

Council of the Isles of Scilly Delegated Planning Report Listed Building Consent Application

P-25-107 Decision

Application Number: P/25/107/LBC

UPRN: 000192000138

Received on: 11 December 2025

Valid on: 11 December 2025

Site Notice posted: 11 December 2025

Site Notice expiry: 5 January 2026

Application Expiry Date: 5 February 2026

Applicant: Glenn and Caroline Marlow

Site Address:
Step Cottage
Jerusalem Terrace
Hugh Town
St Mary's
Isles Of Scilly
TR21 0HY

Proposal: Alterations to ground and first floor layout including overlaying stair, strengthening of floor joists and new kitchen window.

Application Type: Listed Building Consent

Recommendation: GRANT

Recommended Conditions

1. Time Limit.
2. Approved Details
3. Approved Materials
4. Joinery Details for Kitchen Window
5. Material & Style Requirements for Soil Vent Pipe

Reason for Delegated Decision

No Councillor has requested that the application come to the Full Council. The decision defaults to the level of Delegated:

- Not a Councillor ✓
- Not a Senior Officer (or Officer with influence over planning Decisions) ✓
- No relation to a Councillor/Officer ✓
- Not Major ✓
- Not Council's own application ✓
- Not a departure from the Development Plan ✓
- Not Called in ✓

Lead Member Planning Agreed

Name: Cllr D Marcus | Date: 05/01/2026

Site Description and Proposed Development

Step Cottage is a two-storey Grade II listed residential building located on the corner of Garrison Hill and Jerusalem Terrace, in the north west of Hugh Town, on the island of St Mary's.



To the east of the property is Dolphin Cottage and Bank Cottage, which together with Step Cottage form Historic England list entry number [1328844](#). The official listing describes the cottages as:

Summary

C18 or early-C19 building comprising three houses. C19 and C20 alterations.

Reasons for Designation

Dolphin Cottage, Bank Cottage, and Step Cottage are listed at Grade II for the following principal reasons: Architectural and historic interest:

- * as C18 or early-C19 cottages that retain a significant proportion of their historic fabric;*
- * for their regionally-distinctive use of vernacular materials and building traditions.*

History

The group of three houses, known as Dolphin Cottage, Bank Cottage, and Step Cottage appear to have been built in the C18 or early C19, and the footprint of the building is shown on an 1829 plan. The 1st edition Ordnance Survey (OS) map (1889) shows Dolphin Cottage and Bank Cottage as one dwelling and Step Cottage as a separate cottage. They are shown as three cottages on the 1908 OS map.

Details

C18 or early-C19 building comprising three houses. C19 and C20 alterations.

MATERIALS: *built of granite rubble stone with some large blocks, and scantle slate roofs. Dolphin Cottage and Bank Cottage are painted white. The east elevation of the south range of Step Cottage is rendered. The chimneystacks are built of granite rubble stone; two of the gable-end stacks to Step Cottage are rendered.*

PLAN: *the three dwellings form a roughly T-shaped footprint. Step Cottage is to the west; Bank Cottage to the north; and Dolphin Cottage to the east. Each cottage is thought to have a two-cell plan with a central staircase.*

EXTERIOR: *of two storeys. The principal elevation (north) of Dolphin Cottage has a two-window range with three-over-three sash windows; that to the ground floor is horned, and the opening has possibly been altered. It has a C20 half-glazed door. The roof to the left-hand end forms a half hip. To the righthand end is a large rubble stone stack. To the rear (south) elevation is a single-storey lean-to. The principal elevation of Bank Cottage (east) is of three bays, with a central entrance door and flanking windows to the ground and first floor. The door and windows are late-C20 uPVC replacements. There is a rendered ridge stack towards the right-hand end, and a further tall stack to the rear. Step Cottage is sited on higher ground, and has an L-shaped plan with gable end stacks, and a*

single-storey range to the rear (north). The principal elevation (east and south) is L-shaped with one bay to the left, and two bays to the right. Above the door and ground floor window are large granite stone lintels. The windows are two-over-two horned sash windows.

INTERIOR: understood to have fireplaces with large stone lintels.

The proposal is seeking alterations to the ground and first floor layout including an overlaid stair, strengthened floor joists, and the installation of a new kitchen window.

Certificate: A

Consultations and Publicity

The application has had a site notice on display for 21 days (11/12/2025 – 05/01/2026). The application appeared on the weekly list on 15th December 2025. Due to the nature of the proposal the Conservation Officer was consulted.

Consultee	Date Responded	Summary
Conservation Officer	30/12/2025	<p>The submitted scheme has responded positively to the pre-application advice provided under reference P/25/055/PREAPP. The proposed works are predominantly internal and include the re-ordering of part of the first floor, the installation of a new bathroom and kitchen, minor adjustments to two ground-floor doorways, and the overlaying of the existing staircase to provide a more serviceable flight. Repair and strengthening of the first-floor joists are also proposed.</p> <p>The application is accompanied by a structural report and a Heritage Statement, both of which provide justification for the proposals. The impact on the historic fabric and plan form is considered to be minimal. The original staircase will be retained in situ, and the existing doors and architraves are proposed to be repositioned.</p> <p>It is considered that the scheme would be less impactful if the existing stair handrails and newel posts could be adjusted and re-used, and if the extent of floor removal to open up the stairwell were reduced.</p> <p>Based on the section provided, an area of flooring could be retained beneath the first-floor window with a return to the new balustrade. This would maintain improved head height and allow natural light to reach the majority of the stair, while also providing</p>

		<p>additional usable space on the first-floor landing.</p> <p>It is recommended that conditions be imposed requiring agreement of the joinery details for the proposed new kitchen window, as well as details of the new SVP, which should be a cast-metal heritage-style.</p>
Conservation Officer	14/01/2025	<p><u>Conservation Officer's comments, highlighted in green, responding to Agent response.</u></p> <p>1. Re-use of existing stair handrails and newel posts - The existing stair has a handrail on both sides, directly against the walls, meaning the handrail cannot be held and used. Due to the proposed change to the stair, the existing handrail will not be long enough or suit the pitch of the stair. In response to the Conservation Officer's comments, we suggest that the existing newel posts are reused, but repositioned to be slightly away from the wall, to allow the handrail to be grasped. As the existing handrail is not long enough, it is proposed that the existing handrail is replaced with a handrail to the same design. We hope this approach will be considered acceptable, do let us know if there are any further comments. <i>This is considered to be an acceptable approach.</i></p> <p>2. Reduction in floor removal - This was considered and previously discounted, as explained in the Design, Access and Heritage Statement, Section 2.1.1. It was discounted as the floor area achieved would only be 500mm wide, and when a guarding is fitted this would be reduced even further. As such, it was considered an impractical space, rather than a usable space as the Conservation Officer suggests. Please see attached a sketch of this option in section, demonstrating the small floor area created with a minimum 2m head height above the stair indicated by the dashed line. We are also conscious that a small space may have other implications such as becoming a storage space, creating a fire hazard and climbing area, which we would be keen to avoid. Once you have had chance to review this, we hope that you will agree this section of floor will provide little to no benefit, however, if it is still considered important to retain this floor area, do let us know. <i>The sketch is considered adequate justification as to why this cannot be achieved.</i></p> <p>3. Joinery details for proposed new kitchen window to be conditioned - we are happy with this</p>

		<p>approach. It is assumed this would be a pre-commencement condition. We ask if this could be a pre-commencement of part condition (so that this only relates to the window), to allow the other elements of the development to be undertaken without this element being discharged. <i>This could be a 'prior to installation 'condition rather than 'pre-commencement'.</i></p> <p>4. Details of new SVP to be conditioned - we are happy with this approach, and the SVP being a cast metal in a heritage style. It would be our preference if this could be worded as a compliance condition rather than requiring an additional application to discharge, if possible. <i>I'm sure this can be carefully worded to secure the required details without requiring a discharge of condition application for this element.</i></p>
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Representations from Residents:

[0] letters of objection or support have been received.

Constraints:

- Grade II Listed Building – Dolphin Cottage, Bank Cottage, Step Cottage (C18 or early-C19 building comprising three houses. C19 and C20 alterations | Historic England List Entry Number: [1328844](#))
- Grade II Listed Building – 3 Garrison Hill (<20m)
- Grade II Listed Building – Port Light & Starboard Light (<20m)
- Grade II Listed Building – Crows Nest (<20m)
- Grade II Listed Building – The Anchorage (<30m)
- Grade II Listed Building – Bank House and Pentlands Flats and Scillonian and Shop (<30m)
- Existing Settlement – Hugh Town
- Archaeological Constraint Area – Hugh Town
- Archaeological Constraint Area – Mount Hollis
- Conservation Area
- Area of Outstanding Natural Beauty / National Landscape
- Heritage Coast

Planning Assessment

Assessment	Yes or No
Is there a need or justification for the works?	Yes
Has it been demonstrated that the works cannot be addressed through repairs or lesser works?	Yes

Have the proposed works been adequately justified with regard to the impact on the significance of the heritage asset and its character and appearance?	Yes
Where materials or other details are indicated in the application are these acceptable or can they be adequately secured by condition?	Yes
Has it been demonstrated that the proposed works will cause no substantial harm to the significance of the listed building?	Yes
Having regard to your answers above, is the application considered to be acceptable?	Yes

Analysis

When considering a planning application that affects a listed building or its setting, the authority must have special regard to the desirability of preserving the building or its setting, under Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990. In considering applications for listed building consent, the local planning authority must have special regard to the desirability of preserving the building, its setting, or any features of special architectural or historic interest which it possesses, under Section 16(2) of the same act.

Policy OE7 *Development Affecting Heritage* of the Isles of Scilly Local Plan (2015–2030) requires that great weight be given to the conservation of the islands' irreplaceable heritage assets, and that any harm to the significance of a designated heritage asset must be clearly justified. Policy OE7(6), which specifically relates to development affecting listed buildings, further requires proposals to protect the significance of the heritage asset and its setting, and to use materials and design solutions that respond positively to, rather than detract from, the listed building.

In addition to local policy, the Council must also apply the statutory duty under **Sections 16(2) and 66(1)** of the *Planning (Listed Buildings and Conservation Areas) Act 1990*, which require the decision-maker to have *special regard* to the desirability of preserving the listed building, its setting, and any features of special architectural or historic interest it possesses. This statutory duty must be given considerable importance and weight in the planning balance.

The application seeks listed building consent for internal and external alterations, including:

- overlaying the existing timber stair with a new timber stair of a shallower pitch
- reconfiguring Bedroom 3 and the first-floor bathroom to increase headroom at the stairs
- combining the existing ground-floor WC and utility to form a shower room
- installing a new kitchen unit to accommodate a washing machine
- replacing the existing kitchen window with a slightly taller timber window of

- matching design
- strengthening the existing first-floor joists to Bedroom 1.

These proposed alterations are assessed below against Policy OE7 and the statutory duty.



Figure 1 Figure 1 Existing and proposed sections

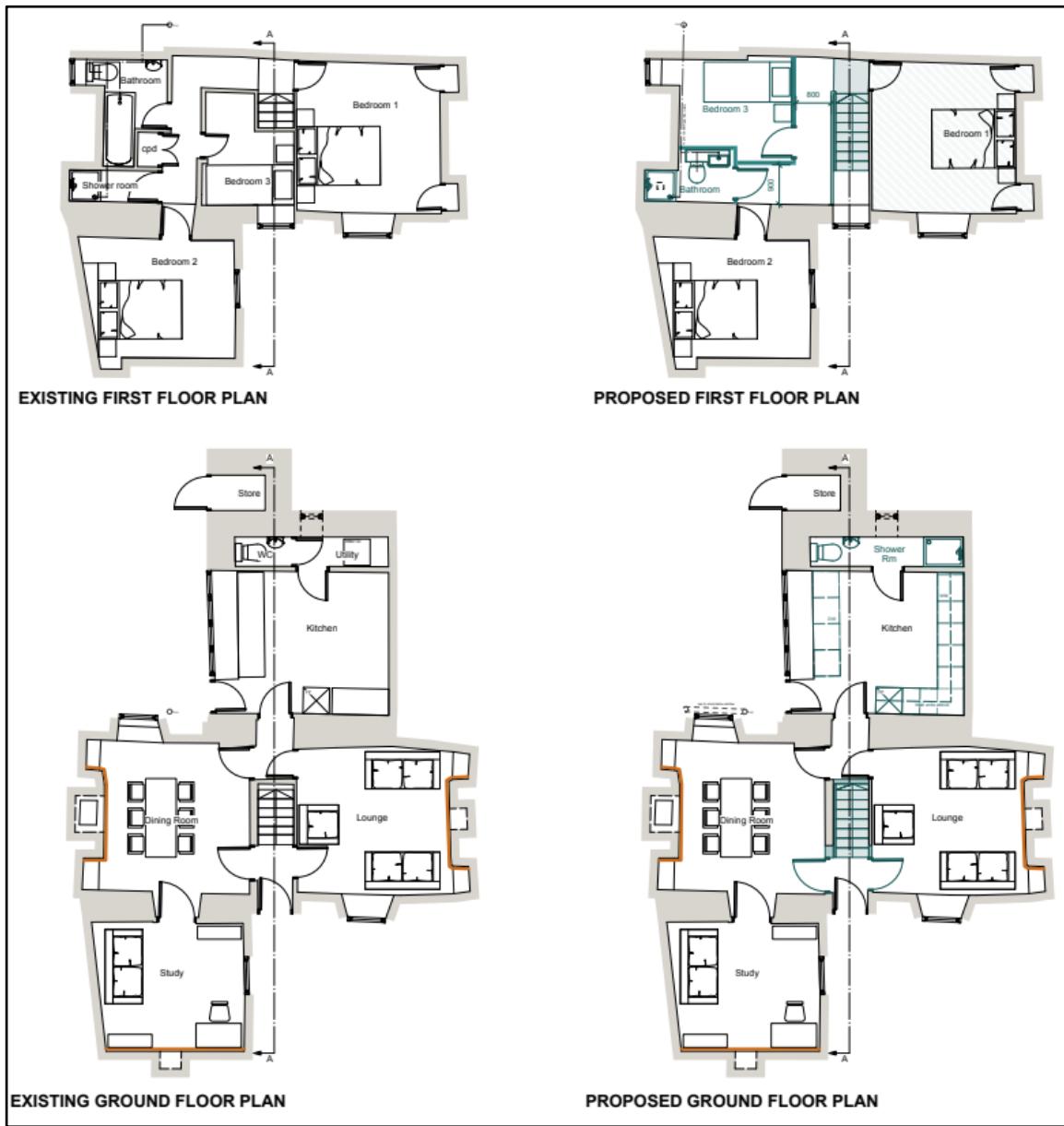


Figure 2 Figure 2 Existing & Proposed Floor Plans

Overlaying Stair & Reconfiguration of First Floor:

Consent is sought to repair the existing staircase, which is stated to be in a deteriorated condition, before overlaying it with new timber treads and varying layers of MDF to achieve a shallower pitch of approximately 42°. The original staircase would remain in situ beneath the new construction, with no loss of historic fabric, and the works would be fully reversible. The justification provided relates to improving safety and usability, and to enhancing the accessibility of the property.

To accommodate the shallower pitch, the internal doors and frames to the living room and dining room, believed to be original features, would need to be repositioned as

illustrated on the submitted section drawing. These elements would be carefully removed, retained, and installed in the new location rather than being replaced. On this basis, the proposed intervention is considered to have a **neutral impact** on the significance of the listed building. The retention of original fabric, the reversibility of the works, and the sensitive repositioning of historic joinery ensure that the proposal would not result in harm to the building's architectural or historic interest.

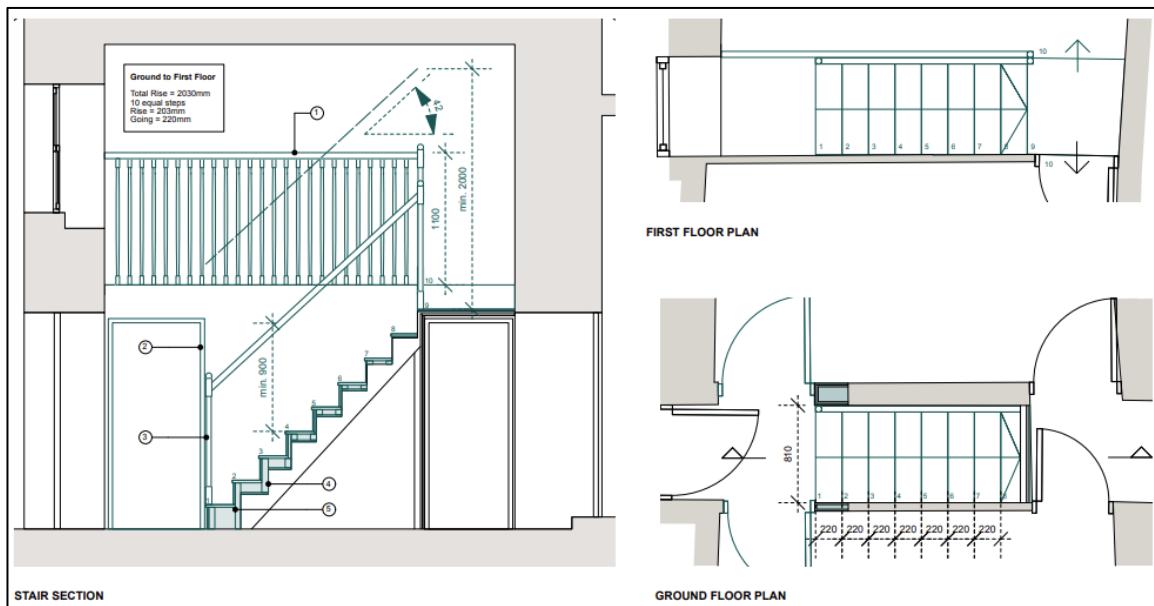


Figure 3 Stair section and plans

Turning to the first floor, it is proposed to remove the small area of floor above the main entrance door in order to provide 2 metres of headroom over the stairs. The Conservation Officer initially queried whether this floorspace could be retained. However, following the submission of further justification from the Agent, the Conservation Officer confirmed they were satisfied that its removal is necessary to achieve safe access while ensuring the underlying historic staircase remains intact. With this and the stair overlay deemed justified and acceptable, the reconfiguration of the first-floor layout can be considered.

It is proposed to enlarge the existing shower room to form a bathroom and to replace the current bathroom with Bedroom 3. The partitions that would be removed to enable this reconfiguration are modern insertions, and their loss would not affect the significance of the listed building. The proposed new partitions follow a logical arrangement and would not disrupt the historic plan form.

Overall, the combined impact of the stair alterations and first-floor reconfiguration is minimal. The works avoid the loss of historic fabric, retain the legibility of the plan form, and are considered to preserve the special interest of the listed building. This aspect of the proposal is therefore found to accord with Policy OE7.

Ground Floor Shower Room:

To improve the accessibility of the property, it is proposed to combine the existing ground-floor WC and utility room to form a shower room. This requires the removal of a modern internal door and a modern partition. As these elements do not contribute to the character or significance of the listed building, their removal would not affect the historic fabric or legibility of the plan form. The proposed alteration is therefore considered to preserve the special interest of the heritage asset and is found to accord with Policy OE7.

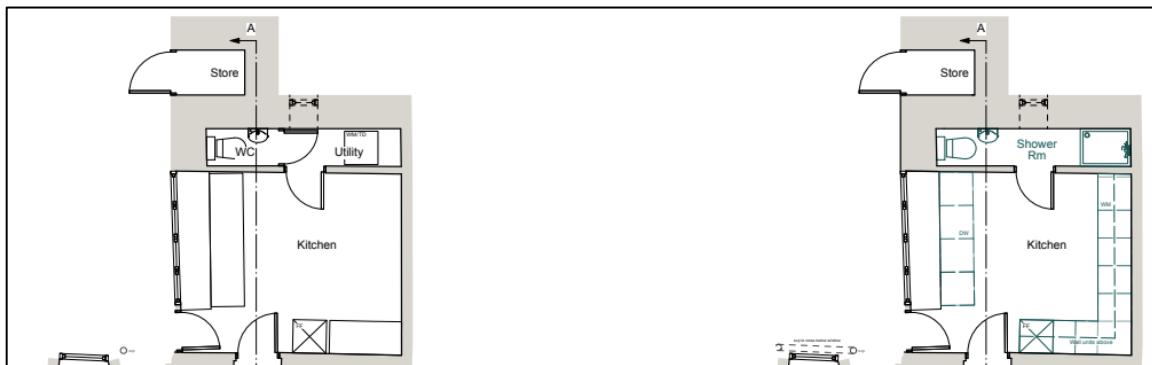


Figure 4 Existing & Proposed Ground Floor Shower Room

Kitchen Window & Unit

The proposal includes replacing the existing timber kitchen window with a slightly taller timber window of matching design. The choice of material and the replication of the existing pattern are considered to respect the character and appearance of the listed building. Aligning the height of the window with the adjacent door would also have a positive effect on the composition of this elevation.

Further joinery details are required, including construction, profiles, final finish and colour. Following the Conservation Officer's consultation response, and subsequent discussions with the Agent, it was agreed that these details can be appropriately secured by a pre-installation condition.



Figure 3 Existing and Proposed west elevation of kitchen

Subject to this condition, the proposed window is considered to preserve the special interest of the listed building and is found to comply with Policy OE7.

The installation of a new kitchen unit, to incorporate a washing machine, is not considered to have an impact on the significance of the property and accords with Policy OE7.

SVP (Soil Vent Pipe)

A variation to the existing SVP route on the northern elevation is proposed as part of this application. The existing SVP is a modern addition and is considered to make a negligible contribution to the significance of the listed building. The works would involve removing the current pipe and repairing the affected stonework using like-for-like materials to match the existing.

The Conservation Officer recommended that the replacement SVP be constructed in cast metal in a heritage style to ensure an appropriate appearance on this principal elevation. The Agent confirmed agreement to this approach. The use of a heritage-style metal SVP would represent an improvement over the existing modern installation and would make a positive contribution to the building's appearance.



Fig. 38a: Existing route of SVP



Fig. 38b: Proposed route of SVP

Figure 4 Existing and proposed SVP position

This detail can be secured through an appropriately worded condition. Subject to this, the proposal is considered to preserve the special interest of the listed building and is found to accord with Policy OE7.

Strengthening Floor Joists

The final aspect of the proposal is the strengthening of the existing floor joists to Bedroom 1, as advised by a CARE-registered structural engineer. The details provided by PCA Consulting Engineers indicate that the original joists would remain exposed, ensuring that the character and appearance of the room are not adversely affected. Additional support would be provided by fixing new timbers to either side of the existing joists above the ceiling board, avoiding any loss of historic fabric.

This intervention is considered to make a positive contribution to the ongoing structural integrity and long-term viability of the building, while respecting its historic character. The proposed works therefore preserve the special interest of the listed building and are found to accord with Policy OE7

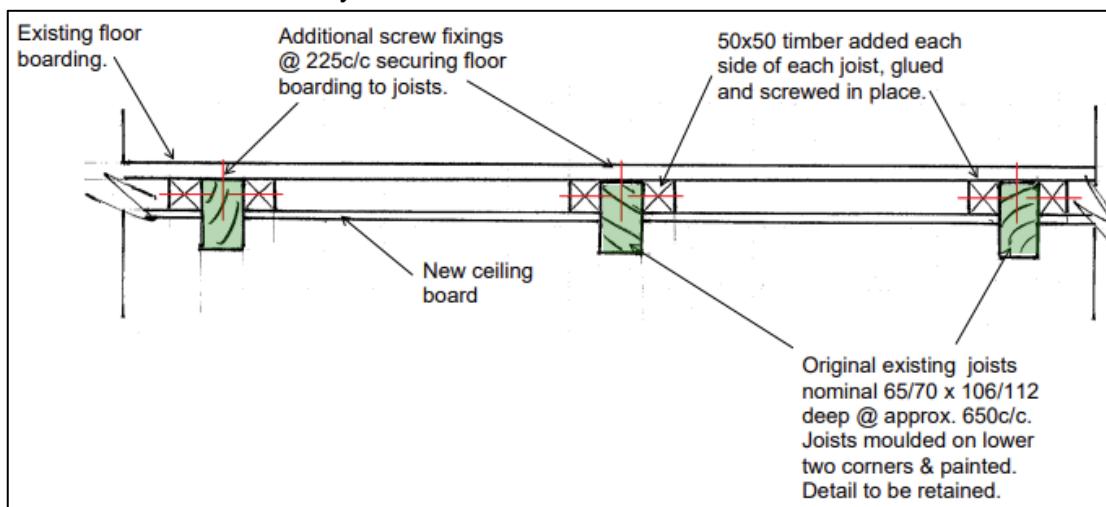


Figure 5 Figure 5 Joist details

Conclusion

The proposed works are considered to conserve the special architectural and historic interest of the Grade II listed Step Cottage. The alterations are justified, proportionate and designed to minimise impact on historic fabric, with modern interventions being reversible and undertaken in a manner sympathetic to the building's character. Subject to conditions securing the use of a heritage-style external soil vent pipe and detailed joinery information for the new kitchen window, the proposal is considered to comply with Policy OE7 of the Isles of Scilly Local Plan (2015–2030) and the statutory duty under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to preserve the listed building and its special interest.

Impact on Heritage Assets

In determining the proposal, the Council has had *special regard* to the desirability of preserving the building, its setting, and its features of special architectural or historic interest, as required by Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

The proposed works comprise a series of internal and minor external alterations, including the overlaying of the existing staircase, reconfiguration of the first-floor layout, creation of a ground-floor shower room, installation of a new kitchen unit, replacement of the kitchen window, variation to the external soil vent pipe, and strengthening of floor joists. The assessment demonstrates that the interventions would avoid the loss of historic fabric, are largely reversible, and would be undertaken in a manner sympathetic to the building's architectural character and historic plan form. Modern features proposed for removal do not contribute to the building's significance, and the use of appropriate materials and detailing, including a heritage-style metal SVP and traditional joinery for the replacement window, will ensure the building's special interest is preserved. Overall, the works are considered to conserve the significance of the designated heritage asset, consistent with Policy OE7 of the Isles of Scilly Local Plan (2015–2030) and the statutory duty under the 1990 Act.

EIA: Due to the scale, nature and location this development will not have significant effects on the environment and therefore is not considered to be EIA development.

Proactive working: In accordance with the National Planning Policy Framework, the Council has engaged positively and proactively in assessing this application. The proposal has been considered under Section 38 of the Planning and Compulsory Purchase Act 2004 and Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and is judged acceptable.

Planning Policy: In determining this application, the Council has had regard to Section 70 of the Town and Country Planning Act 1990 and the duty under Section 38(6) of the Planning and Compulsory Purchase Act 2004 to determine proposals in accordance with the development plan unless material considerations indicate otherwise. For decision-making purposes, the relevant development plan is the Isles of Scilly Local Plan 2015–2030.

The relevant development plan policies that have been taken into consideration are set out below:

Isles of Scilly Local Plan, 2015-2030

Policy	Tick if Used ✓
Policy SS1 Principles of Sustainable Development	
Policy SS2 Sustainable quality design and place-making	✓
Policy SS3 Re-use of Buildings	
Policy SS4 Protection of retailing, recreation and community facilities	
Policy SS5 Physical Infrastructure	
Policy SS6 Water and Wastewater Management	
Policy SS7 Flood Avoidance and Coastal Erosion	
Policy SS8 Renewable Energy Developments	
Policy SS9 Travel and Transport	
Policy SS10 Managing Movement	
Policy OE1 Protecting and Enhancing the landscape and seascape	✓
Policy OE2 Biodiversity and Geodiversity	
Policy OE3 Managing Pollution	

Policy OE4 Protecting Scilly's Dark Night Skies	
Policy OE5 Managing Waste	
Policy OE6 Minerals	
Policy OE7 Development affecting heritage	✓
Policy LC1 Isles of Scilly Housing Strategy to 2030	
Policy LC2 Qualifying for Affordable Housing	
Policy LC3 Balanced Housing Stock	
Policy LC4 Staff Accommodation	
Policy LC5 Removal of Occupancy Conditions	
Policy LC6 Housing Allocations	
Policy LC7 Windfall Housing:	
Policy LC8 Replacement Dwellings and Residential Extensions	
Policy LC9 Homes in Multiple Occupation	
Policy WC1 General Employment Policy	
Policy WC2 Home based businesses	
Policy WC3 New Employment Development	
Policy WC4 Alternative Uses for Business/Industrial land and buildings	
Policy WC5 Visitor Economy and Tourism Developments	

Other material considerations include the policies of the National Planning Policy Framework (NPPF) and guidance in Planning Practice Guidance (PPG).

Considerations under Human Rights Act 1998 and Equalities Act 2010:

In reaching this recommendation, the Council has had due regard to the relevant provisions of the Human Rights Act 1998 and the Public Sector Equality Duty under section 149 of the Equality Act 2010. This includes the need to eliminate discrimination, advance equality of opportunity, and foster good relations between people with protected characteristics and those who do not share them. In doing so, the Authority has considered the need to minimise any disadvantage, meet different needs where they arise, and encourage participation in public life. These matters have been taken into account in assessing this application.

Recommended Conditions:

C1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In accordance with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004) and Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

C2 The development hereby permitted shall be carried out in accordance with the approved details only including:

- **Plan 1: Location and Site Plan (Drawing Number: 100, Revision: P2), stamped 11th December 2025.**
- **Plan 2: Design & Access Statement, stamped 11th December 2025.**
- **Plan 3: Existing and Proposed Plans (Drawing Number: 101, Revision P3), stamped 11th December 2025.**
- **Plan 4: Proposed Section (Drawing Number: 103, Revision: P3),**

stamped 11th December 2025.

- **Plan 5: Proposed Stair (Drawing Number: 104, Revision: P2), stamped 11th December 2025.**
- **Plan 6: Existing and Proposed Elevation (Drawing Number: 105, Revision: P2), stamped 11th December 2025.**
- **Plan 7: Floor Joint Strengthening Proposals, stamped 11th December 2025.**

Reason: For the clarity and avoidance of doubt and in the interests of the character and appearance of the Listed Building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

C3 The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.

Reason: To safeguard the historic fabric and the architectural character of the listed building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

C4 No works to install the new timber kitchen window shall begin until full joinery details have been submitted to and approved in writing by the Local Planning Authority. The details shall include 1:10 or 1:20 scale drawings and sections showing the construction, profiles, and method of opening, together with the proposed final finish and colour. The window shall be installed in accordance with the approved details and retained in that form thereafter.

Reason: To protect the significance of the heritage asset in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

C5 The external soil vent pipe shown in the 'Design, Access & Heritage Statement' and 'Existing & Proposed Plans (Drawing Number: 101, Revision: P3)' shall be constructed in cast metal and be of a heritage style that reflects the traditional character of Step Cottage. The external soil vent pipe shall be installed, retained and maintained in this form thereafter.

Reason: To preserve the special architectural and historic interest of the listed building in accordance with Policy OE7 of the Isles of Scilly Local Plan (2015-2030).

Print Name: Lisa Walton

28/01/2026

Job Title: Chief Planning Officer

Signed:



Authorised Officer with Delegated Authority to determine Planning Applications
