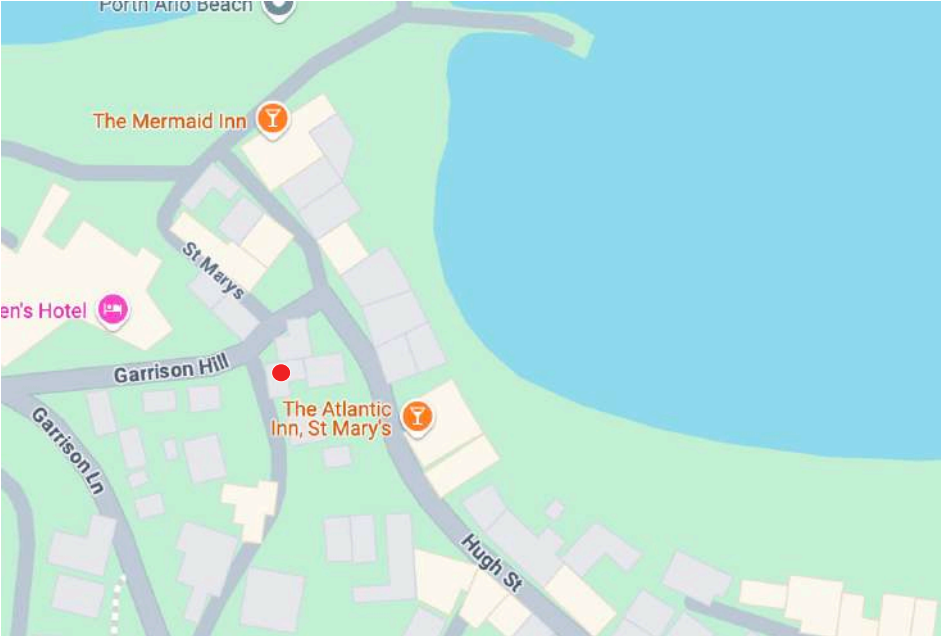


Fig. 6f Google Maps 2025



Fig. 6a



Fig. 6c

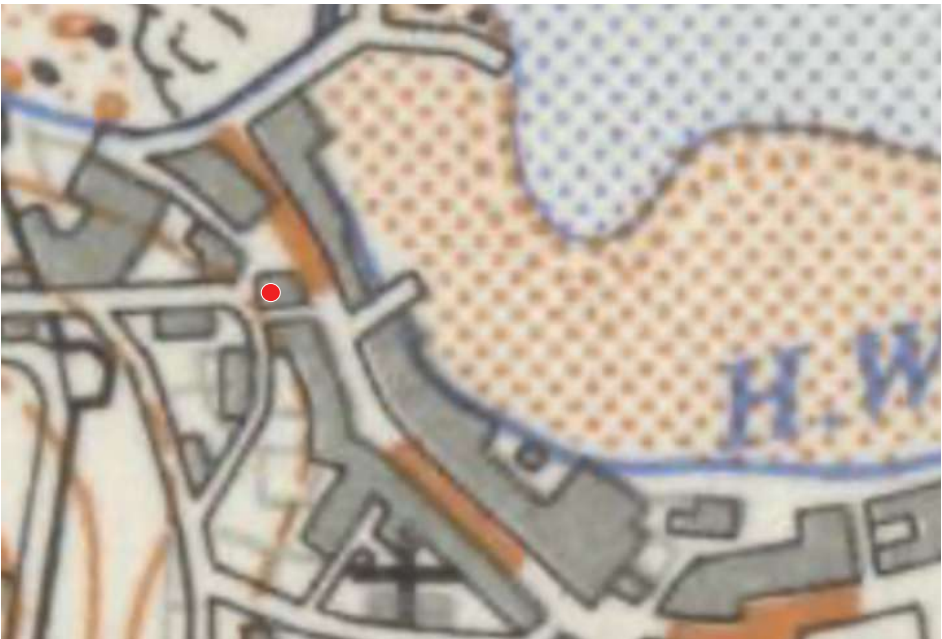


Fig. 6e

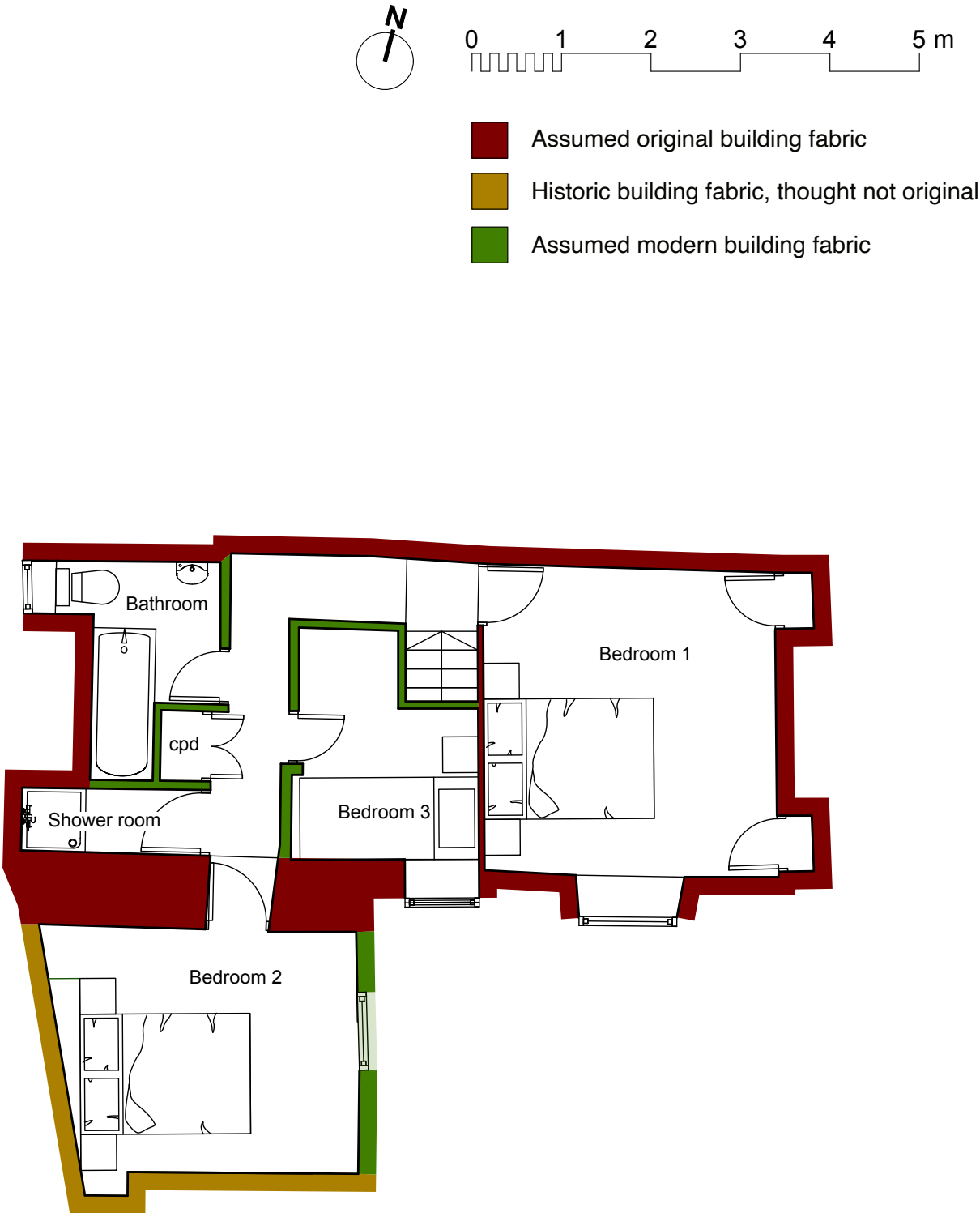
Step Cottage ●

1.4 Building Age Plan



Ground Floor Plan

Fig. 7: Building Age Plans



First Floor Plan

1.5 Existing Site Photographs: Context



Fig. 8: Looking North West from Hugh Street towards Bank Cottage and the Bank



Fig. 9: Looking South from The Bank toward Bank Cottage and Dolphin Cottage



Fig. 10: Looking South along Hugh Street from The Bank



Fig. 11: Looking South West from The Bank towards Garrison Hill



Fig. 12: Looking South from The Bank along Jerusalem Terrace towards Step Cottage



Fig. 13: Looking North East towards Hugh Street

1.5 Existing Site Photographs: External

Step Cottage is accessed either via steps from Jerusalem Terrace and through the garden to the main entrance door on the South elevation (Fig 14-15), or, via a gate in the garden wall situated on Jerusalem Terrace (Fig 16), leading directly into the kitchen (Fig 18). The main house has a pitched slate roof and it has subsidiary extensions to the north (single storey) and to the south (2-storey).

The house mainly has exposed granite rubble walls and stone lintels externally. One wall to the east side of the south extension is rendered (Fig 15), and one wall to the west side of the north extension is clad with modern horizontal timber slats (Fig 18). The facade to the south of the house has 2-range horned 4-pane windows and a solid timber door (Fig 14).

Internally, the fireplaces are the most significant features, with these exposed in the lounge, dining room and study on the ground floor (Fig 20-22). The fireplace in the dining room is the largest and most impressive, and it has a large timber lintel.



Fig. 14: South elevation of Step Cottage



Fig. 15: East elevation of Step Cottage



Fig. 16: North elevation of Step Cottage from garden



Fig. 17: Step Cottage from Jerusalem Terrace looking North



Fig. 18: West elevation of kitchen



Fig. 19: Step Cottage from Jerusalem Terrace

1.5 Existing Site Photographs: Ground Floor



Fig. 20: Study with fireplace



Fig. 21: Lounge with fireplace



Fig. 22: Dining room with fireplace



Fig. 23: Kitchen



Fig. 24: Ground Floor WC



Fig. 25: External access to store



Fig. 26: External store



Fig. 27: North elevation of Step Cottage kitchen and external store

1.5 Existing Site Photographs: First Floor



Fig. 28: Stairs, with insert to demonstrate poor state of repair of stair



Fig. 29: First floor hallway



Fig. 30: Bedroom 3



Fig. 31: Bathroom



Fig. 32: Bedroom 2

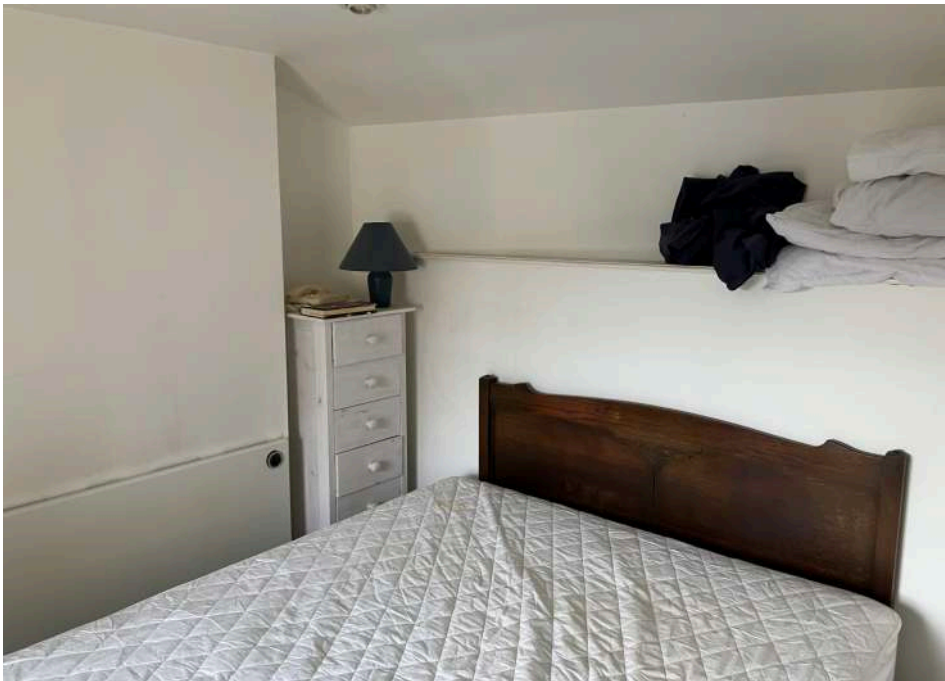


Fig. 33: Bedroom 2



Fig. 34: Bedroom 1

1.6 Planning History

Prior to this application a pre-app was undertaken. The proposals included in the pre-app are outlined below along with a summary of the comments received and the response reflected in this application.

- 1. New Stair:** The loss of an existing stair was considered unjustified. As a result this approach has been reconsidered. CARE engineer Paul Carpenter from PCA Consulting Engineers has assessed the existing stair and advised on suitable approaches. From this the client has chosen to retain the existing stair, and overlay it with a new stair, to achieve a safer, shallower pitch stair without any loss of existing building fabric. It is hoped this sympathetic and reversible approach will be looked upon more favourably.
- 2. First Floor Layout:** Reconfiguring bedroom 3 and the first floor bathroom was considered acceptable as the partitions are modern and of negligible significance. This proposal remains in this application.
- 3. Ground floor shower room:** Combining the existing WC and utility to form a shower room was considered acceptable as the partitions are modern and of negligible significance. This proposal remains in this application.
- 4. Kitchen:** Re-organisation of the kitchen was considered acceptable as the kitchen is modern and of negligible significance. This proposal remains in this application, but the amendments have been significantly reduced.
- 5. Kitchen windows and door:** These were proposed to be replaced with uPVC. This was considered unacceptable and is no longer proposed. Instead, a new painted timber window is proposed that is in keeping with the property and the surrounding area.
- 6. Floor Joists:** The floor joists were originally proposed to be replaced. This was considered to be unjustified and a less invasive approach was recommended. As a result CARE engineer Paul Carpenter (PCA Consulting Engineers) has reassessed the floor joists and a more sympathetic approach is now proposed, which retains the existing joists and reduces the works to one room. It is hoped this proportionate and sympathetic approach, which retains the character of the property, will be looked upon more favourably.

2.0 Design Statement

2.1 Outline of Proposals

The proposals include several amendments to address current issues and improve the accessibility, functionality and usability of Step Cottage. The proposals include:

- 1. **Overlaid Stair:** Retaining and repairing the existing stair before overlaying it with timber to form a stair with a shallower pitch
- 2. **First Floor Layout:** Reconfiguring bedroom 3 and the first floor bathroom to increase the head height to the stair
- 3. **Ground floor shower room:** Combining the existing WC and utility to form a shower room
- 4. **Kitchen:** New kitchen unit to accommodate a washing machine
- 5. **Kitchen window:** New timber window proposed
- 6. **Floor Joists:** Existing first floor joists to bedroom 1 to be strengthened, as advised by a CARE registered Structural Engineer

These proposals are explained in more detail below.

2.1.1 Overlaid Stair

The inaccessibility of the existing stair, and a desire to improve the safety and accessibility of the property has been the starting point of the proposals outlined in this application. The existing stair (Fig 28) has a pitch of 47°, and has a head height as low as 1.7m. It is in a poor state of repair (Fig 35), and it has uneven risers and a difficult to grasp handrail, and when these are combined with the other elements it makes the stair difficult to use safely. By comparison, current building regulations require a maximum pitch of 42°, and a minimum head height of 2m. Although it is understood the existing stair may not need to meet current building regulations, this comparison acts as indicator to demonstrate how unsafe the existing stair would be considered if proposed now.

The existing stair is thought to be original and as such, it is considered important to retain the staircase in situ. Therefore, the proposal is to retain the existing stair, and overlay it to create a stair with a shallower pitch. This will allow the works to be fully reversible, ensure the building fabric is not lost, yet provide a safer staircase to ensure the property has an ongoing viable use.

It is proposed that the stair will be overlaid using timber, and varying layers of MDF where required to achieve a lower pitch of 42° (refer to Drawing 104 Proposed Stair). This will require the internal doors and frames to both the living room and dining room to be repositioned slightly, As the internal doors and frames are believed to be original it is proposed that these are retained and repositioned, not replaced. Where the wall needs to be rebuilt, it is proposed that this is done using plasterboard over a timber stud.

Furthermore, to ensure a 2m head height is achieved, the bulkhead above the stair is proposed to be removed.



Fig. 35: Existing Section AA



Fig. 36: Proposed Section AA

2.0 Design Statement

Thought has been given to reducing the size of the bulkhead rather than removing the section above the stair, however, to achieve the required 2m head height the majority of the bulkhead will need to be removed, leaving a floor area above the stair of only 500mm wide. As this area will be small, and reduced further by the guarding that would be required around it, it was considered an impractical space. Hence, it is proposed to remove this small area of floor space. It is believed that removing this small area of floor will also improve the architectural qualities of the space, for example, natural daylight from the first floor window will light the stairway.

In Paul Carpenter's report he suggests that the existing handrails and newel posts could either be "*adjusted with the handrail extended or renewed at a pitch to marry with the pitch of the newly adjusted stair flight*" [Ibid, p4]. As the primary reason to undertake the works is for improving the safety of the stairs, our client would like to put aside the existing handrails so that they can be replaced with new handrails to suit the extended length of the flight and the angle adjusted to suit the new pitch.

Overall, it is considered that the alterations to the staircase will improve the functionality of the property, ensuring its ongoing usability and viability, with little impact on the the original building fabric and without detrimentally impacting the heritage significance of the property.

2.1.2 First Floor Layout

The first floor currently accommodates 3 bedrooms, bathroom, linen cupboard and shower room (Fig 37). It is proposed that bedrooms 1 and 2 remain as they are, and the modern partitions forming the bathroom, shower room, cupboard and bedroom 3 are removed and this area of the first floor is reconfigured to form a single bathroom and bedroom 3.

The proposed layout of first floor will allow the stair to be opened up to ensure it has sufficient head height. This will allow the window to the south elevation to serve the stairwell, allowing natural daylight to light the first floor hallway, stair and ground floor entrance lobby. This will greatly improve these spaces.

The existing shower room is proposed to be enlarged to accommodate a WC and sink, to form the main bathroom. This will allow the current bathroom, which has an unusual and inefficient layout, to be removed and replaced with bedroom 3.

To ensure the impact is minimal, existing drainage runs are to be utilised as far a possible. It is proposed that the WC and sink follow the line of the existing shower pipe run and connect to the existing SVP externally. To minimise the number of bends to the SVP, and ensure the SVP does not impact the dining room window/lintel it is proposed the route of the SVP externally varies slightly. Please refer to figures 38a and 38b. Any resultant stonework repairs will use like for like materials to match the existing.

Furthermore, the existing shower room is already served by mechanical ventilation. The route of this ventilation through the loft space will be reused. See figures 39-40.



Fig. 37: Existing and Proposed Floor Plans

2.0 Design Statement

2.1.3 Ground Floor Shower Room

Currently a ground floor WC and utility room are formed by modern partitions within the kitchen. To improve the accessibility of the property it is proposed to combine these two spaces to form a larger ground floor shower room. This will utilise existing drainage runs. The amendments required to facilitate this change are minimal - a modern door will be removed forming the existing WC, and new sanitary ware will be installed.

2.1.4 Kitchen

The current kitchen is modern and much of it is freestanding. Space will be made to incorporate the washing machine that is currently within the utility room. This will connect to the existing drainage runs from the existing utility room. This will be accommodated by the proposed shower tray being raised, to allow the required drainage connections.

2.1.5 Kitchen Window

The existing kitchen window is a modern timber window (Fig 18). It is proposed to replace the existing kitchen window with a new timber window of a similar design, but with the head of the window raised to match the door height (drawing number 105). It is considered that this will improve the composition of the elevation.

2.1.6 Floor Joists

Please refer to the Letter Report and drawing Sk18013-01 Joist Strengthening, prepared by PCA Consulting Engineers for the justification and details of the proposed strengthening to the floor joists to bedroom 1, above the lounge. The proposal has been developed to ensure the original joists remain exposed, to ensure the character of the space is not detrimentally impacted, whilst also incorporating 2 no. 50x50mm timbers either side of the joists to provide the additional support required.

It is considered that this sympathetic and proportionate proposal will ensure the ongoing structural stability of the property.

2.2 Statement of Sustainability

The proposals concern minor amendments to improve the functionality of the space. Where sanitaryware is being replaced, water saving appliances will be chosen where possible. This will reduce the water consumption of the dwelling.



Fig. 38a: Existing route of SVP



Fig. 38b: Proposed route of SVP



Figs. 39-40: Existing flexible ventilation duct within loft, serving existing shower room and terminating through roof. To be reused.

3.0 Access Statement

3.1 Access Statement

The current access to the property will remain unchanged by the proposed amendments. However, internally, the dwelling will be made more accessible due to the introduction of a ground floor shower room and improved staircase being a lower pitch with sufficient head height. This will make the staircase safer to use for all.

3.2 Site Waste Management Plan

A Site Waste Management Plan will be compiled by the contractor prior to works on site. This will require waste materials to be re-used or recycled as much as possible.

4.0 Heritage Statement

The next section combines a schedule of the proposed works, an assessment of the heritage significance of the existing element impacted and an impact assessment on the significance in table format.

The adjacent table outlines how the two sections have been classified.

The schedule of works should be read in conjunction with planning drawings by Shu Architects.

Heritage Significance	
High	Building elements that contribute significantly to the heritage asset and its setting
Medium	Building elements that contribute moderately to the heritage asset and its setting
Low	Building elements with limited value but with potential to contribute to the heritage asset and its setting
Negligible	Building elements that do not contribute to the heritage asset and its setting
Impact on Significance	
Positive	Changes that cause a positive impact and enhancement to the heritage asset and its setting
Neutral	Changes that cause a neutral or negligible impact to the heritage asset and its setting
Negative	Changes that cause a negative impact to the heritage asset and its setting

4.1 Schedule of Works & Impact Appraisal

	<u>Proposed Works</u>	<u>Significance</u>	<u>Impact Appraisal</u>
1.00	New Stair		
1.01	Overlay existing timber stair with new timber stair with shallower pitch.	<p>The current stair is believed to be original but in need of repairs.</p> <p>Heritage Significance : Medium</p>	<p>The stair will remain in its current position, ensuring the historic plan form is retained. The existing stair will be retained to ensure the building fabric is not lost, and the works are reversible. The improvements to the stair will make the stair safer to use, helping to ensure the ongoing viable use of the stair in their original location.</p> <p>Impact on Significance: Neutral</p>
1.02	Reposition doorways into living room and dining room	<p>The existing doors are considered to follow the original plan form</p> <p>Heritage Significance : Medium</p>	<p>The doors and frames are to be reused, but repositioned to accommodate the improved stair. This is a minor change and is not considered to cause significant harm.</p> <p>Impact on Significance: Neutral</p>
1.03	Remove floor above main entrance door	<p>The original plan layout is 2 rooms divided by a central stair. It is unknown if the small floor area above the entrance door follows the original plan form, but it is acknowledged that it is served by a window.</p> <p>Heritage Significance : Low</p>	<p>This area of floor is not considered to significantly contribute to the character of the property, and its removal is not considered to cause significant harm, but will improve the quality and natural lighting of the space.</p> <p>Impact on Significance: Neutral/Positive</p>
2.00	First Floor Layout		
2.01	Removal of modern partitions and sanitary ware, with new partitions to be built to form new layout.	<p>The current partitions are modern and subdivide the historic plan form</p> <p>Heritage Significance : Negligible</p>	<p>The reconfiguration of the first floor is not considered to harm the heritage asset but will improve the quality of the spaces, particularly the entrance lobby and stairwell.</p> <p>Impact on Significance: Neutral/Positive</p>
2.01	Amendments to SVP	<p>The SVP is modern</p> <p>Heritage Significance : Negligible</p>	<p>The proposed amendments to the SVP will ensure the dining room window/lintel is not impacted by the proposal minimising the impact. The redundant SVP will be removed.</p> <p>Impact on Significance: Neutral</p>
2.01	Mechanical extract	<p>The existing mechanical extract is modern</p> <p>Heritage Significance : Negligible</p>	<p>The proposals include re-use the existing ventilation ducts and vent through the roof to minimise any impact. Effective ventilation will protect the historic fabric.</p> <p>Impact on Significance: Neutral/Positive</p>
3.00	Ground floor shower room		
3.01	Removal of modern partition/door forming WC and replacement of modern sanitary ware	<p>The partition and door are modern, and do not contribute to the dwellings' character.</p> <p>Heritage Significance : Negligible</p>	<p>It is considered this change will not impact the significance of the property.</p> <p>Impact on Significance: Neutral</p>

4.1 Schedule of Works & Impact Appraisal

	<u>Proposed Works</u>	<u>Significance</u>	<u>Impact Appraisal</u>
4.00	Kitchen		
4.01	New kitchen unit to incorporate washing machine	<p>The existing kitchen is modern.</p> <p>Heritage Significance : Negligible</p>	<p>A new kitchen unit is not considered to harm the significance of the property but will provide required washing facilities.</p> <p>Impact on Significance: Neutral</p>
5.00	Kitchen Window		
5.01	New timber window	<p>The existing timber window is modern</p> <p>Heritage Significance : Negligible</p>	<p>Aligning the window head and door will improve the composition of the elevation</p> <p>Impact on Significance: Positive</p>
6.00	Floor Joists		
6.01	Strengthening to existing floor joists	<p>The original existing floor joists are exposed and this contributes to the character of the property.</p> <p>Heritage Significance : Low</p>	<p>The original existing floor joists will remain exposed, contributing to the character of the property. Additional strengthening will be concealed within the floor depth to ensure the property can cope with modern loadings, and ensure the ongoing viability of the property. .</p> <p>Impact on Significance: Neutral/Positive</p>

5.0 Summary

Step Cottage is located close to the historic core of Hugh Town and is adjacent to, and group Grade II listed with, Bank Cottage and Dolphin Cottage. As an 18th century or early 19th century cottage, Step Cottage is significant for its architectural and historic interest due to its regionally distinctive use of vernacular materials and building traditions. Therefore, its most significant features are its elevations and internal features such as the historic fireplaces.

The proposed works comprise of five key amendments, as follows:

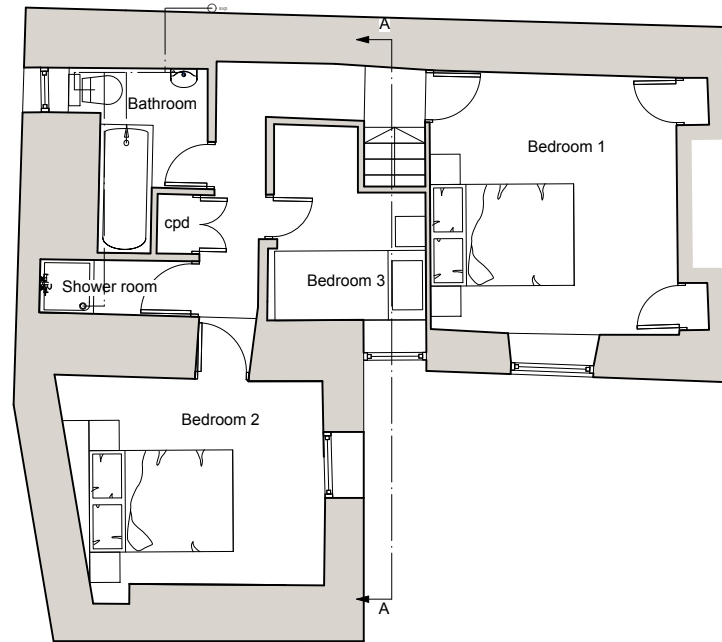
1. **Overlaid Stair:** Overlaying the existing timber stair with a new timber stair with a shallower pitch
2. **First Floor Layout:** Reconfiguring bedroom 3 and the first floor bathroom to increase the head height to the stair
3. **Ground floor shower room:** Combining the existing WC and utility to form a shower room
4. **Kitchen:** New kitchen unit to accommodate a washing machine
5. **Kitchen window:** New timber window proposed
6. **Floor Joists:** Existing first floor joists to bedroom 1 to be strengthened, as advised by a CARE registered Structural Engineer

It is considered that the internal amendments are minor, and will not cause significant harm to the character of the property. However, they will help to improve the functionality of the dwelling by creating a more accessible stair and a ground shower room. Furthermore, the strengthening of the first floor joists will ensure the ongoing structural stability of the property. All of these amendments will help to ensure the ongoing viability of the heritage asset without detrimentally impacting any of the internal heritage features.

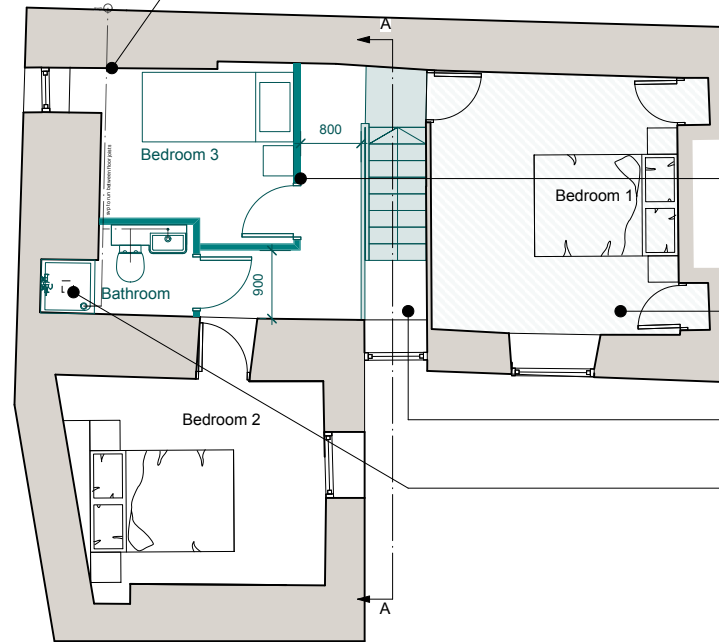
The proposals have been carefully considered to retain as much existing building fabric as possible, ensure the works are reversible, and ensure the character of the property is not detrimentally impacted. This has been balanced with improving the accessibility and safety of the property, to ensure the ongoing viability of the dwelling.

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By Tom.Anderton at 10:35 am, Dec 11, 2025



EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

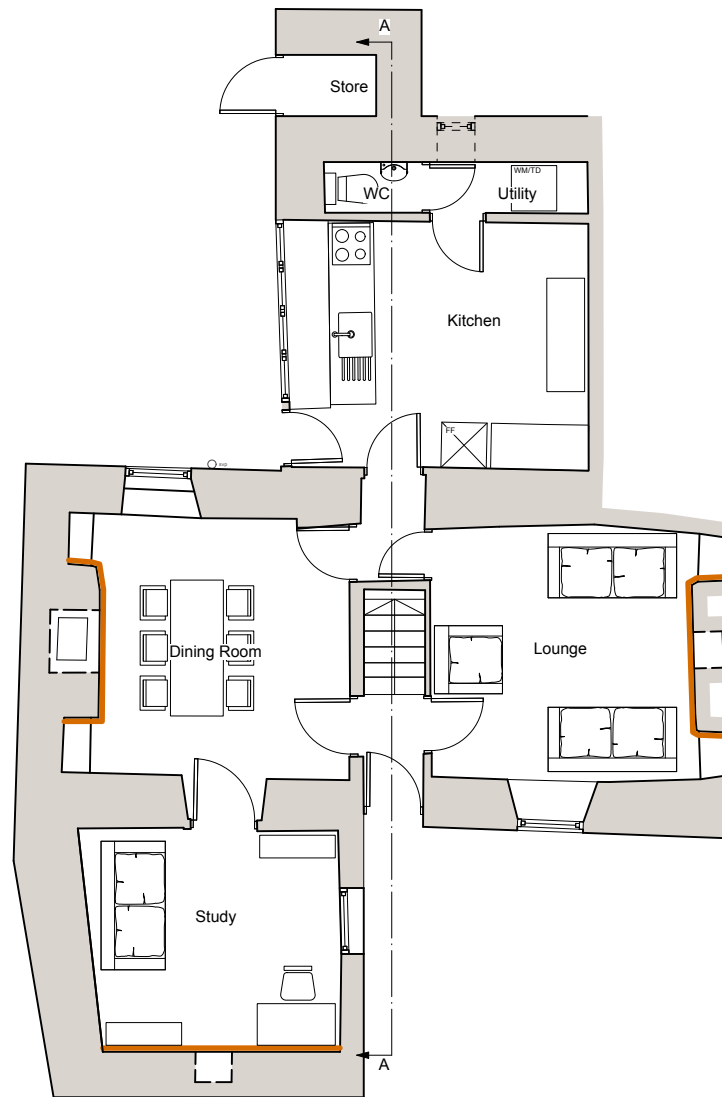
SVP to run between floor joists and out of external wall. SVP to run vertically adjacent to ground floor window before crossing below the window to utilise existing below ground SVP connection.

Remove modern partitions forming bathroom, shower room and bedroom 3. Install new partitions to form new bathroom and bedroom 3.

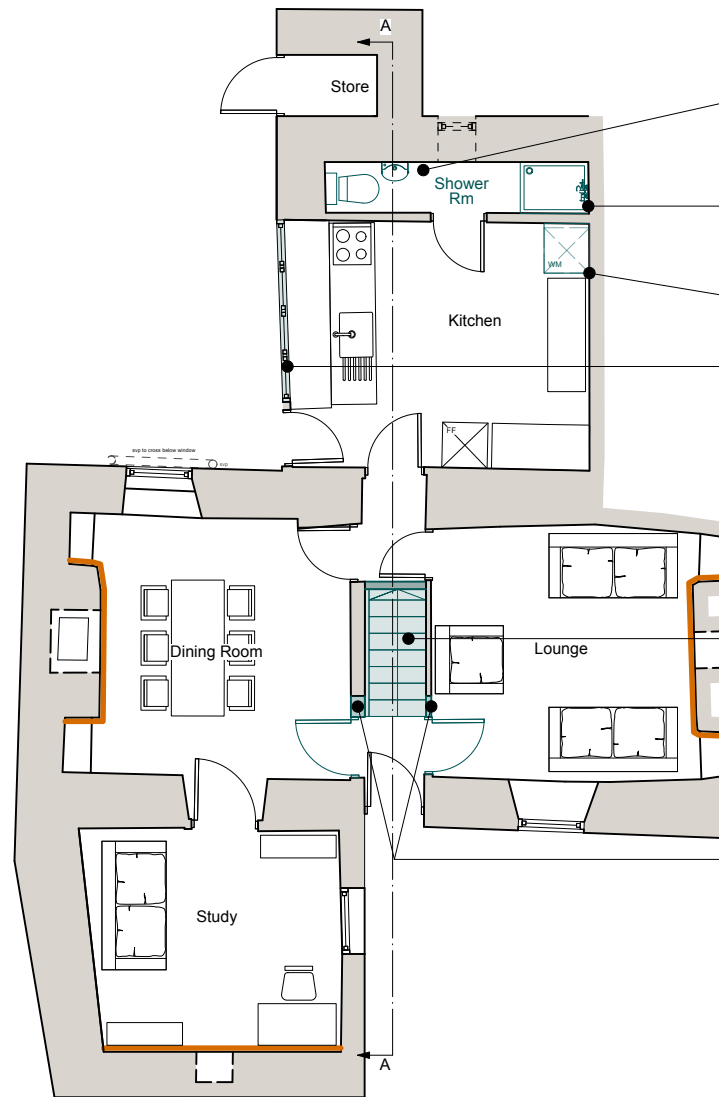
Existing floor joists above lounge to be strengthened as advised by structural engineer. Refer to Structural Report/Letter by PCA Consulting Engineers and drawing SK18013.01.

Remove floor above stair to improve head height and allow natural daylight to the ground floor

Extract fan to ceiling to utilise existing vent through roof



EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

Remove modern partition / doorway forming existing WC to form larger shower room

New shower installed. To step up from finished floor level to allow existing drainage runs to be used.

New kitchen unit for washing machine. To connect to drainage in shower room, below shower, and ventilation to remain unchanged.

New timber window

Existing timber stair retained and to undergo localised repairs where required. Once repaired stair to be overboarded to reduce steepness.

Reposition existing doors and frames to lounge and dining room to accommodate amendments to stair

0 1 2 3 4 5 M



Heritage feature
Proposed works

REVISION SUMMARY

DATE REVISION

APPROVED
By Lisa Walton at 1:32 pm, Jan 28, 2026

RECEIVED
By Tom.Anderton at 10:35 am, Dec 11, 2025



First Floor, 43-45 Park Street
Bristol
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mail@shuarchitects.uk
0117 248 2688

Project number
2092
Project
Step Cottage
TR21 0HY

Status
PLANNING
Use figured dimensions only. Only build from drawing marked for 'Construction'.

Drawing Title
Proposed Section

Drawn by
MP
Date
May 2025

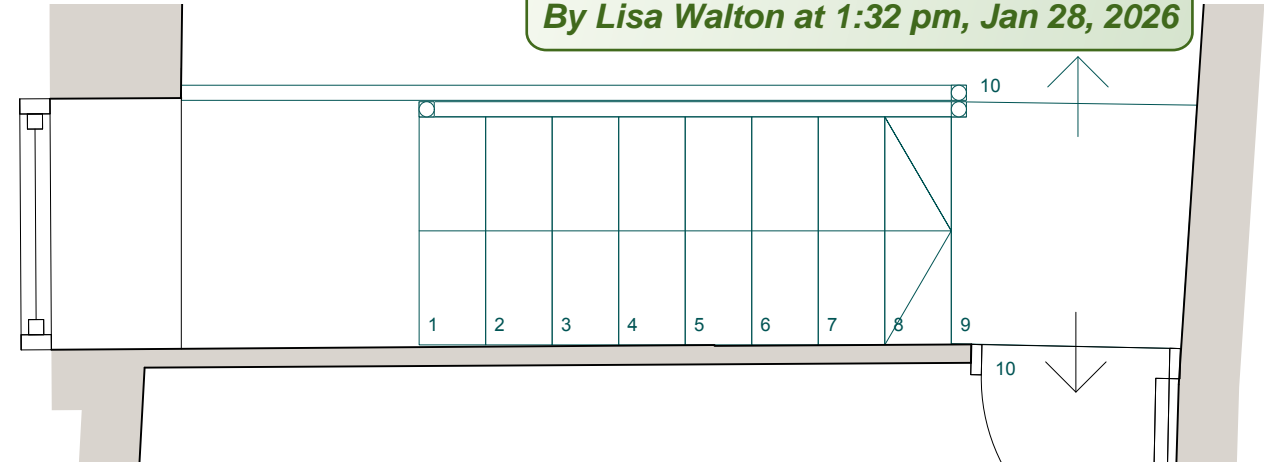
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Drawing number
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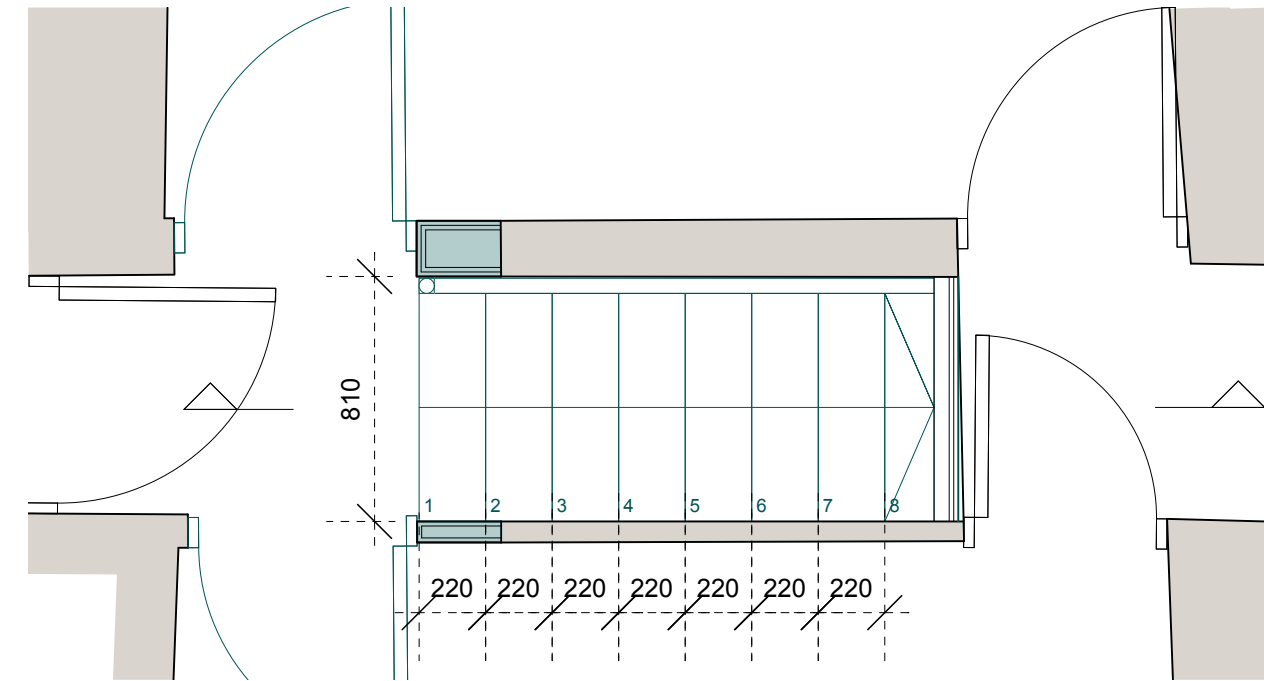
Revision
P3

REVISION SUMMARY DATE REVISION

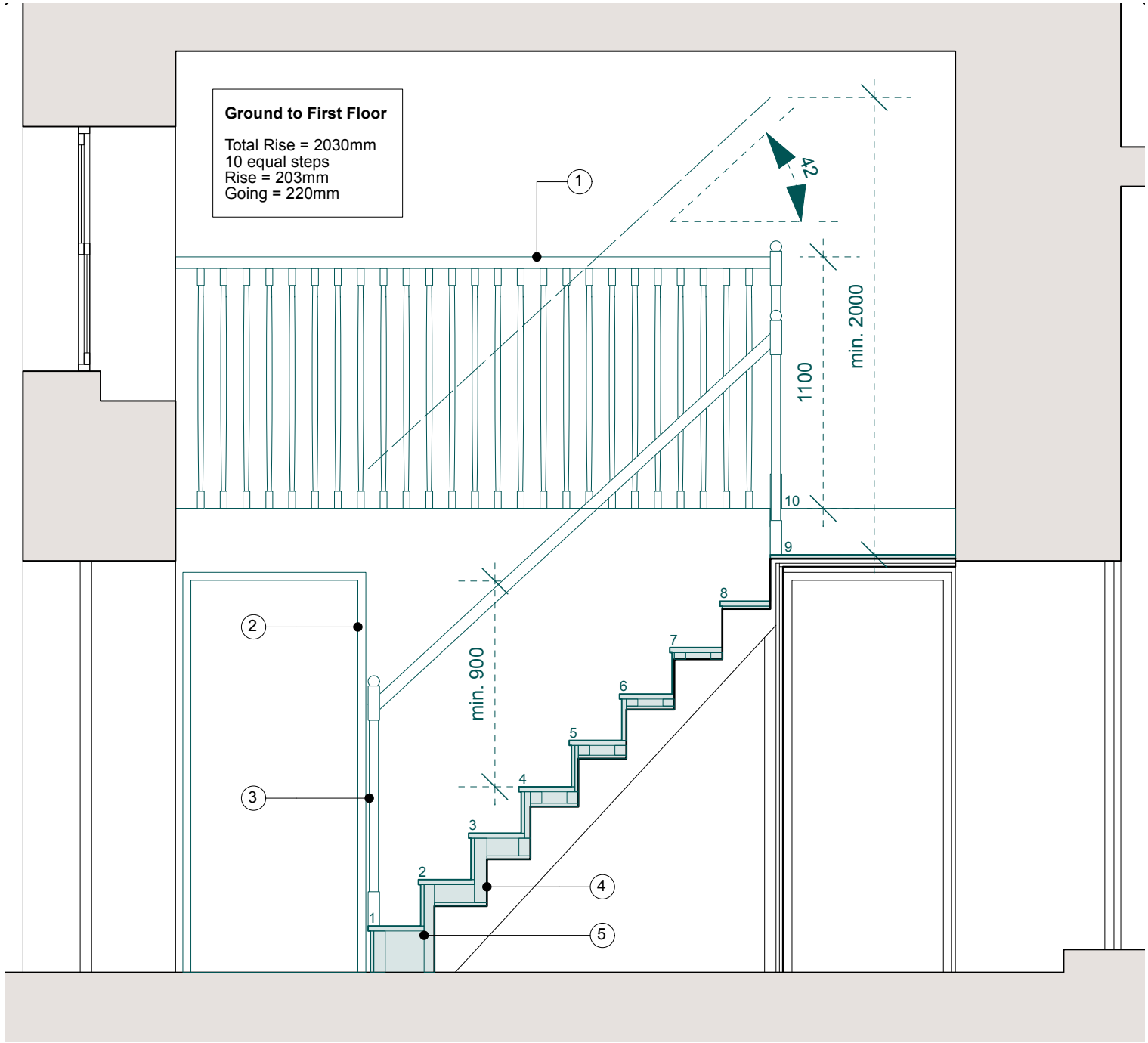
APPROVED
By Lisa Walton at 1:32 pm, Jan 28, 2026



FIRST FLOOR PLAN

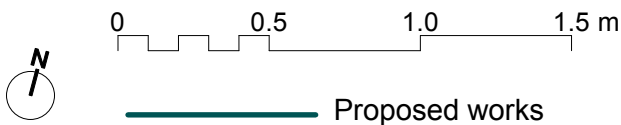


GROUND FLOOR PLAN



STAIR SECTION

- Notes
1. Proposed new vertical timber guarding at first floor to match design of existing newel post and handrail.
 2. Existing door and frame to be repositioned. Where wall is to be rebuilt, to use plasterboard and skim on timber studs.
 3. Existing newel posts to be retained and adjusted to suit new handrail.
 4. Localised repairs proposed to existing stair, as advised by PCA Consulting Engineers. Repairs to include checking connections between risers and treads, and repairing any spilt treads.
 5. Existing stair to be overlaid with using timber and varying layers of MDF to form staircase with reduced pitch. Structural Engineer to advise on structural support.



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Project number Project
2092 Step Cottage
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Drawing Title
Proposed Stair

Drawn by
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Date
May 2025

Scale
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Drawing number
104

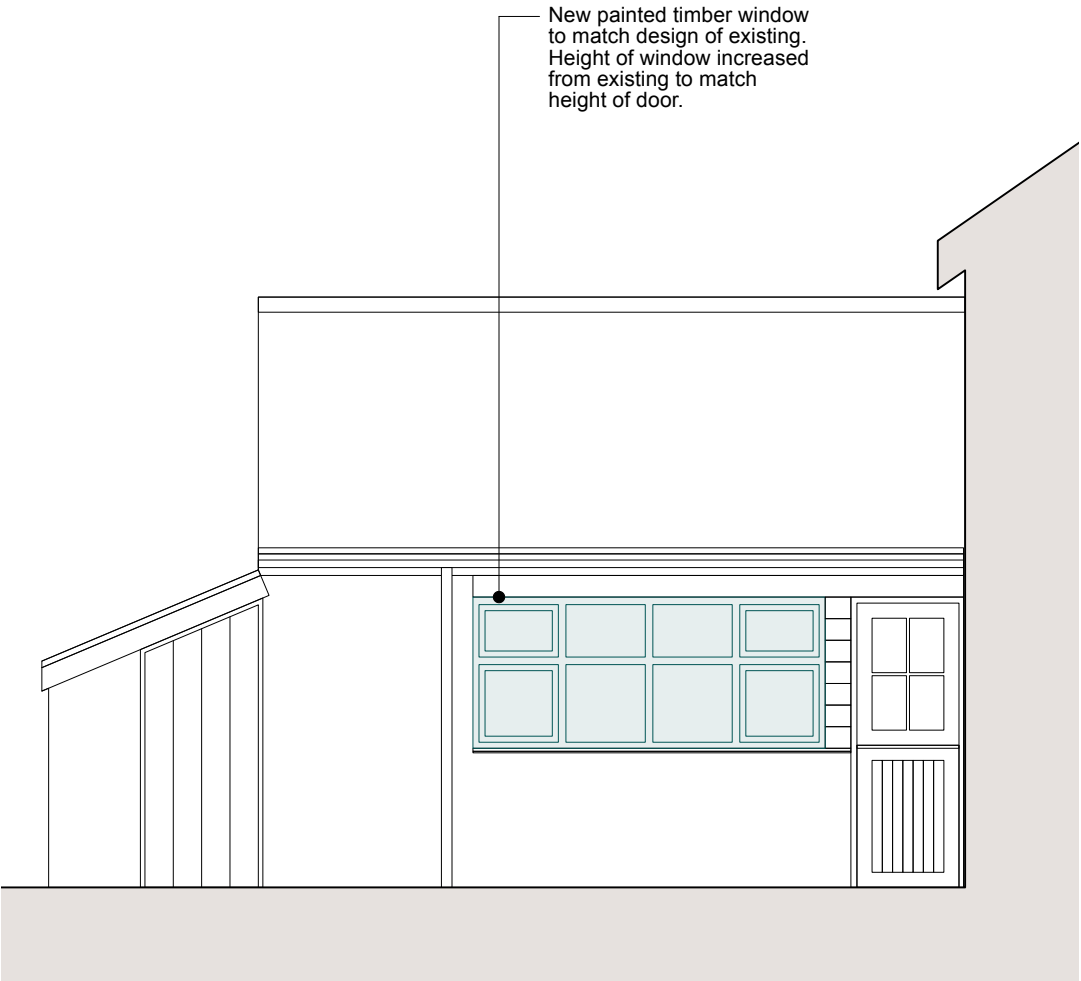
Revision
P2

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By Lisa Walton at 1:32 pm, Jan 28, 2026

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By Tom.Anderton at 10:35 am, Dec 11, 2025

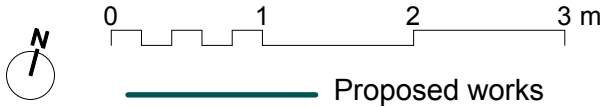


EXISTING WEST ELEVATION OF KITCHEN



PROPOSED WEST ELEVATION OF KITCHEN

Note: All other elevations to remain unchanged by the proposals



REVISION SUMMARY DATE REVISION



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Project number Project
2092 Step Cottage
TR21 0HY

Status
PLANNING
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Drawing Title
Existing and Proposed Elevation

Drawn by
MP
Date
May 2025

Scale
1:50@A3

Drawing number
105

Revision
P2

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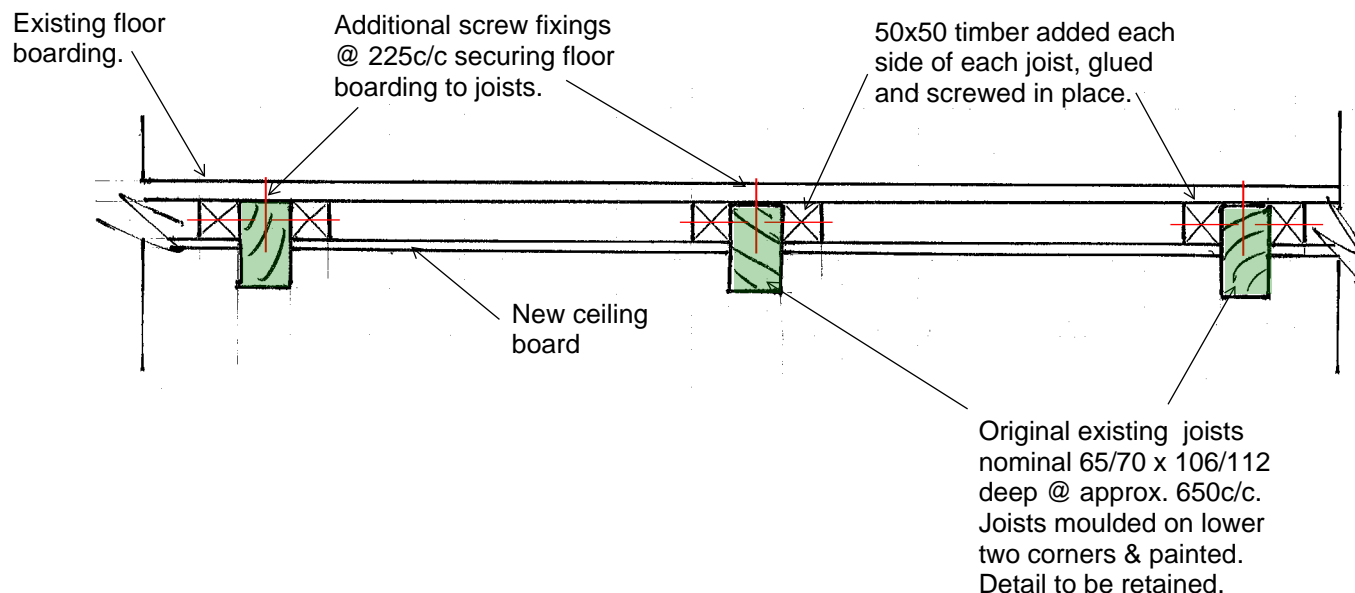
By Tom.Anderton at 10:35 am, Dec 11, 2025

APPROVED

By Lisa Walton at 1:32 pm, Jan 28, 2026

NOTES

Allow to remove modern ceilings and current batten support timbers.
Prop floor joists at centre span.
Add 50x50 timbers to each side of each joist gluing and screwing in place.
Add additional screw fixings @ 225c/c. to further secure existing floor boarding to joists.
Following installation of services, refix ceiling board between joists.
Remove temporary propping on completion of the works.



APPROXIMATE FLOOR SECTION.
(Scale 1:10 @ A4)

STEP COTTAGE, ST MARY'S.
Floor Joist Strengthening Proposals.
SK.18013.01 **October 2025**