

# CARN GWARVAL ST MARYS ISLES OF SCILLY

## DESIGN & ACCESS STATEMENT

TO SUPPORT A FULL PLANNING APPLICATION  
FOR A PROPOSED NEW SINGLE STOREY EXTENSION, WITH  
ASSOCIATED INTERNAL ALTERATIONS AND LANDSCAPE TO  
PROVIDE A BELONGING AND INCLUSION HUB

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Council of the  
ISLES OF SCILLY



Document Revision

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A	Dec 2025	AC/EC	AC
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This report is subject to:

Statutory and local authority approvals and shall be read with associated reports provided separately and forming part of this planning application.

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## **Introduction**

Overview and Brief

## **Site location**

## **Site context & constraints**

Local context  
Existing  
Constraints

## **Concept and Pre Planning Advice**

## **Planning Policy**

## **The Design Proposal**

Use  
Amount  
Layout  
Scale  
Materiality  
Existing Building  
Access  
Sustainability  
Public engagement  
Conclusion

## **Supporting Reports-Summaries**

Full reports provided separately  
External Lighting  
Preliminary Roost Assessment (PRA)  
Preliminary Ecological Assessment (PEA)  
Biodiversity Net Gain (BNG)

## **Reports/proposals to be conditioned**

Site Waste Management Plan  
Detailed Landscape Proposals

## **Reports Not Being Provided**

Community involvement  
Contaminated Land Assessment  
Environmental Statement  
Instructure Impact Assessment  
Noise Assessment  
Ventilation & Extraction  
Flood Risk Assessment (FRA)



## INTRODUCTION

This design and access statement has been prepared to support a full planning application for an integrated belonging and inclusion facility which is family centred and supports the delivery of services to address the needs of families and local children through a joined up and co-ordinated service model.

The Objectives and aims of the proposal are:

To create sufficient space for learning needs incorporating a multi purpose space for excluded children - all being separate to the main Five Islands school site.

This will give sufficient alternative provision for the needs of children under s19 of the Education Act 1996.

It will also enable greater provision of 16+ study space and remote/virtual learning options on Island to reduce need to travel to mainland.

The proposals comprise a modest single storey learning block, associated internal alterations to the existing building and associated external covered play areas.

The existing building at Carn Gwarval comprises a complex of community, childrens services, learning and associated administrative uses.

This design and access statement (DAS) should also be read in conjunction with the submitted architectural plans and accompanying reports provided separately, by other consultants.

Supporting reports, matters for Conditions and reports which are not required are listed in the Contents page. This DAS will contain brief summaries of the supporting reports where appropriate.

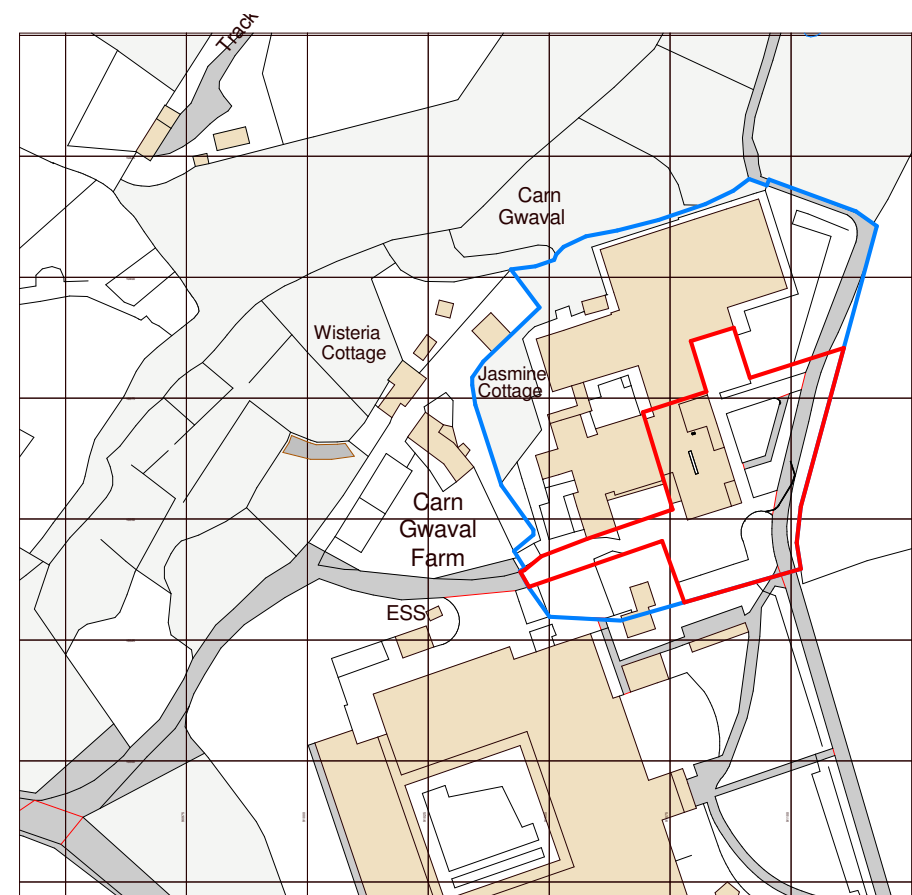
A Local Validation Checklist has been submitted with this application.

### Site location

The Carn Gwarval complex is reached by vehicles and foot on an access road linking to Old Town Road. The complex of generally single storey mono pitched building wings, sits approximately 25m north of Five Islands Academy School. The images right locate the site which comprises 0.159Ha within the application redline.



Site location plan - Copyright Magic Maps



Application Site Area = 0.159 hectares

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Site location plan - Crown Copyright



# CONTEXT & CONSTRAINTS

## Local Context

The local context is the immediate former primary school building - a mix of mono-pitched concrete tiled roofs

## The existing building

The complex comprises a series of single storey mono pitched blocks which form round a central courtyard. Roofs are concrete tiled, and faced mainly with render, some timber cladding and roof level vertical tile-hanging. A newer double height sports hall timber clad over rendered base sits connected to the north of the range. Solar PV is located to the main roof of the sports hall.

## Constraints

**Heritage** - None within or near to the application site.

**Archaeology** - None within or near to the application site.

**Conservation Area** - Not with a Conservation Area or adjacent.

**Overlooking** - None applicable

**Noise** - The existing flexi space room (aka Klondyke) can be soundproofed internally.

**Occupancy** - Pre Application correspondence will seek clarification on the type of occupancy and management regime.

**SSSI** - The site is due south of Lower Moors SSSI and the graded impact risk zones (IRZ). Reference to the Natural England website confirms the application site is not within a 'Relevant' IRZ.

**ANOB** - The application site including all of St Marys is in an ANOB.

**Flooding** - The site is not within a flood zone.

**Opportunities** - The brief requires the new build to have a clear identity and its own entrance. The drainage run locations and internal layout also suggest a physical gap which gives and opportunity for a separate block with its own identity -albeit lightly linked to the existing.

There are opportunities to level out parts of the car park and manhole covers to provide level play and better access here.

Briefing suggested to allow space for a future pool. A 4 lane pool of 20m length could still be accommodated in the space shown right, with some future adjustment of the dirt track/path.



1. Aerial - propsal site on green triangle



2. Looking east to existing main entrance



3. Left of main entrance the flexi suite aka Klondyke room



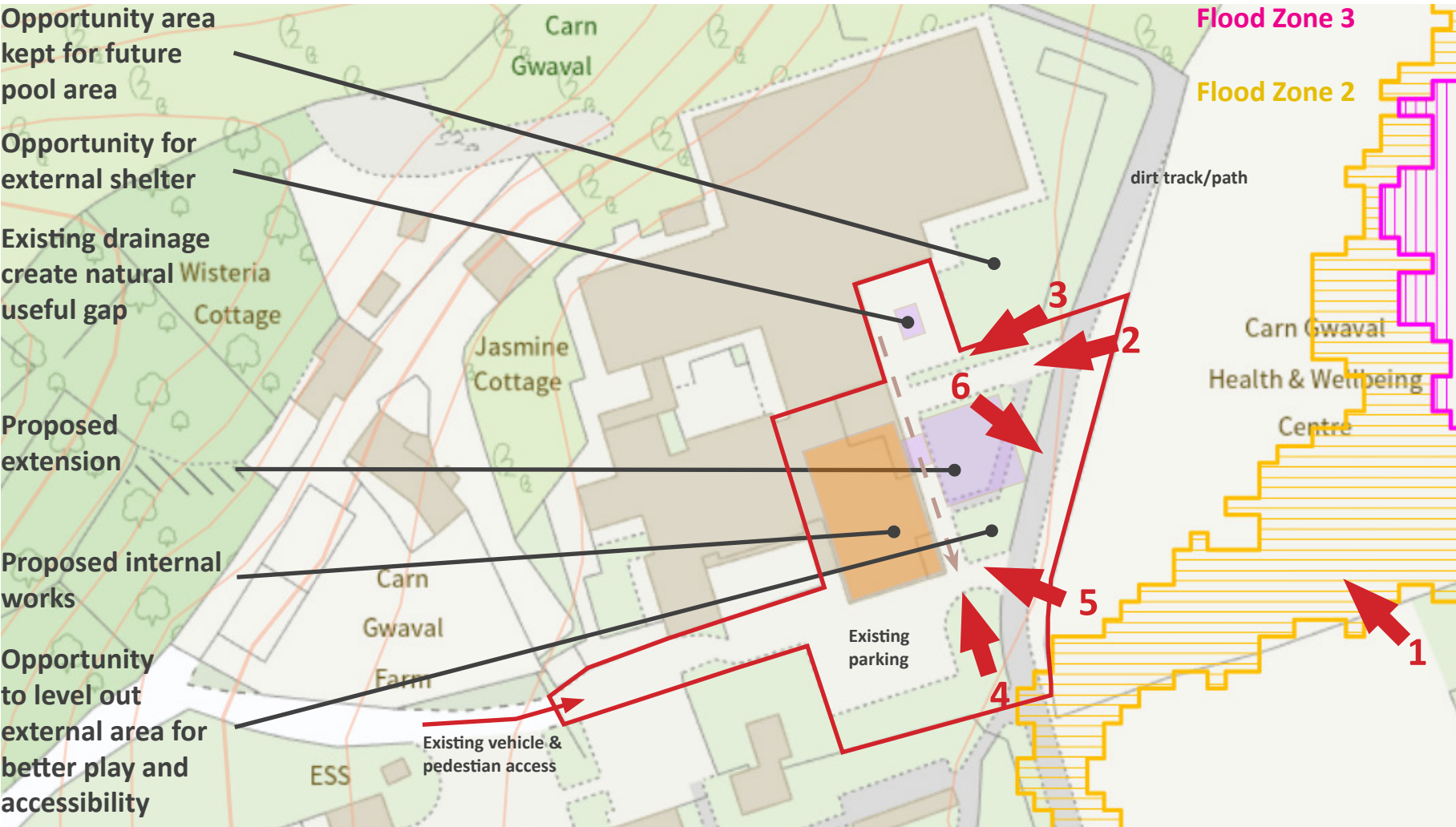
4. View north. Flexi use room left



5. North west view



6. Picket fence to track





## CONCEPT DESIGN AND PRE PLANNING ADVICE

Pre planning advice was provided via an informal discussion with planning in August 2025 and based on a package of concept elevations, plan and 3d model views provided. These are illustrated right.

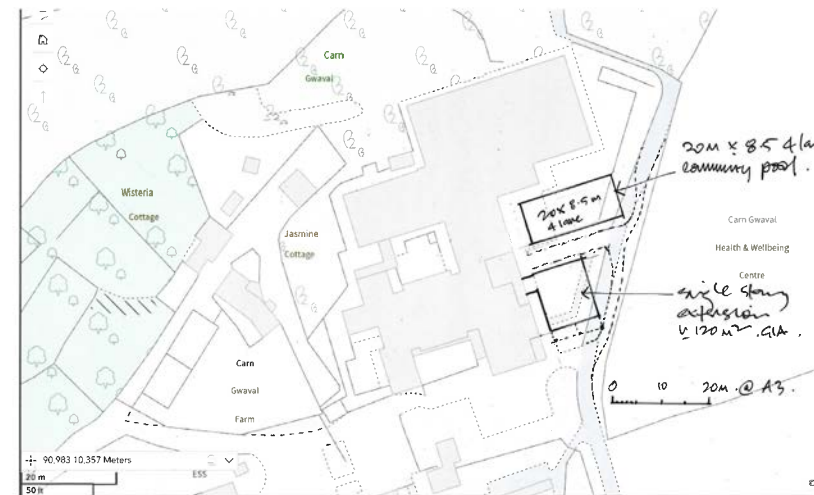
The concept takes the idea of a separate block to house learning, study, calm and therapy spaces. This is set off of the existing building to create an entrance lobby link.

The internal alterations to the existing are illustrated here at concept stage but do not impact the external appearance other than a new fire exit door to the flexi-use space. The internal spaces largely remain as they are.

As a result of this and given the small scope of the extension, the planning officer is not expecting a formal pre planning application.

Accordingly, the comments provided by planning comprise:

- Not expecting a pre-app. Submit straight to Planning.
- Points to note on validation.
- BNG 10% required (possible offsetting on land-credit bank). Baseline BNG needed.
- Possibly lighting assessment potential with hedges as site is dark and we'll need lighting.
- Sustainable measures - PV/recycling/construction waste management plan etc.
- Ecology - PEA and bat roost potential.
- Promote the community benefits of this proposal.



KTA - EXTRACT FROM CORNWALL INTERACTIVE MAPPING. APPROX FOOTPRINT + POOL. NOV 2025



## PLANNING POLICY

The NPPF and local plan policies relevant to this application are noted below.

### NPPF

National Planning Policy mework (Dec 2024), NPPF Policies relevant to this application on the Isles of Scilly.

Promoting Healthy and Safe Communities (Policy 92)  
Achieving Well-Designed Places (Policy 126, 130)  
Conserving and Enhancing the Natural Environment (Policies 174, 175, 177)  
Climate Change, Flooding, and Coastal Change (Policies 159, 161)

### Isles of Scilly Local Plan 2015-2030

Relevant policy arising in the Local Plan as noted in the pre-planning advice, comprises:

**Policy SS1 Principles of Sustainable Development** — requires that new development contributes positively to the social, economic and environmental well-being of the Isles. For this 'education/ community' application, this would support proposals that improve community instructure without harming the island environment.

**Policy SS2 Sustainable Quality Design and Place-making** — requires high-quality design and place-making. The proposed extension is well designed to fit the character of the immediate existing school/community buildings, respecting the context (built and natural), and considers sustainability(timber me, sedum roof,PV), layout, materials( timber cladding), improved access.

**Policy SS4 Protection of Retailing, Recreation and Community Facilities** — supports development of new community or recreational facilities, provided they are appropriately designed, scaled and sited, and do not harm neighbouring amenity or highway/pedestrian safety. The proposals are essentially a “community facility,” so SS4 is directly supportive.

**PolicySS6WaterandWastewaterManagement**—relevantbecause many properties on the Isles of Scilly rely on non-mains drainage or private wastewater treatment; any extension must demonstrate suitable drainage/sewerage arrangements. The proposals connect into the existing system which runs through the site.

**Policy SS10 (Managing Movement):**  
Development proposals should take account of the potential to generate vehicular movements and car parking. A development will need to ensure provision is made to support and promote the use of sustainable transport such as walking, cycling and electric vehicles, the resulting development should not have an adverse impact on the function or safety of the local highway network.

There is ample existing cycle parking at the existing building.

For vehicles, existing parking is available and would not be intensified. Part of the Council’s Active Travel Plan is to encourage walking and cycling.

Adequate EV chargers are already available adjacent to the existing car parking and expansion is not considered necessary by the applicant.

### Our Outstanding Environment — Chapter 3 (Policies OE1–OE7)

If the extension may affect the landscape, natural environment, ecology or heritage (which is likely on the Isles of Scilly), relevant policies are:

**Policy OE1 Landscape Character and Local Distinctiveness** — any development must respect the distinctive landscape character of the islands. The design, scale, siting and materials should conserve local character. The proposed single storey scale and materiality of the extension respects the immediate context and would be in-keeping with massing and materials used - for example timber cladding on the sports hall extension and materials on Five Island Academy.

**Policy OE2 Biodiversity and Geodiversity** — development must avoid harm to biodiversity; for a school extension, this may require careful design to mitigate impact on flora/fauna, integrate landscaping, possibly include biodiversity net-gain measures.

**Policy OE7 Historic Environment and Heritage Assets** — because the whole of the Isles of Scilly is designated as a Conservation Area, any extension must pay “special attention ... to the desirability of preserving or enhancing the character or appearance of the area.”

Because of the Conservation Area status: the local planning authority needs to consider heritage/character in all planning decisions.

### In summary

Bringing this together, the application and extension is:

Designed with high-quality architecture that respects local scale, materials, and character (SS2, OE1, OE7).

Utilising appropriate instructure (water, drainage, waste) (SS6).

Avoiding negative impacts on landscape, biodiversity or heritage (OE2, OE7).

Contributing positively to community facilities and long-term sustainability (SS1, SS4). The application counts as a community facility, so SS4 supports such proposals where they are properly designed and located.



# THE DESIGN PROPOSAL

## Proposal Overview

### Use

In summary this project proposes modest internal alterations to the existing southern quarter and the addition of a single storey extension as previous described, providing a centralised hub for children excluded from mainstream education.

'Educational' uses (learning/Independent skills/study) are set within the new extension as these are spaces that are best suited to newly created floor space, with purposefully designed natural lighting, cooling, heating incorporated into the design.

The internal alterations to the existing are limited to the front southern wing and comprise the continued community uses and admin/support spaces.

The extension and associated internal alterations to the existing will be operated as if it were independent of the existing building and will have its own point of entry control and reception space to give this Belonging and Inclusion Hub its own identity.

External play is an important element of the brief. Accordingly, the two new learning rooms will spill out onto a proposed external play area which will have a timber pergola/canopy. This will be screen with fencing and hedging and secure.

Similarly, a further external area is to be provided by a stand-alone timber pergola in the central court area. This will require relocation of the existing cycle hoops as illustrated in the plans. The existing patio area will be relaid with the same, where uneven.

### Amount

New Floor area created is only by the single storey extension as is scheduled on the floor plans.

### Layout

The layout is a simple new block linked to the existing. The new link is located on an existing axis such that it aligns to form a clear route between new and existing with good sight lines - important for teaching/surveillance. Two learning spaces are paired to be used as 2 or 1 space. Self study is set in a corner with window bench seating. Support and welfare spaces are as shown.

### Scale

The proposals are simple in form, modest in scale being a single storey and subservient to the main existing building.

### Materiality

The new extension building comprises timber cladding (temperate hardwood), composite colour coated aluminium /timber windows, brick dpc level plinth coursing, colour coated metal upper roof fascias, sedum flat roof on single ply membrane, single ply to link roof, safety glazed clear rooflights. External lighting will be generally wall mounted to the building and light downwards. External play to be paved, enclosed with timber picket fencing.



Ground level proposed



Roof level proposed



## THE DESIGN PROPOSAL

### Existing Building

Alterations externally to the existing building are very limited and in any case shall be to match existing materials.

### Access

The existing car park will remain as it is. Levels accessing the new link element will be via an accessible ramp. It is anticipated that wheelchair users shall use this route which will be designed to accessible gradients.

Users will access the Hub facility via the link with doors each side of the link. These will be secure fob or pad linked to new reception with additional video link. Induction loops to be provided to reception. All new windows /doors will be PAS24.

The existing building will still function as it currently is (community) with existing access through the main doors from the paved area unchanged.

### Sustainability

A fuller report accompanies this DAS.

In summary, the proposed extension accords with the sustainability objectives of the Isles of Scilly Local Plan and the principles set out in the Isles of Scilly Design Guide. A fabric-first approach has been adopted to the extension to reduce energy demand through improved insulation (timber me and mineral wool) , efficient glazing, and good natural daylighting (tall windows and rooflights), natural ventilation with heat recovery. Durable, low-impact materials (timber cladding) and water-efficient fittings (to new kitchenette and wc) support responsible resource use, while the modest design respects the site's AONB setting and seeks to protect and enhance local biodiversity.

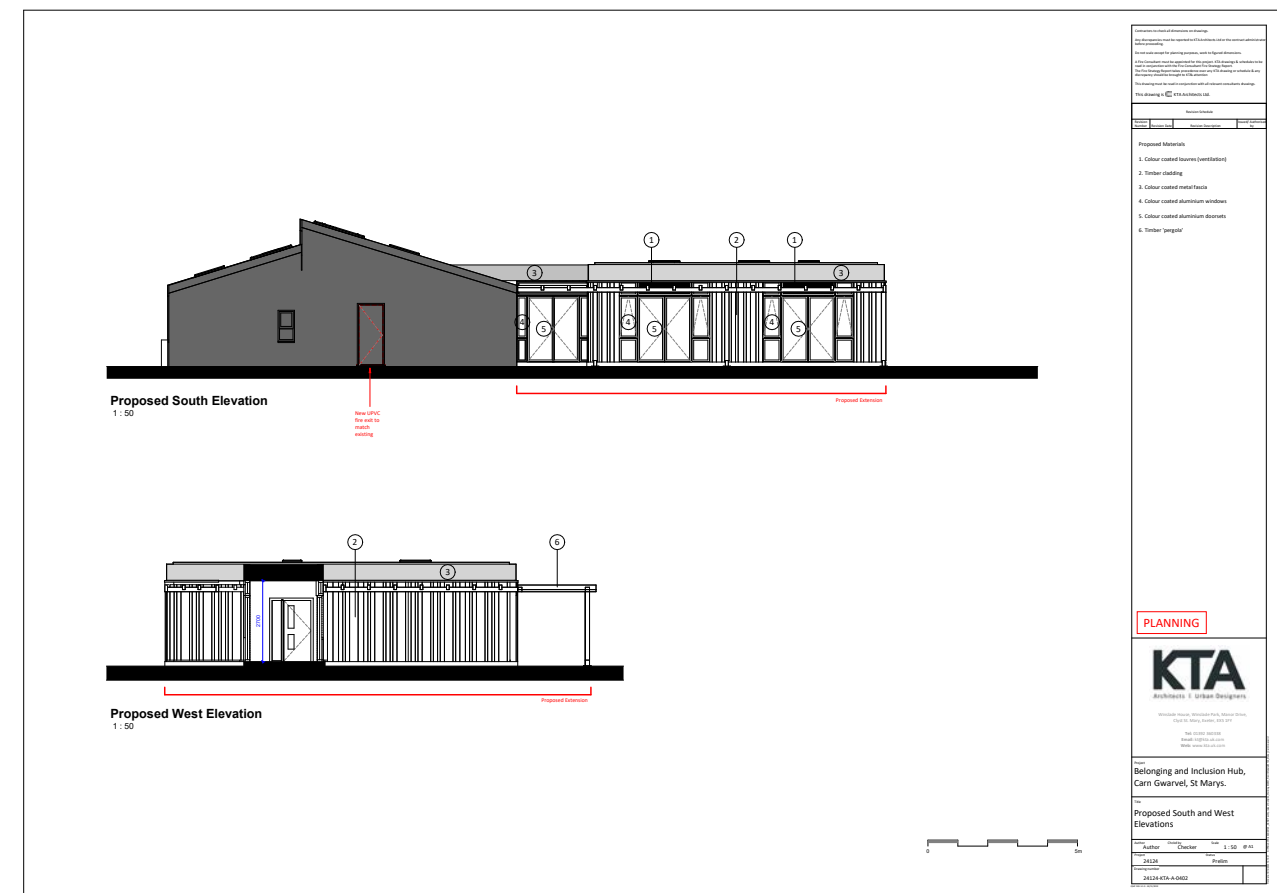
Social sustainability is central to the proposal, providing inclusive and adaptable space to support excluded students and strengthening the long-term role of the hub within the community. Overall, the development represents a sustainable, proportionate, and policy-compliant response to the site and its context.

### Public engagement

The existing complex is well known and used by the community and the Applicant considers that the proposed extension and use is likely to be widely supported given that it will be of further benefit to the community. Accordingly, the Applicant has chosen to utilise the statutory consultation period within the application process where the public will be able to comment formally.



Proposed north and east elevations



Proposed west and south elevations



## SUPPORTING REPORT SUMMARY

### Site waste management plan

We have asked for this to be a pre commencement condition.

### Sustainable Design Measures

Please refer to separate report.

### Tree Survey

On the advice of the Ecologist, the scale of impact here is very minimal - the trees are not of any significant age and would be relatively easy to replace within the landscaping within the medium term. In the context of the mature elm lines and other larger arboricultural landscape features in the locality, they would be of fairly low significance.

### Flooding

Addendum Note: The application refers to submitting an accompanying FRA. It has been confirmed that the site is not in a flood zone and planning do not require a report.

### Bats/Nesting Birds/ Ecology/BNG

PEA/PRA and BNG Reports are provided separately.

The ecological baseline presented in the PEA report, alongside the PRA relating to the existing building, is considered to be sufficient to assess the impact of the proposals upon other ecological receptors.

The preliminary roost assessment (PRA) survey concluded that there was negligible bat roosting potential in relation to the structures to be impacted directly or indirectly by the proposed works. Refer to the separate report for detail on birds and the potential to provide nesting boxes in addition to existing nesting habitat in the gaps behind eaves tiles on the existing building.

BNG is impacted by the extension and the ecologists advice is to secure BNG off site regardless of new tree/hedge planting and the sedum roof.

### Landscaping Scheme

We have asked for this to be a pre commencement condition.

### External Lighting

Refer to separate report. Lighting has low impact.

### Bins/Refuse

The scheme is a modest extension and will utilise the existing recycling and refuse regime. The new extension is not considered to generate excessive waste over and above existing.

### Conclusion

This is a proposal that is policy compliant, simple in approach and design, acknowledging its special use, social/community value and its local and immediate context. Overall, the informal pre-planning advice was positive and supportive of this proposal.